



Indianapolis Historic Preservation Commission (IHPC) **HEARING AGENDA**

Wednesday, May 7, 2025, 5:30 P.M.
2nd Floor, Public Assembly Room, City-County Building
200 East Washington Street, Indianapolis, Indiana

BUSINESS

I. CALL TO ORDER

II. APPROVAL OF MINUTES

APRIL 2, 2025 IHPC HEARING MINUTES

III. OLD BUSINESS – NO PUBLIC HEARING

2024-COA-188A (WP) **958 WOODRUFF PLACE MIDDLE DRIVE** *Page 3*
ALI KHAN
Violation correction monthly check in.

2024-COA-353 (FS) **1126 PROSPECT STREET** *Page 5*
ALEX OSTROVSKY
Approval of negative findings of fact.

IV. NEW BUSINESS – NO PUBLIC HEARING

2025-COA-037 (CMB) **11809 COLMAR STREET** *Page 7*
BRENT WHALEN
Filing fee refund request.

PUBLIC HEARING

V. REQUEST TO WITHDRAW OR CONTINUE APPLICATIONS

2024-COA-188B (WP) **958 WOODRUFF PLACE MIDDLE DRIVE** *continue to August 6, 2025* *Page 17*
ALI KHAN
Work completed without approval: altering openings, siding and trim, and replacing doors.

2024-COA-356 (IRV) **5814 BEECHWOOD AVENUE** *continue to June 4, 2025* *Page 19*
DARRYL GUNYON
Install railings and for work completed without approval including: replace windows and doors, installation of fiber cement siding, replacement of wood trim, enclose openings and create new openings, remove awnings, removal awnings, demolish greenhouse and construction new addition.

VI. EXPEDITED CASES

2025-COA-048 (IRV) & **114 GOOD AVENUE** *Page 21*
2025-VHP-001 **KASEY NEWBOLD** *Submittals*
Demolish historic garage and construct new garage, and for a Variance of Development Standards for construction in the required clear sight triangle. *Page 74*

2025-COA-055 (IRV) **5921 OAK AVENUE** *Page 31*
SEAN RAY *Submittals*
Construct rear second story addition. *Page 82*

2025-COA-081 (DA) & 2025-ZON-039	3060 NORTH MERIDIAN STREET BRANDON BADGER Rezone to D9.	<i>Page 37</i>
2025-COA-085 (HMP)	2179 NORTH PENNSYLVANIA STREET RACHEL WALKER Demolish southern portion of primary structure.	<i>Page 41 Submittals Page 85</i>
2025-COA-097 (LS)	331 NORTH PARK AVENUE JONATHAN LAMB Allow disposal of siding from demolished outbuilding.	<i>Page 47</i>

VII. APPLICATIONS TO BE HEARD (CONTINUED)

NONE

VIII. APPLICATIONS TO BE HEARD (NEW)

2025-COA-088 (HMP)	1826 NORTH DELAWARE STREET PAUL MUSIELAK Construct single-family residence and detached garage.	<i>Page 53 Submittals Page 111</i>
2025-COA-096 (HMP)	1821 NORTH PENNSYLVANIA STREET PAUL MUSIELAK Construct single-family residence and detached garage.	<i>Page 63 Submittals Page 119</i>

IX. PRELIMINARY REVIEW

NONE

X. APPLICATIONS TO BE HEARD – WORK STARTED WITHOUT APPROVAL

NONE

XI. OLD BUSINESS – TO BE HEARD

NONE

XII. CLOSING BUSINESS

NONE



Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date:	May 7, 2025
Case Type:	Old Business
Continued From:	
Case Number:	2024-COA-188A (WP)
Property Address:	958 Woodruff Place Middle Drive
Historic Area:	Woodruff Place
Township:	Center
Council District:	13
Applicant:	Ali Khan
Owner:	AK Realty LLC
Request:	Violation correction check in
Staff Recommendation:	No recommendation – violation correction check in
Staff Reviewer:	Shelbi Long
Case At-A-Glance:	Violation case check in and violation correction deadline extension request.

BACKGROUND OF PROPERTY

REQUEST

The corrective siding work on the front elevation has begun. The estimated delivery date of the replacement windows has been pushed back to May 9th and so another extension of the violation correction deadline is needed. The owner has requested an extension to July 9, 2025.

HISTORIC AREA PLAN RECOMMENDATION

STAFF RECOMMENDATION

COA: 2024-COA-188A (WP)

To approve the violation correction deadline extension to July 9, 2025.

STAFF RECOMMENDED MOTION

EXHIBITS

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INDIANAPOLIS HISTORIC PRESERVATION COMMISSION (IHPC)
OF INDIANAPOLIS AND MARION COUNTY, INDIANA

APPLICATION #2024-COA-353 (FS)

FINDINGS OF FACT & REASONS FOR DENIAL

DATE FINDINGS ADOPTED: May 7, 2025

APPLICANT: Alex Ostrovsky
170 West Logan Street, Noblesville, IN 46062

PROPERTY ADDRESS: 1126 Prospect Street

HISTORIC AREA: Fountain Square

FINDINGS OF FACT AND REASONS FOR DENIAL of a Certificate of Appropriateness or Authorization for a Variance of Development Standards to allow less window transparency than require at 1126 Prospect Street. Findings and reasons are as follows:

1. The IHPC, in accordance with I.C. 36-7-11.1, considered this matter at a public hearing on April 2, 2025.
2. The Fountain Square Historic Area Preservation Plan clearly states that storefront display windows provide a means of interaction between the public outside and the business inside. Transparency is important to activating the streetscape.
3. Per the Indianapolis-Marion County Consolidated Zoning and Subdivision Ordinance, the required first story transparency is 60%-90%. The film that has been installed has a 6% visible light transmission.
4. No evidence of a financial hardship has been presented. Any hardship in this situation was self-imposed by the owner's failure to seek the necessary approvals prior to the commencement of work.
5. Denial does not deprive the owner of the use of the property.
6. The effect on the historic area would be substantial as the request negatively impacts public safety and welfare by impeding visual transparency of the openings. Window transparency regulations were established for safety reasons and so by its very nature, the request negatively impacts the safety and general welfare of the community. The ability to see in and out of a building increases safety for those inside and out.
7. The strict application of the zoning code does not prevent the use of or create a practical difficulty in the use of the property as there are a variety of other options to provide sun shading and privacy. These include blinds or shades, both of which come in a variety of styles and opacity levels. Interior blinds or shades would not require IHPC approval or a land use petition. The owners could also consider a window film of a more transparent nature to meet the zoning code requirement.

8. There is nothing unique about the property making a variance from the zoning code requirement necessary, and the Commission did not find that there was a hardship.
9. The applicants Findings state that a reasoning for the film is related to the products sold. This zoning code regulation is not use or product specific, it is required for the entire zoning classification.

For all of the reasons set forth herein, the application 2024-COA-353 (FS) for a Variance of Development Standards to allow less window transparency than required at 1126 Prospect Street not be appropriate to the preservation of Fountain Square historic area and to the furtherance and development of historic preservation and is denied.

The IHPC Secretary signing below attests that they attended the above referenced hearing and these findings of fact accurately depict the decision of the IHPC.

Susan Williams, IHPC Secretary



Indianapolis Historic Preservation Commission (IHPC) **MEMO**

IHPC MEMO SUMMARY

Hearing Date: May 7, 2025

Case Type:

Continued From:

Case Number: 2025-COA-037 (CMB)

Property Address: 11809 Colmar St.

Historic Area: Cumberland

Township: Warren

Council District: 20

Applicant: Brent Whalen

Owner: Brent & Katina Whalen

Request: Refund of filing fee

Staff Recommendation: **DEFER TO COMMISSION**

Staff Reviewer: Morgan Marmolejo

Case At-A-Glance: Mr. Whalen was docketed for the May 7th IHPC Hearing to request demolition of a historic barn. It was later determined to be an imminent threat to public safety since the barn was leaning into Niles Street. The DMD Director signed off on a Certification of Hazardous Conditions, and no COA was required at that point. The applicant would like a refund of the COA application fee.

BACKGROUND OF CASE

May 4, 2022: The property owner was issued a stop work order under VIO22-003118 for the demolition of an accessory structure without IHPC approval per a submitted complaint.

June 27, 2022: The violation was referred to the Marion County Health Department when it was learned that the dilapidated structure was on the same site as an occupied primary structure making the conditions unsafe. It is unclear what happened to this violation until a housing case was opened by the Health Department in December of 2024 to repair or demolish.

December 6, 2024: The Health Department issued a new housing order to repair or demolish the structure.

December of 2024: The owner reached out to BNS about how to proceed with repair/demolition. BNS reached out to IHPC to request we contact the property owner to discuss the aforementioned orders. Staff made contact with the owner and informed him that a Certificate of Appropriateness would be

required to demolish the structure. This is the first time staff believes the owner ever communicated with the IHPC about the barn. The owner then applied for a COA.

February 19, 2025: Staff sent the applicant an invoice for the \$635 filing fee for the demolition of a historic structure and notification paperwork.

February 28, 2025: The applicant paid the filing fee and was docketed for the May 7, 2025 IHPC hearing.

April 2, 2025: Staff reached out to the applicant to inform him he was on the docket for the May 7th hearing. Staff also informed the applicant that we would reach out closer to the May hearing with notification paperwork.

April 3, 2025: BNS reached out to IHPC informing us that the barn was now leaning into the public right-of-way after recent 80 mph winds causing a threat to public health and safety.

April 4, 2025: IHPC Administrator and DMD Director issued a Certification of Hazardous Conditions and a Certification Letter authorizing the demolition of the historic barn per IC 36-7-11.1-9.

April 7, 2025: The applicant reached out to staff requesting a refund of the \$635 filing fee because he was informed. Staff directed the applicant to the IHPC Administrator for the fee request.

April 15, 2025: IHPC Administrator informed the applicant via email that he will need to attend the May 7th hearing to request the refund of the filing fee. The applicant has not responded to either staff or IHPC Administrator since April 15th.

April 16, 2025: A wrecking permit was issued. The barn has since been demolished.

REQUEST

The applicant is requesting a full refund of the required \$635 filing fee for 2025-COA-037 on the grounds that a COA is not needed. COA applications do not guarantee a COA will be granted. Because of this and the time staff spent on the case, the Administrator is deferring this request to the Commission for discussion and a determination.

MAY 2022 VIOLATION

ORDER TO STOP WORK
THIS PROPERTY IS IN VIOLATION
OF
STATE OR LOCAL CODES

Mail To:
WHALEN, BWHALENRENT A & KATINA M
4103 S MEADOW WOOD CT
NEW PALESTINE, IN

Case Number: VI022-000118
Date: 05/04/2022
Time: 11:30 AM

Location of Work: 11809 COLMAR ST. BARN

Reason for issuance: 745-100(A)(3) - SITE IMPROVEMENT IS OCCURRING FOR WHICH A CERTIFICATE OF APPROPRIATENESS (COA) FROM THE INDIANAPOLIS HISTORIC PRESERVATION COMMISSION IS REQUIRED PURSUANT TO IC 36-7-11-1-1 ET SEQ. WITHOUT A CERTIFICATE OF APPROPRIATENESS (COA) HAVING FIRST BEEN ISSUED - DEMOLITION OF AN ACCESSORY.

This Stop Order shall expire and applicable construction activity may resume when: A COA AND WRECKING PERMIT ARE OBTAINED

For information on obtaining permits, please call (317) 327-6700.

Any person, partnership or corporation violating this Stop Work may be subject to a fine in any sum not exceeding two thousand five hundred dollars (\$2,500.00).

Reference:
Improvement Location Permit

Department of Business & Neighborhood Services
1200 Madison Avenue, Suite 100
Indianapolis, IN 46225
Phone: (317) 327-6700

Inspector Signature: Joyce G. Goss
Inspector Name: Joyce Goss
Phone: 317-327-6220
Fax: (317) 327-6698

Do Not Remove





SEPTEMBER 2022 GOOGLE STREETVIEW





APRIL 2025 INSPECTION PHOTOS







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Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date:	May 7, 2025
Case Type:	Work Started Without Approval
Continued From:	July 2, 2024, August 7, 2024, December 4, 2024, March 5, 2025
Case Number:	2024-COA-188B (WP)
Property Address:	958 Woodruff Place Middle Drive
Historic Area:	Woodruff Place
Township:	Center
Council District:	13
Applicant:	Ali Khan
Owner:	AK Realty LLC
Request:	Work completed without approval: altering openings, siding and trim, and replacing doors
Staff Recommendation:	Continuance to the August 6, 2025 IHPC Hearing.
Staff Reviewer:	Shelbi Long
Case At-A-Glance:	Violation case was split into two parts: Part A corrections must be completed before the review of Part B.

BACKGROUND OF PROPERTY

At the August 2024 hearing, the Commission continued the above case. The case was to return to the Commission for review once the required correction work of 2024-COA-188A was completed. That work is not yet completed, so another continuance is needed. Once the work is completed the owner will need to return with plans for correction work to the rest of the structure.

The owner has requested an extension of the violation correction deadline for Part A to July 9, 2025. If approved, this case (Part B) will need to be continued to the August 6, 2025 IHPC hearing.

REQUEST

HISTORIC AREA PLAN RECOMMENDATION

STAFF RECOMMENDATION

STAFF RECOMMENDED MOTION

COA: 2024-COA-188B (WP)

To continue all remaining work to the north, south and west elevations to the August 6, 2025 IHPC hearing once the required correction work in 2024-COA-188A is completed.

EXHIBITS



Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date:	May 7, 2025
Case Type:	Work Started Without Approval
Continued From:	
Case Number:	2024-COA-356 (IRV)
Property Address:	5814 Beechwood Avenue
Historic Area:	Irvington
Township:	Warren
Council District:	14
Applicant:	Darryl Gunyon (listed Registered Agent & President of GREEN SITE LLC)
Owner:	GREEN SITE LLC
Request:	Install railings and for work completed without approval including: replace windows and doors, installation of fiber cement siding, replacement of wood trim, enclose openings and create new openings, remove awnings, demolish greenhouse and construction new addition.
Staff Recommendation:	Continue to the June 4, 2025 IHPC hearing.
Staff Reviewer:	Shelbi Long
Case At-A-Glance:	A continuance is necessary to allow for proper notice.

BACKGROUND OF PROPERTY

REQUEST

HISTORIC AREA PLAN RECOMMENDATION

STAFF RECOMMENDATION

STAFF RECOMMENDED MOTION

2024-COA-356 (IRV):
To continue to the June 4, 2025 IHPC Hearing.

EXHIBITS

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Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date:	May 7, 2025
Case Type:	EXPEDITED
Continued From:	
Case Number:	2025-COA-048 (IRV) & 2025-VHP-001
Property Address:	114 Good Ave
Historic Area:	Irvington
Township:	Warren
Council District:	14
Applicant:	Kasey Newbold
Owner:	Randall & Theresa Patee
Request:	Demolish historic garage; construct new detached garage; variance of development standards to construct within the clear sight triangle.
Staff Recommendation:	Approval
Staff Reviewer:	Morgan Marmolejo
Case At-A-Glance:	This request is to demolish a historic garage and construct a new 3-car detached garage. Staff is recommending approval of the application.

BACKGROUND OF PROPERTY

The subject property appears on the 1915 Sanborn Atlas map, it is believed that the home was built in the 1870s, but it does not appear on any earlier Sanborn maps. The subject structure is a frame shed. It features 1x8 vertical siding with a swinging door shed. The windows were previously removed and boarded over. It sits on a concrete block foundation that is deteriorated. An accessory structure is shown on the 1915 Sanborn map and is shown in aerial photos dating back to 1937, though the shed has been through various alterations.

REQUEST

1. Demolish the existing historic shed that has deteriorated to a point that historic integrity is lost.
2. Construct a new 3-car detached garage. The proposed garage is a single story, side gable structure. The structure would be sided with smooth, fiber cement siding with a 4" exposure with 5/4x4" smooth, fiber cement trim. The structure would also feature double hung windows, a single pedestrian door, and overhead garage doors.

3. The application includes a variance of development standards to allow construction within the required clear sight triangle.

HISTORIC AREA PLAN RECOMMENDATION

Additions and Accessory Buildings

- *Accessory buildings should be located behind the existing historic building unless there is an historic precedent otherwise. Generally, accessory buildings should be of a secondary nature and garages should be oriented to alleys.*
- *Additions should be located at the rear, away from the front façade.*
- *The scale, height, size, and mass of an addition should relate to the existing building and not overpower it. The mass and form of the original building should be discernible, even after an addition has been constructed.*
- *Additions and accessory buildings should be discernible as a product of their own time.*

STAFF RECOMMENDATION

Staff is recommending approval of the application. The garage is straightforward and respectful of the property and the district. The obstruction to the clear sight triangle of the alley is minimal as the alleyway is not paved or frequently used by the general public or city services.

STAFF RECOMMENDED MOTION

COA #2025-COA-048 (IRV):

To approve a Certificate of Appropriateness to demolish a historic garage, construct 3-car detached garage, and for a Variance of Development Standards, per the submitted documentation and subject to the following stipulations:

DBNS: PERMITS MAY NOT BE ISSUED until stipulations number 1, 2, and 3 are fulfilled.

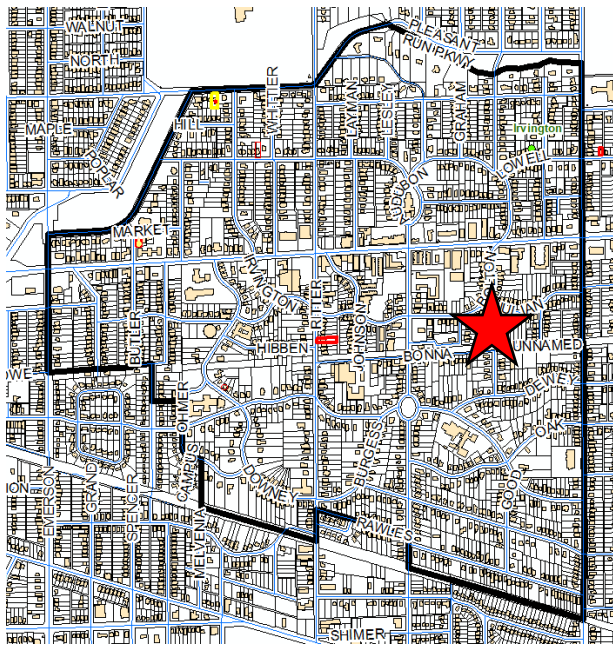
1. Construction must not commence prior to approval by the IHPC staff of final construction drawings. *Approved _____ Date _____*
2. A pre-construction meeting with IHPC staff, the owner, and the contractor/construction manager must be held prior to the commencement of any construction.
Approved _____ Date _____
3. The site shall be field staked with no offsets and approved by IHPC staff prior to construction. *Approved _____ Date _____*
4. Boxed soffits ("bird boxes") are not permitted. Rafter tails may be left exposed or sheathed with sloping soffit board parallel to pitch of roof.
5. Trim and siding shall be wood or fiber-cement, and shall have a smooth texture and be free of major imperfections. Rough-sawn finishes are not permitted. Siding reveal must match approved drawings.
6. Work on exterior finishes and details must not commence prior to the approval by IHPC staff of each. These may include, but are not limited to: doors, windows, foundations, exterior light fixtures, railings, roof shingles, etc.
7. Any changes to the proposed design must be approved by IHPC staff prior to commencement of work.

NOTE: Owner is responsible for complying with all applicable codes.

VHP #2025-VHP-025:

To approve a Variance of Development Standards to allow construction within the required clear sight triangle.

EXHIBITS



Location of subject property



Front of shed from backyard



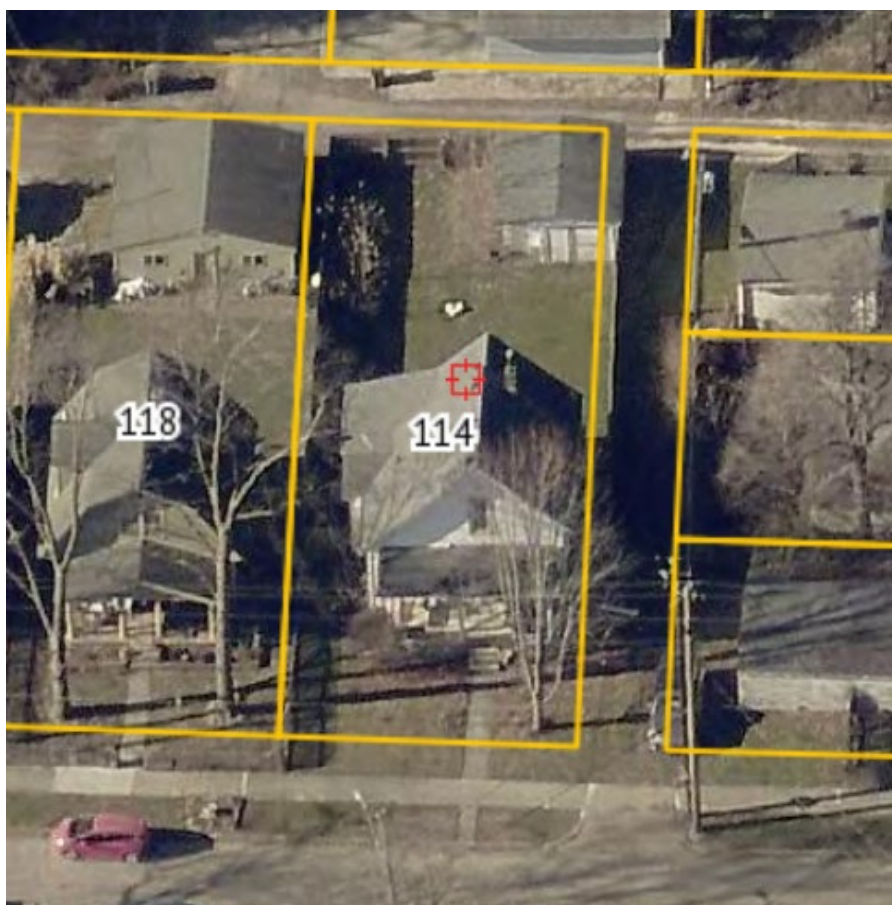
Side of shed from backyard



Rear of shed from Hibben Ave



Rear/corner of shed from Hibben/Alley

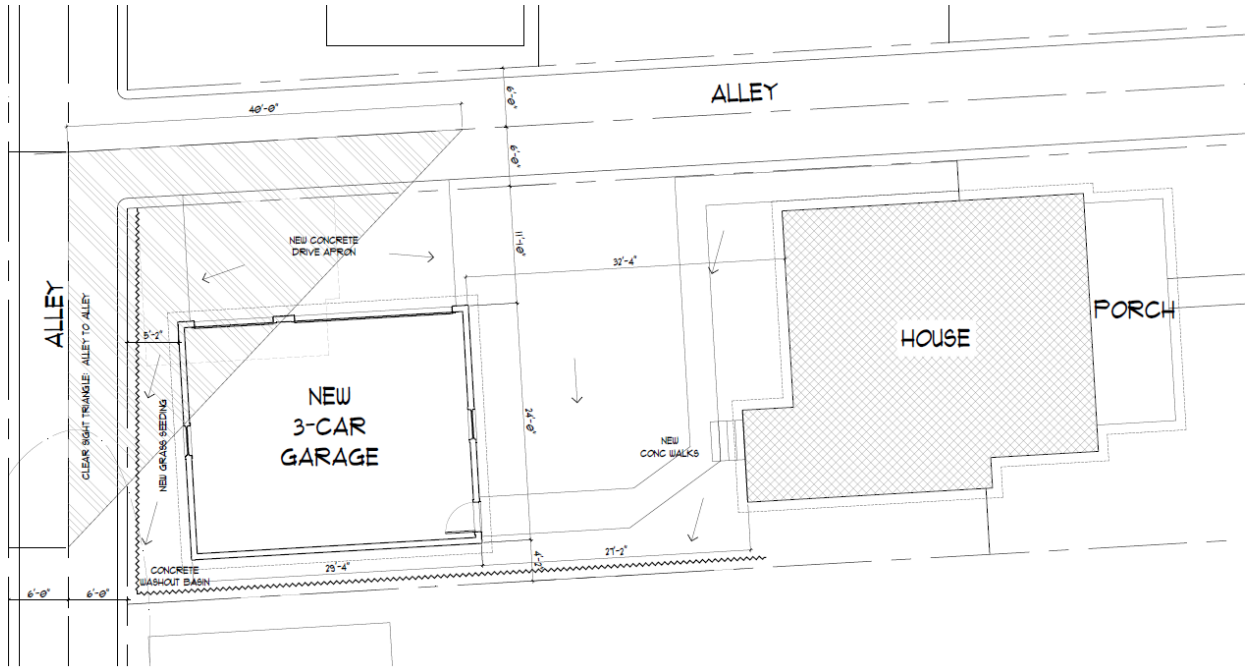


Aerial view of subject property

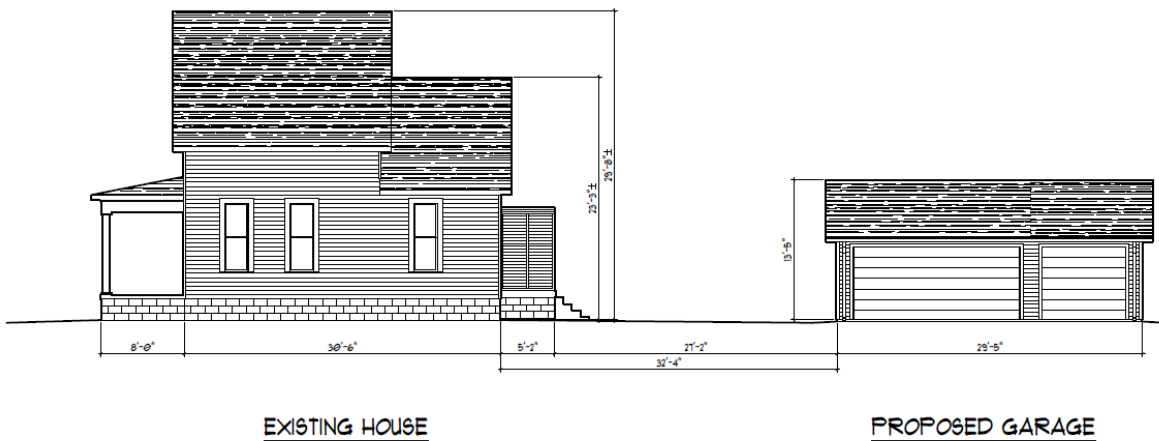


Aerial view showing rear facades

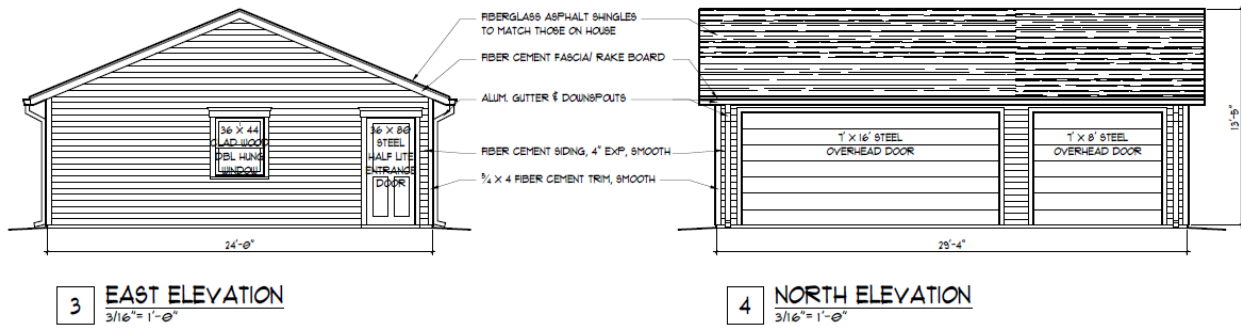
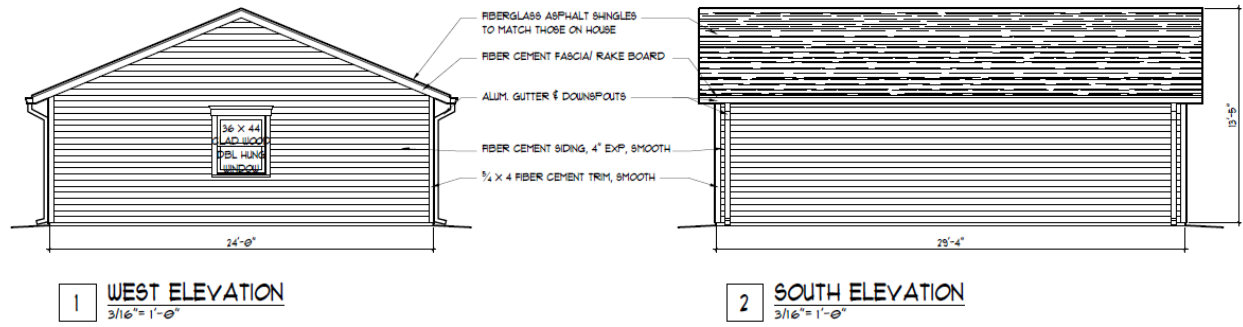
PROPOSED



Proposed site plan



Proposed massing study



Proposed Elevations

Proposed Findings of Fact

1. The grant will not be injurious to the public health, safety, morals, and general welfare of the community because:

The existing garage is fully in the clear sight triangle of the alleys and sits directly on the property lines in the corner of the alleys.

Petitioner's proposed garage will be set back more from the property lines and will only impede a corner of the clear sight triangle giving much better and safer line of sight at the intersection of the alley.

2. The use or value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner because:

The addition of this garage will raise the subject property's value which helps all surrounding properties. Additionally the proposed garage is similar in size to the neighbors on the south, north, and west of the property. And lastly, the proposed location will open up the line of sight at the alley intersection making it better and safer for everyone.

3. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property because:

The size of this yard in particular in the Irvington historic neighborhood makes it impossible to build a garage of any usable size according to a strict application of the zoning ordinance.

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Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date: May 7, 2025
Case Type: EXPEDITED
Continued From:
Case Number: 2025-COA-055 (IRV)
Property Address: 5921 Oak Avenue
Historic Area: Irvington
Township: Warren
Council District: 14
Applicant: Sean Ray
Owner: Sean Ray
Request: Construct rear 2nd story addition.
Staff Recommendation: **APPROVAL**
Staff Reviewer: Morgan Marmolejo
Case At-A-Glance: This request meets the plan.

BACKGROUND OF PROPERTY

The subject property is a 2-story frame, single family dwelling with a single-story addition on the rear of the property. The home first appears on Sanborn maps in 1915, but the home was originally constructed in the 1900s. The first story addition first appears on aerial photos in 1995.

REQUEST

The applicant is proposing to construct a 2nd story addition on the rear of their home above the existing rear addition. The new addition will feature fiber cement siding with a 4 1/2" exposure and 1x6 fiber cement corner trim. The addition will feature wood double hung windows and a flat skylight. The addition will have a hipped roof with a small shed roof over the rear door of the home.

HISTORIC AREA PLAN RECOMMENDATION

Irvington Historic Area Plan

- *Additions should be located at the rear, away from the front facade.*
- *The scale, height, size, and mass of an addition should relate to the existing building and not overpower it. The mass and form of the original building should be discernible, even after an addition has been constructed.*

- *Additions and accessory buildings should be discernible as a product of their own time.*

STAFF RECOMMENDATION

Staff is in support of this request. The design of the new structure is compatible with the historic buildings in the surroundings and are products of their own time.

STAFF RECOMMENDED MOTION

COA #2025-COA-055 (IRV)

To approve a Certificate of Appropriateness to construct a 2nd story addition, per submitted documentation and subject to the following stipulations:

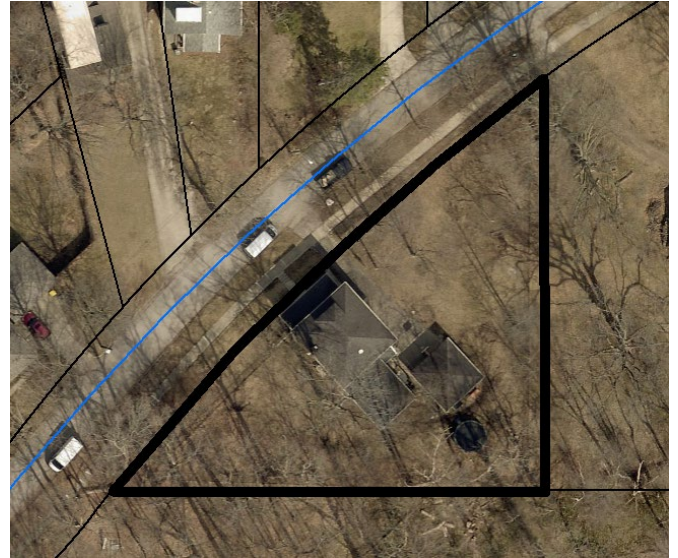
DBNS: PERMITS MAY NOT BE ISSUED until stipulations numbers 1-3 are fulfilled.

1. Construction must not commence prior to approval by the IHPC staff of final construction drawings.
Approved _____ Date _____
2. A pre-construction meeting with IHPC staff, the owner, and the contractor/construction manager must be held prior to the commencement of any construction. *Approved _____ Date _____*
3. Boxed soffits ("bird boxes") are not permitted. Rafter tails may be exposed or sheathed with sloping soffit board parallel to pitch of roof. Soffits may be vented.
4. Siding and trim materials must be wood or cementitious board and must have a smooth texture free of major imperfections and without embossed grain or rough-cut texture; artificial wood-grain patterns are NOT permitted.
5. All utility wires and cables must be located underground. No installation of utilities or meter and mechanical placement shall commence prior to IHPC staff approval.
6. Work on exterior finishes and details must not commence prior to the approval by IHPC staff of each. These may include, but are not limited to: doors, windows, foundations, exterior light fixtures, railings, roof shingles, etc.
7. Any changes to the proposed design must be approved by IHPC staff prior to commencement of work.

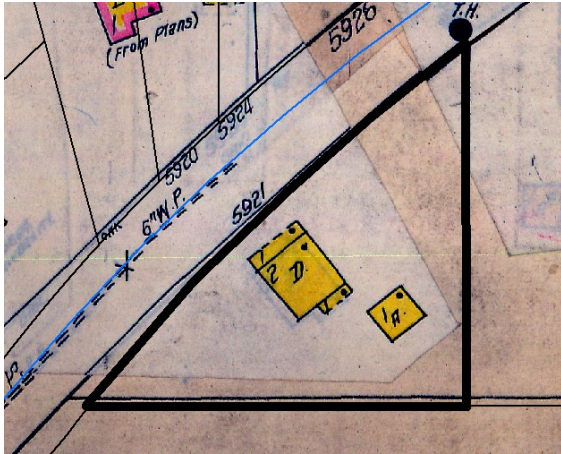
NOTE: Owner is responsible for complying with all applicable codes.

EXHIBITS

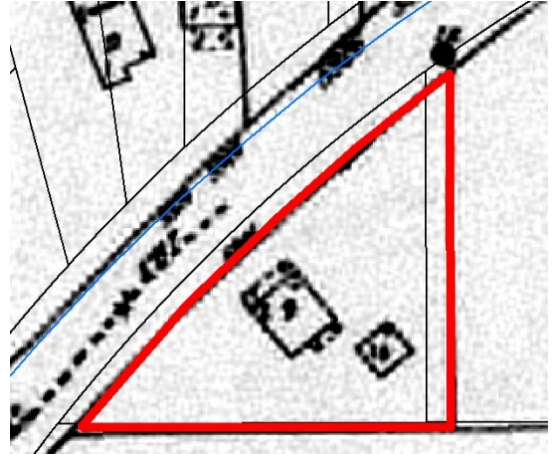
LOCATION OF SUBJECT PROPERTY



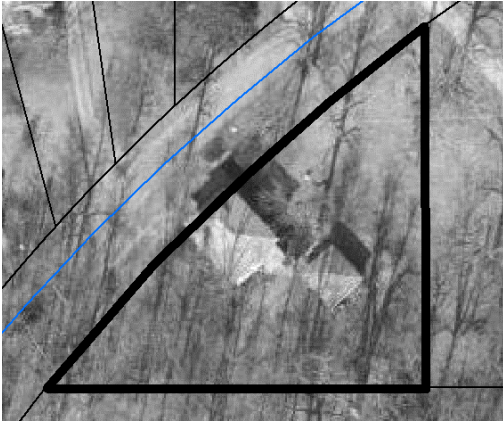
HISTORIC MAPS & IMAGES



1915 Sanborn



1956 Sanborn



1993 Aerial



2021 Aerial

SUBJECT PROPERTY & CONTEXT



Existing south/rear elevation



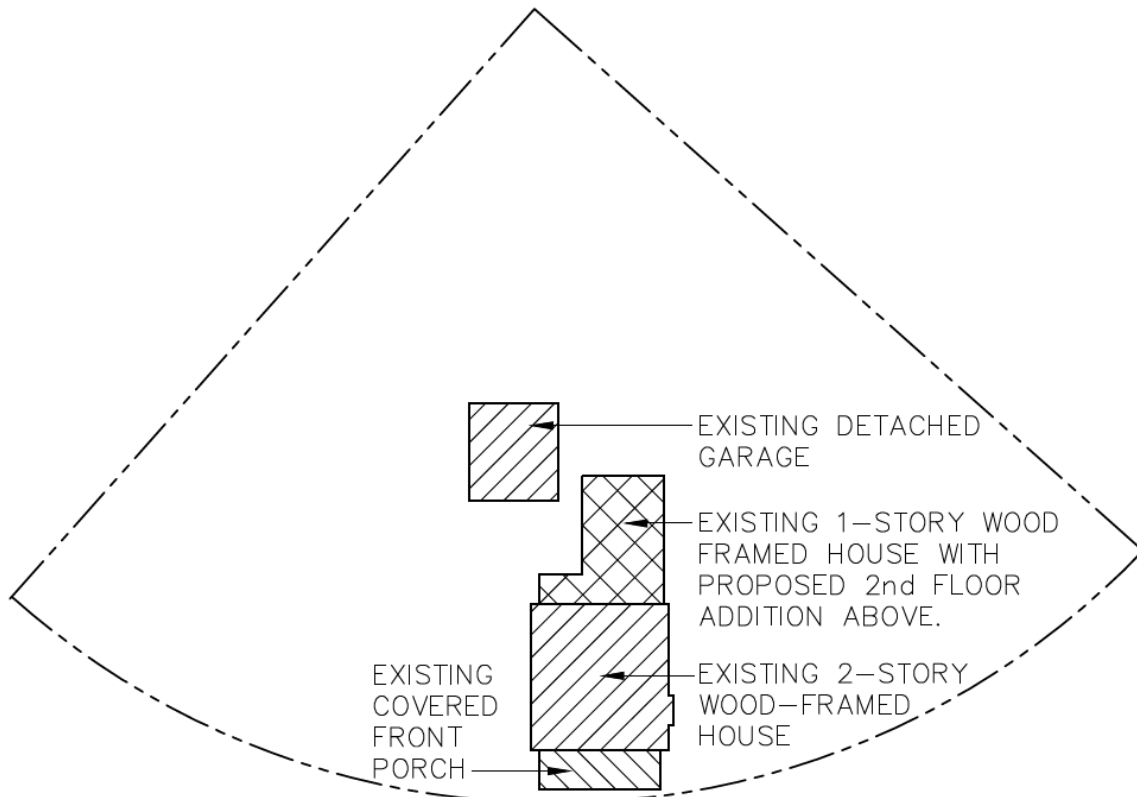
Existing west elevation



Existing east elevation



PROPOSED



1

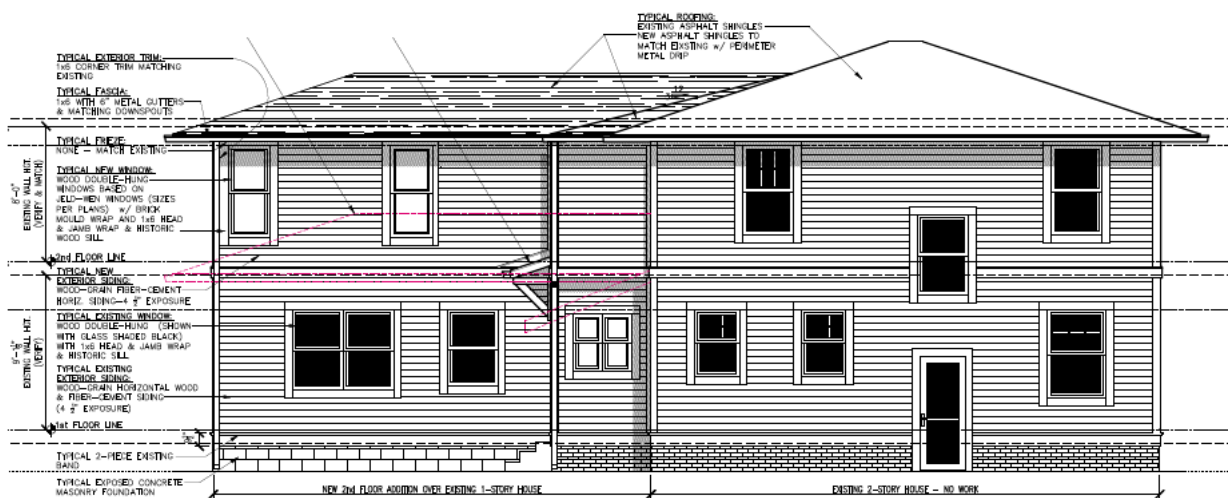
Site Plan

Scale: 1" = 30'-0"



PLAN NORTH

Site Plan

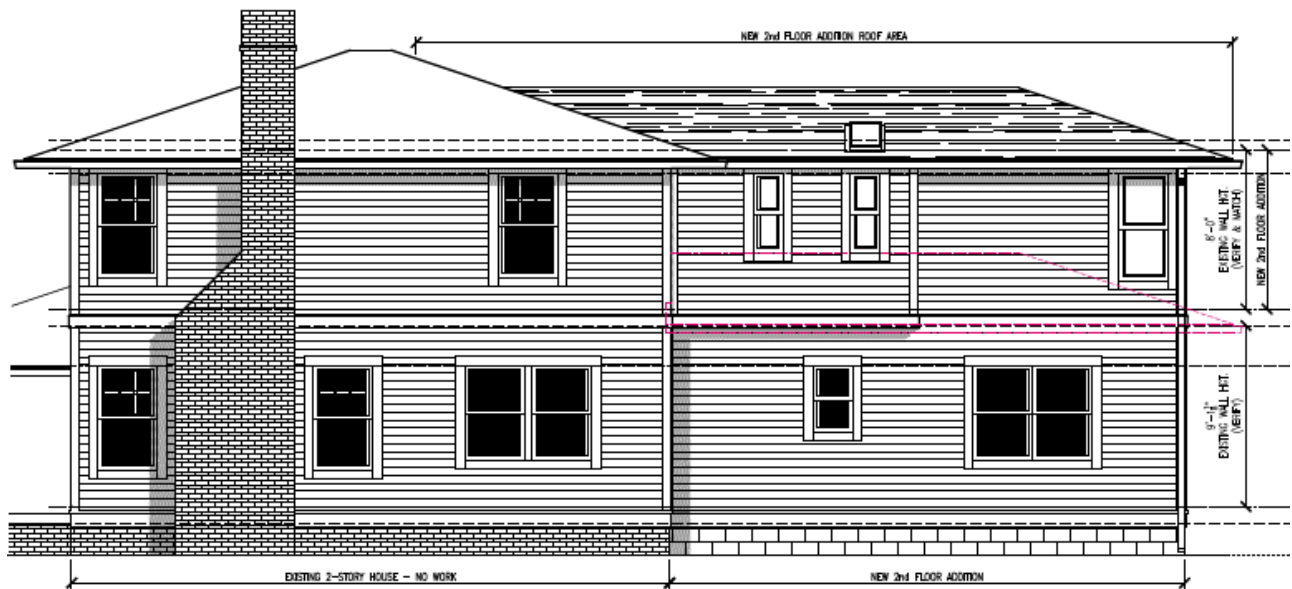


2

Partial East Elevation

Scale: 1/4" = 1'-0"

East Elevation



3 Partial West Elevation
Scale: 1/4" = 1'-0"

West Elevation



4 South Elevation
Scale: 1/4" = 1'-0"

South Elevation



Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date:	May 7, 2025
Case Type:	EXPEDITED
Continued From:	
Case Number:	2025-COA-081 (Drake) & 2025-ZON-039
Property Address:	3060 N. Meridian Street
Historic Area:	The Drake Apartments
Township:	Center
Council District:	8
Applicant:	Brandon Badger, DMD
Owner:	Department of Metropolitan Development
Request:	Rezone property from C-S to D-9
Staff Recommendation:	Approval
Staff Reviewer:	Emily Jarzen
Case At-A-Glance:	The request is to rezone from Commercial Special (a special zoning classification limited at this site to Children's Museum uses) to D-9, a medium apartment classification that permits 13-50 apartment units. Staff is recommending approval for the rezone.

BACKGROUND OF PROPERTY

The Drake was designed as a luxury apartment building by architect Henry Ziegler Dietz. It was constructed between 1928 and 1929. There is also a garage on the site. It is brick with limestone embellishments. The building features a semi-hexagonal bay that projects from the building with narrow, 8-light casement windows. The bay is predominantly limestone.

The property was previously owned by the Children's Museum and is zoned C-S (commercial special), for uses particular to the museum. A previous certificate of Legal Non-Conforming Use expired due to vacancy.

REQUEST

The request is to rezone the property from C-S (Commercial Special) to D-9. D-9 is a medium apartment classification (13-50 units), allowing for the density and number of apartments that exist in the Drake.

HISTORIC AREA PLAN RECOMMENDATION

The Drake individual historic property plan includes the following preservation objective:

Encourage adaptive reused/redevelopment of the historic Drake Apartment Building that retains and preserves the exterior features of the structures, and not demolition of the historic Drake Apartment Building or its historic garage on the site.

STAFF RECOMMENDATION

Staff is recommending approval of the application. The rezone will legally establish multi-family residential use.

STAFF RECOMMENDED MOTION

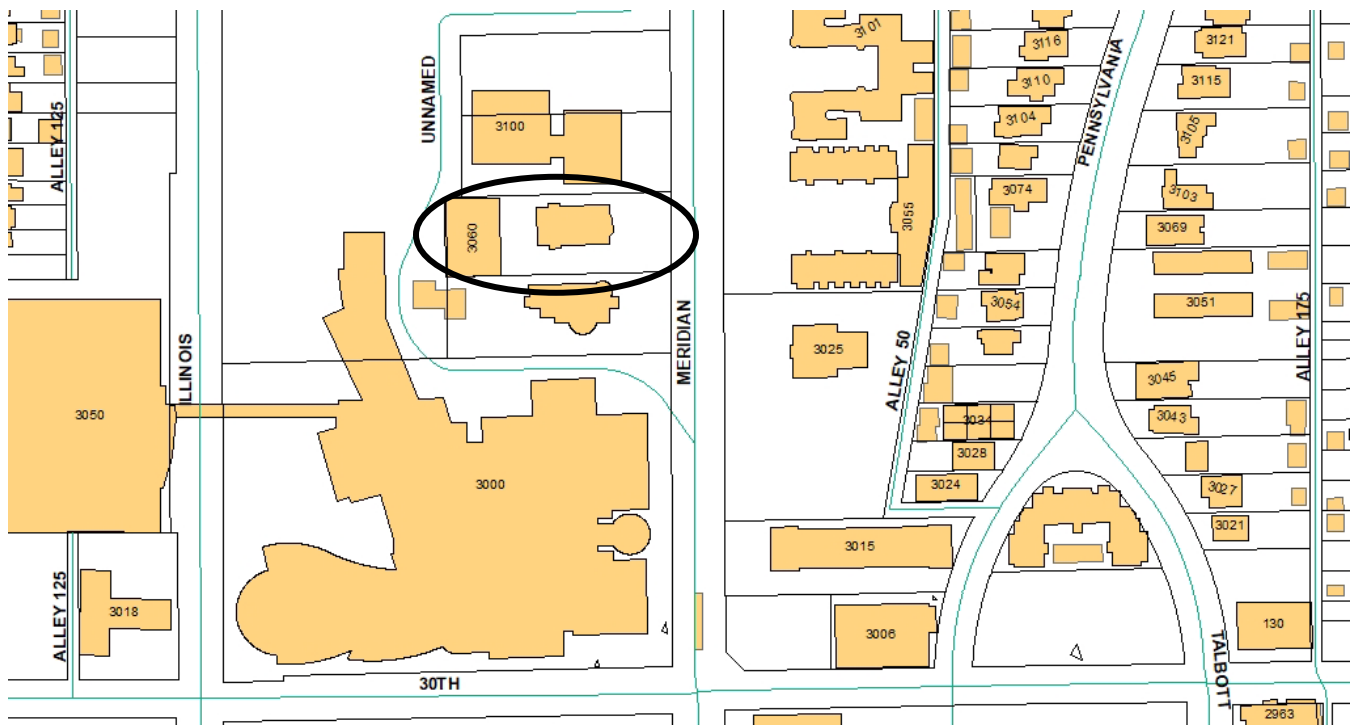
2025-COA-081 (Drake):

To approve a Certificate of Appropriateness to rezone the subject property to D-9 per the submitted documentation.

2025-ZON-039:

To recommend approval to the Metropolitan Development Commission to rezone the subject site from C-S to D-9.

EXHIBITS



Location of subject property



Subject property

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Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date:	May 7, 2025
Case Type:	Expedited Case
Continued From:	
Case Number:	2025-COA-085 (HMP)
Property Address:	2179 North Pennsylvania Street
Historic Area:	Herron-Morton Place
Township:	Center
Council District:	12
Applicant:	Rachel Walker
Owner:	Rachel Walker
Request:	Demolish historic addition
Staff Recommendation:	APPROVAL
Staff Reviewer:	Shelbi Long
Case At-A-Glance:	This request meets the guidelines in the historic area plan and staff is recommending approval. Staff is not aware of any opposition.

BACKGROUND OF PROPERTY

The subject property was originally the location of two frame dwellings. Based on aerial photography, the most northern house was demolished in the late 1950s – early 1960s. Around that same time, the northern portion of the existing structure was built. By 1972, the southern house was demolished and an addition was constructed on the building. The structure and its addition have been consistently used for dry cleaning services. The northern portion of the building is still actively used as a dry cleaner, while the southern addition is not used.

REQUEST

The applicant is requesting to demolish the historic addition on the south side of the building. Due to the site being used as a dry cleaning service, there is contamination in the ground. The highest levels of pollutants are underneath the addition, including in its concrete slab. These pollutants have affected the groundwater in the surrounding area. To complete the necessary environmental remediation work the addition and the contaminated slab need to be removed.

HISTORIC AREA PLAN RECOMMENDATION

Demolition of portions of a building: If done without forethought, such action could have disastrous effects on the architectural integrity of the building and destroy continuity along the streets.

Significance: demolition is not permitted if the building is of historic or architectural significance or displays a quality of material and craftsmanship that does not exist in other structures in the area.

Location: demolition is not permitted if the building contributes to the neighborhood and the general street's appearance and has an effect on other buildings in the area, unless one of the following criteria is met.

Potential for Restoration: demolition may be considered if the building is beyond feasible economic repair as determined by the Commission and/or consultants it wishes to employ.

Condition: demolition may be considered if the condition of the building or portion thereof is such that an immediate threat to health and safety exists.

STAFF RECOMMENDATION

Staff is recommending approval. While the addition is over 50 years old, making it historic, staff does not find that it is significant in its construction, materials or design, or that its impact on the main structure and surrounding district is substantial. Staff believes the structure also meets the guidelines for demolition in the Herron-Morton Place plan under the criteria of condition, as the contaminated condition of the addition and the soil underneath it is a threat to public health and safety.

STAFF RECOMMENDED MOTION

COA #2025-COA-085 (HMP)

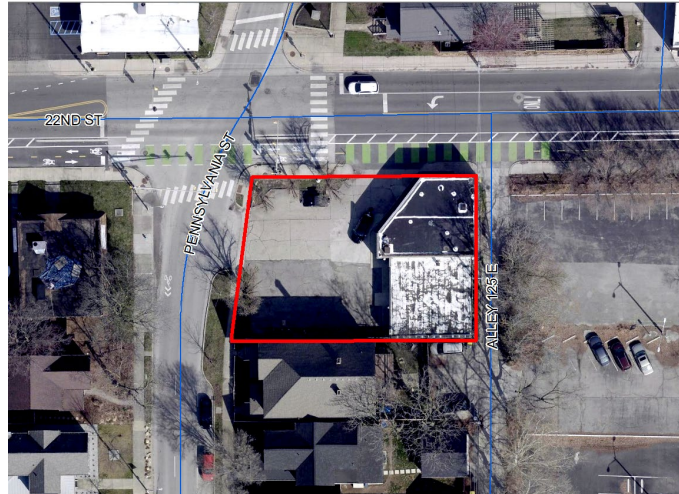
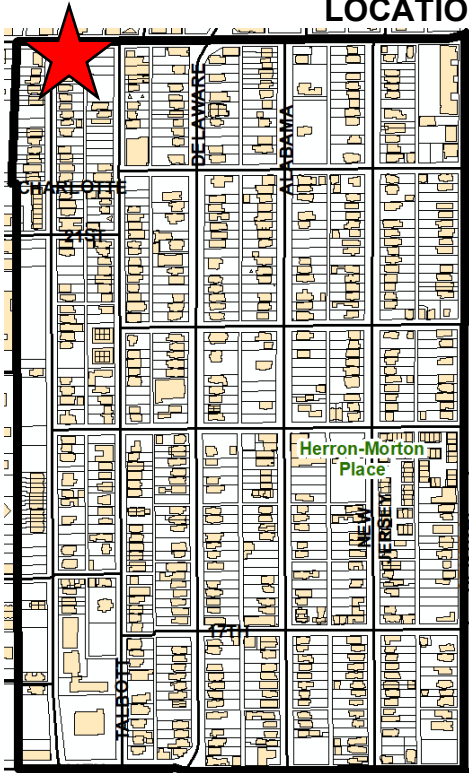
To approve a Certificate of Appropriateness to demolish historic addition, per submitted documentation and subject to the following stipulations:

1. All slab and subterranean foundations shall be removed from site.
2. All debris from demolition work shall be removed from the site within 7 days of substantial completion.
3. Site shall be backfilled and graded to match existing grades and seeded with grass.
4. Any deviation from this approach shall be approved by IHPC staff prior to work taking place.

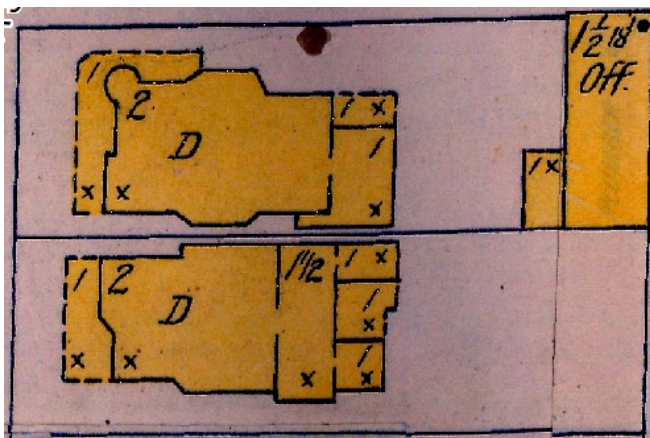
NOTE: Owner is responsible for complying with all applicable codes.

EXHIBITS

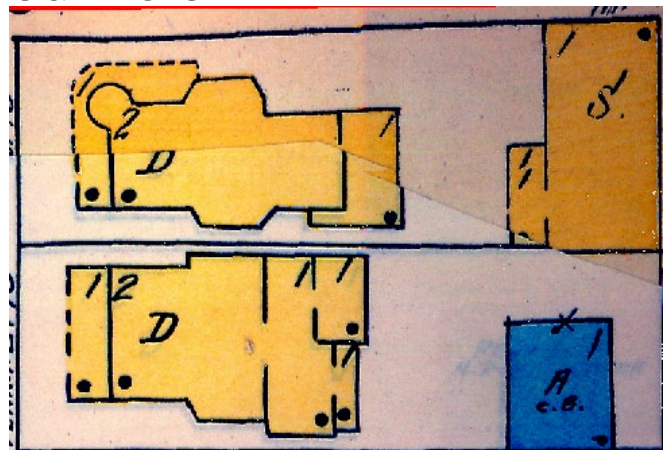
LOCATION OF SUBJECT PROPERTY



HISTORIC MAPS & IMAGES



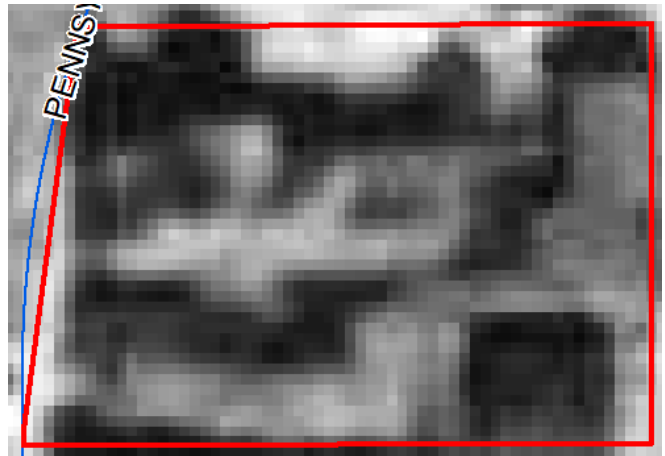
1898



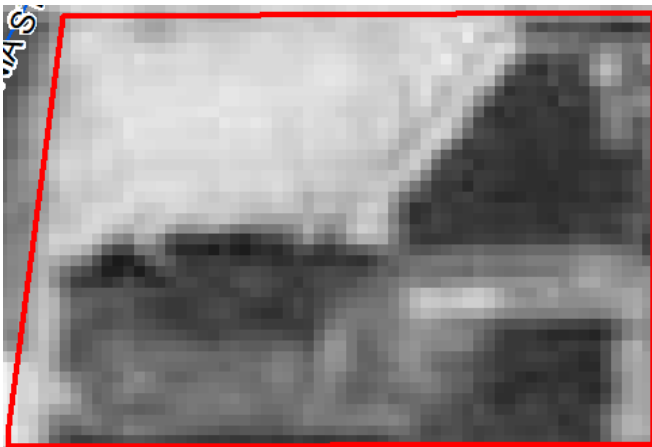
1915



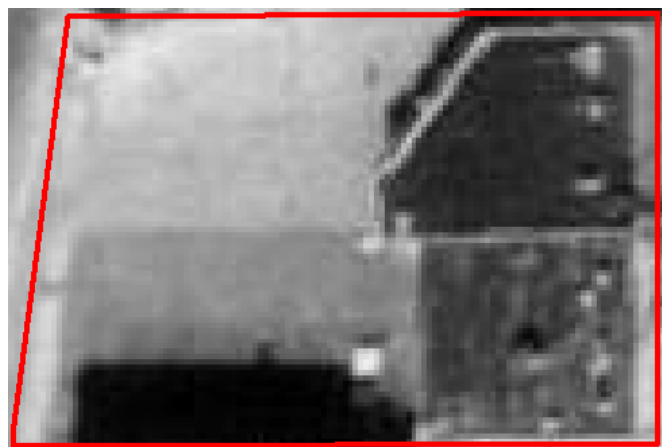
1956 with paste overs



1956



1962



1972

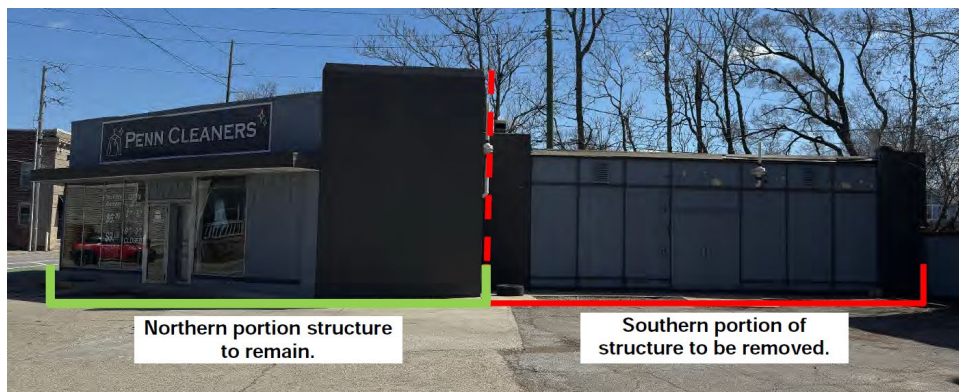
SUBJECT PROPERTY



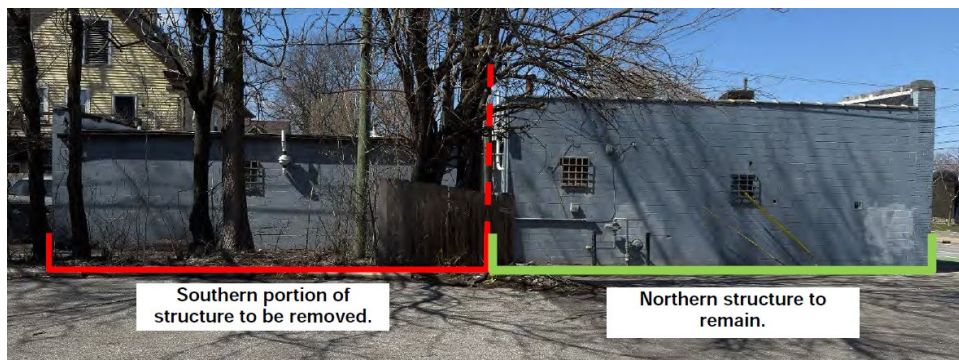
Existing conditions – northwest corner
(left image view from Pennsylvania Street, right image view from 22nd Street)



Existing conditions – left image west elevation of addition to be removed, right image south and east elevations of addition to be removed



West elevation – detailing addition to be removed



East elevation – detailing addition to be removed

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Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date:	May 7, 2025
Case Type:	Expedited Case (Amending previously approved conditions)
Continued From:	
Case Number:	2025-COA-097 (LS)
Property Address:	331 N. Park Avenue
Historic Area:	Lockerbie Square
Township:	Center
Council District:	13
Applicant:	Jonathan & Brooke Lamb
Owner:	Same as above
Request:	Amend previously approved 08-110 (LS)/2010-COA-098 Amendment 2) and allow dismantled barn siding to be permanently removed from the property.
Staff Recommendation:	Approval
Staff Reviewer:	Emily Jarzen
Case At-A-Glance:	This case has an extremely long history, dating back 17 years. Storing materials on-site was required for the previous owner when he received permission to dismantle the barn. Owners that took possession in 2022 are requesting to remove the salvaged siding permanently. Staff finds this a reasonable request: the barn was in a dilapidated condition when it received Health & Hospital orders in 2019. The siding has only further deteriorated since that point and is not a good candidate for re-use.

BACKGROUND OF PROPERTY

Lumber dealer Henry Long constructed the cottage on this property in 1868 for use as a rental property. There is no way to determine exactly when the former barn at the rear of the property was constructed. The barn is shown in the 1887 Sanborn Map. The building was framed with hewn beams and the siding was a mixture of original and infill barn wood.

The previous owner obtained a COA in 2008 to dismantle the barn that was on this site and build a new accessory structure utilizing some of the wood from the structure in the new design. That work was never completed. That owner came back for extensions and amendments nearly one dozen times between 2008 and 2022. The property was sold in 2022.

- *Initial COA, 08-110, granted:* May 8, 2008
- *2010-COA-098 granted:* May 5, 2010 (this was an extension of 08-110)
- *Extensions granted:*
 - April 8, 2011
 - Aug. 1, 2012
 - Oct. 2, 2013
 - Dec. 3, 2014
 - March 2, 2016
 - December 6, 2017
 - March 6, 2019
- *COA issued for stabilization:* June 5, 2019
- *2010-COA-098 Amendment 2 to allow dismantling of the barn:* February 5, 2020.

This last COA required that the salvaged barn siding be stored on-site. This was approved when the building had deteriorated to such a point that it was leaning into the alley and there was an engineer's assessment of the condition.

REQUEST

The property was sold in 2022. The new owners have been complying with keeping the old siding on site, but after exploring ways to re-use the old siding, have found that the siding is in too poor of a condition to salvage and use again. They are requesting that the previous approval/stipulation be amended so that the barn debris can be permanently removed from the site and disposed of.

STAFF RECOMMENDATION

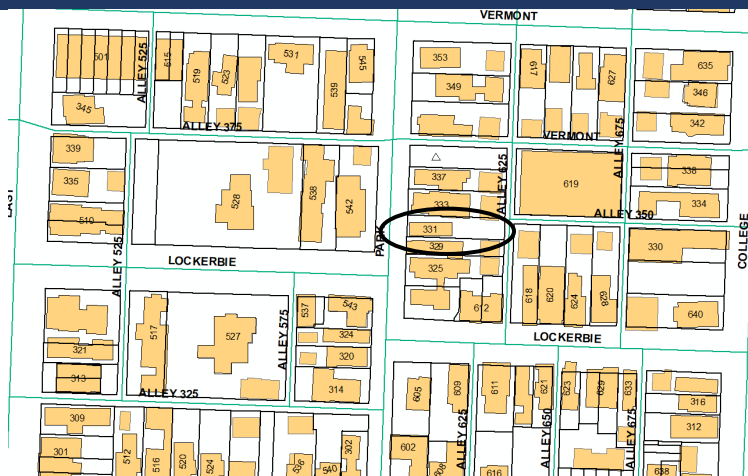
Staff is recommending permanent removal of the debris. The intended dismantling and new construction concept approved in 2008 never came to fruition. For all intents and purposes, the IHPC granted approval for demolition in 2008, but it was a long and slow process for it to be completed. It is clear that the siding is not compatible with re-use at this point, and storing pieces on-site is not realistic in the long-term for the current owners.

STAFF RECOMMENDED MOTION

COA 2025-COA-097 (LS):

To approve amending requirement set forth in COA 08-110 (LS) (AKA 2010-COA-098 Amendment 2) and allow dismantled barn siding to be permanently removed from the property.

EXHIBITS



Location of subject property

Barn in 2020 before it was dismantled



Barn pieces, 2025



INDIANAPOLIS HISTORIC PRESERVATION COMMISSION

CERTIFICATE OF APPROPRIATENESS

FILE NUMBER: 2010COA098 Amended (2) DATE APPROVED: February 5, 2020 HISTORIC AREA: Lockerbie Square

FOR WORK TO BE DONE AT: 331 N. PARK AVE

APPLICANT: HENDREN, JON D & KIMBERLY D

ADDRESS: 331 N PARK AVE

CITY/STATE: INDIANAPOLIS, IN

ZIP CODE: 46202

TYPE OF WORK APPROVED UNDER THIS CERTIFICATE:

COA 08-110 (LS) aka 2010-COA-098 (LS) Amendment (2):
Approval of a Certificate of Appropriateness for dismantling of the barn structure and storing any salvageable material onsite per the following stipulation:

1. The salvaged barn siding and framing shall be stored onsite and must be stored per the Health Departments orders. All wood shall be kept covered.

General Note: Permits are required for some work. Please contact the Permits office at 1200 Madison Ave, (317) 327-8700, to acquire all applicable permits prior to starting any project.



Joann Green, IHPC Secretary, RLA

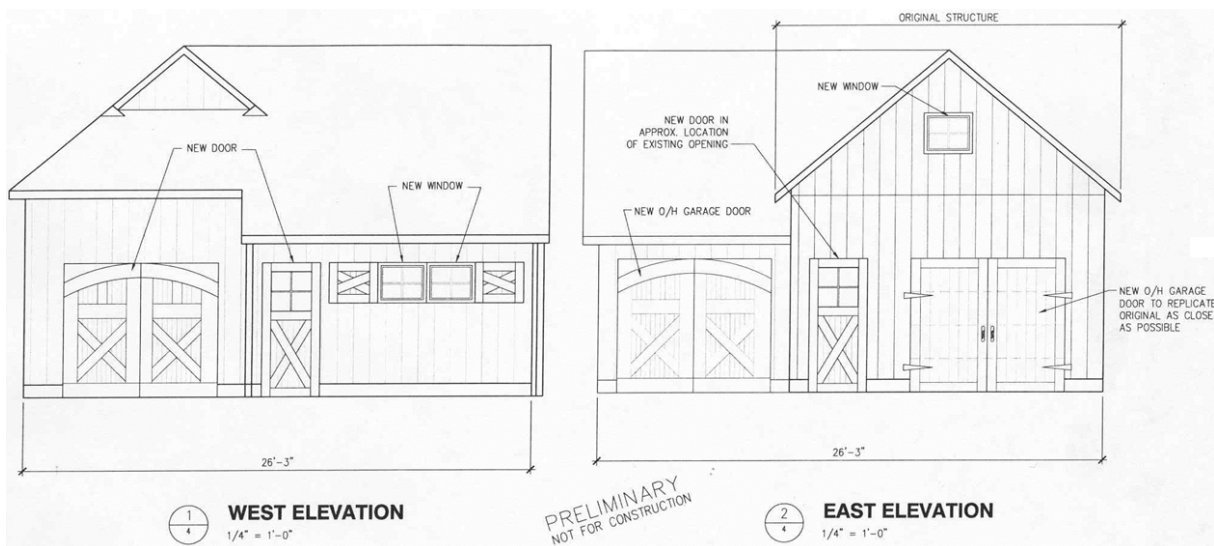
☒ IHPC HEARING

☐ ADMINISTRATIVE HEARING

☐ STAFF APPROVAL

NOTICE: THIS CERTIFICATE WILL BECOME VOID AFTER: 2/5/2021.
CONTACT THE IHPC OFFICE IF AN EXTENSION OF THE EXPIRATION DATE IS NEEDED.

February 2020 COA language (approved for previous owner)
requested to be amended by current owner



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Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date:	May 7, 2025
Case Type:	New Case
Continued From:	
Case Number:	2025-COA-088 (HMP)
Property Address:	1826 N. Delaware Street
Historic Area:	Herron-Morton Place
Township:	Center
Council District:	12
Applicant:	Paul Musielak
Owner:	Gem Homes LLC
Request:	Construct house and detached garage.
Staff Recommendation:	APPROVAL, with changes
Staff Reviewer:	Emily Jarzen
Case-At-A-Glance	This application is to build a single-family house and detached garage. Staff is recommending some minimal design changes/drawing clarifications. These can be reviewed and approved by staff during final construction drawings review.

BACKGROUND OF PROPERTY

The site is currently a vacant lot. It was historically the site of a single-family home, which was enlarged/replaced by a duplex. Based on aerial images of the property, the historic building was demolished between 1972 and 1979.

REQUEST

The application is to build a new single-family house and detached, 3-car garage. The house has a traditional design. The predominant material is smooth-finish fiber-cement lap siding with a 6" reveal. The front has dual gables. The lower gable has decorative shingle siding. There is a full-width porch with wrapped square columns and dual segmental arches. The rear façade has a shed roof porch, accessed by full-light doors. Windows are predominantly 1-over-1. The garage is a side gable design, with board and batten in the gable ends.

Context:

The predominant context along this stretch of Delaware Street is large, high-style historic Victorian houses. Several of these were modified for apartments, altering the front with enclosures and large multi-

story porches and balconies. There is a historic cottage a few doors to the south, and there are a few vacant lots being used for side yards.

HISTORIC AREA PLAN RECOMMENDATION

Herron-Morton Place Historic Area Plan

- Basic Principle: New construction should reflect the design trends and concepts of the period in which it is created. New structures should be in harmony with the old and at the same time be distinguishable from the old so that the evolution of Herron-Morton Place can be interpreted properly.
- Spacing: New construction should reflect and reinforce the character of spacing found in its block. New construction should maintain the perceived regularity or lack of regularity of spacing on the block.
- Building Height: Generally, the height of a new building should fall within a range set by the highest and lowest contiguous buildings if the block has relatively uniform heights... If the block is characterized by a variety of heights in no pattern, then the height of the new construction can vary from the lowest to the highest on the block.
- Mass: The total mass of a new building should be compatible with the surrounding building. The massing of the various parts of a new building should be characteristic of surrounding buildings.
- Style and Design: "Creativity and original design are encouraged. A wide range is theoretically possible, from modern to revivals, from simple to decorated." Also, "Look for characteristic ways in which buildings are roofed, entered, divided into stories and set on foundations."
- Fenestration: Creative expression with fenestration is not precluded, provided the result does not conflict with or draw attention from surrounding historic buildings.
- Materials: Visual compatibility between historic building materials and new materials "...can often be accomplished with some flexibility since building materials... have less impact on visual compatibility than larger scale visual elements."

STAFF RECOMMENDATION

Overall, the design is compatible with surrounding buildings and the district as a whole. The applicant worked on the scale and massing so that the house could better blend in with the very large houses around it. Staff does recommend some minor modifications for the final plans:

- Decorative gable shingle siding must be horizontally straight. No staggered/sawtooth installation permitted. This is already a standard stipulation, and the drawings will need to reflect that.
- The front façade ganged windows should be mulled. This is the approach taken on the side facades, and that trim work should be continued throughout the design.

STAFF RECOMMENDED MOTION

COA #2025-COA-088 (HMP)

To approve a Certificate of Appropriateness to construct a single-family house and detached garage, per submitted documentation and subject to the following stipulations:

DBNS: PERMITS MAY NOT BE ISSUED until stipulations numbers 1-3 are fulfilled.

1. Construction must not commence prior to approval by the IHPC staff of final construction drawings including any changes outlined in the May 7, 2025 IHPC staff report and/or required by the Commission at the IHPC hearing.

Approved _____ Date _____

2. A pre-construction meeting with IHPC staff, the owner, and the contractor/construction manager must be held prior to the commencement of any construction. *Approved _____ Date _____*

3. The site shall be field staked with no offsets and approved by IHPC staff prior to construction.

Approved _____ Date _____

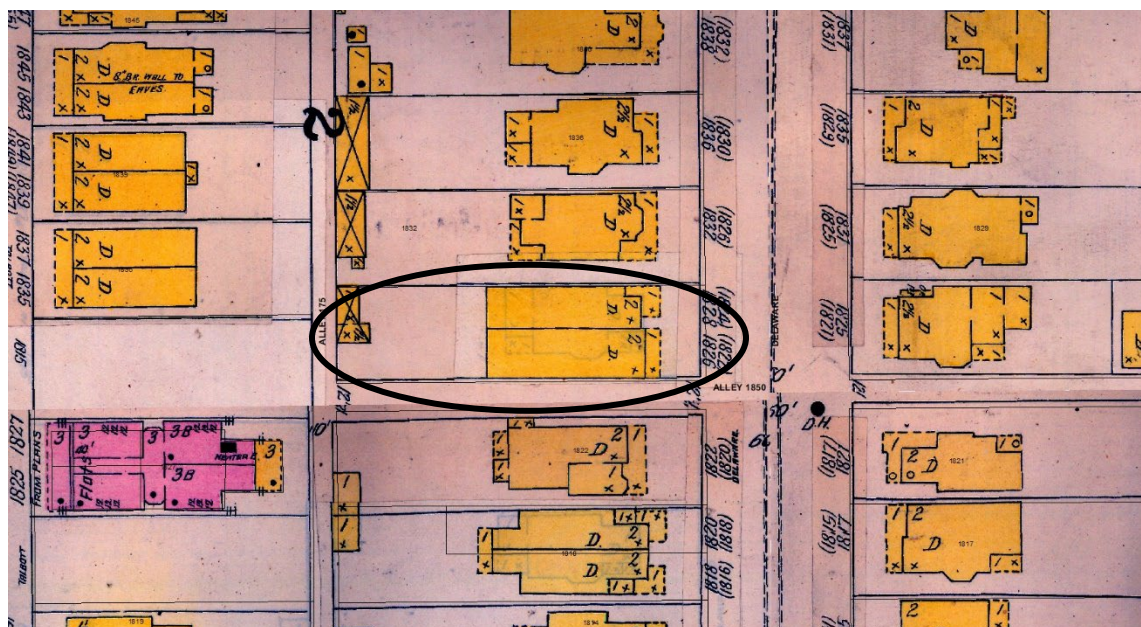
4. Boxed soffits ("bird boxes") are NOT permitted. Rafter tails may be exposed or sheathed with sloping soffit board parallel to pitch of roof. Soffits may be vented.
5. Siding and trim materials must be wood or cementitious board and must have a smooth texture free of major imperfections and without embossed grain or rough-cut texture; artificial wood-grain patterns are NOT permitted.
6. Decorative shingle siding must be installed horizontally straight. Staggered installation NOT permitted.
7. All utility wires and cables must be located underground. No installation of utilities or meter and mechanical placement shall commence prior to IHPC staff approval.
8. Work on exterior finishes and details must not commence prior to the approval by IHPC staff of each. These may include, but are not limited to: doors, windows, foundations, exterior light fixtures, railings, roof shingles, etc.
9. Exposed siding and trim must be painted.
10. Any changes to the proposed design must be approved by IHPC staff prior to commencement of work.

NOTE: Owner is responsible for complying with all applicable codes.

EXHIBITS



Location of subject property



1898 Sanborn map



Subject property



Context to the north



Context to the south

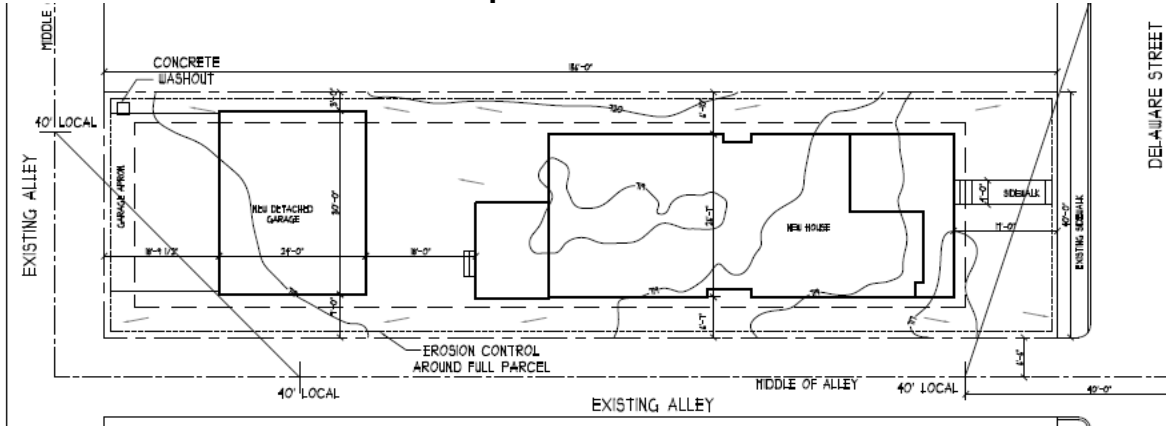


Context to the south



Context across the street, Google Street View

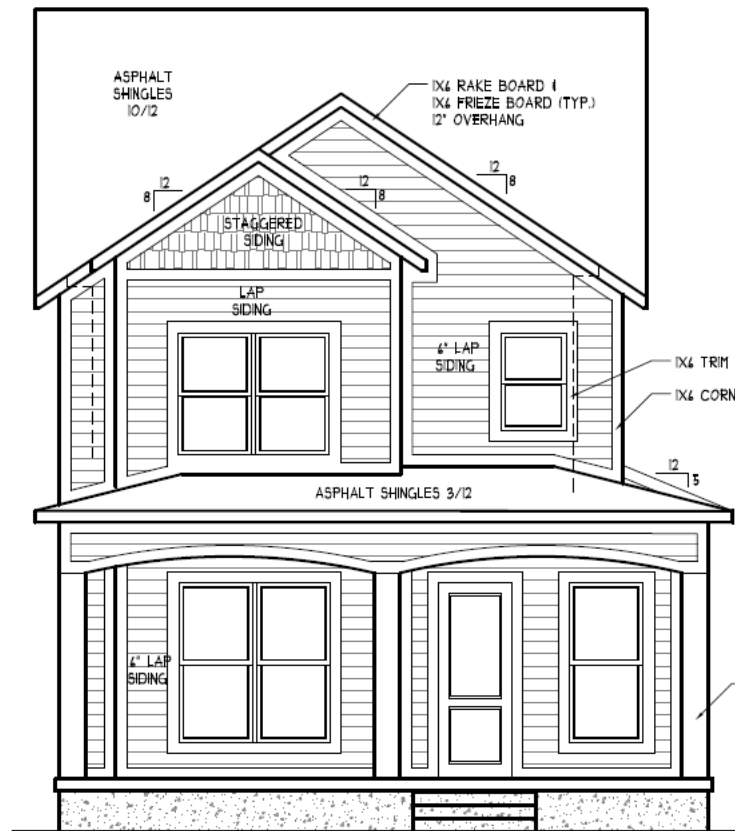
Proposed Plans



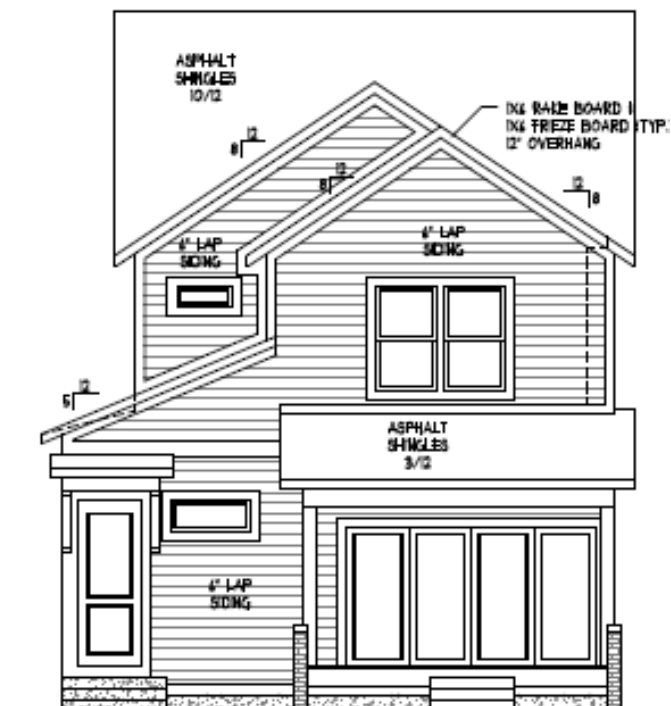
Proposed site plan



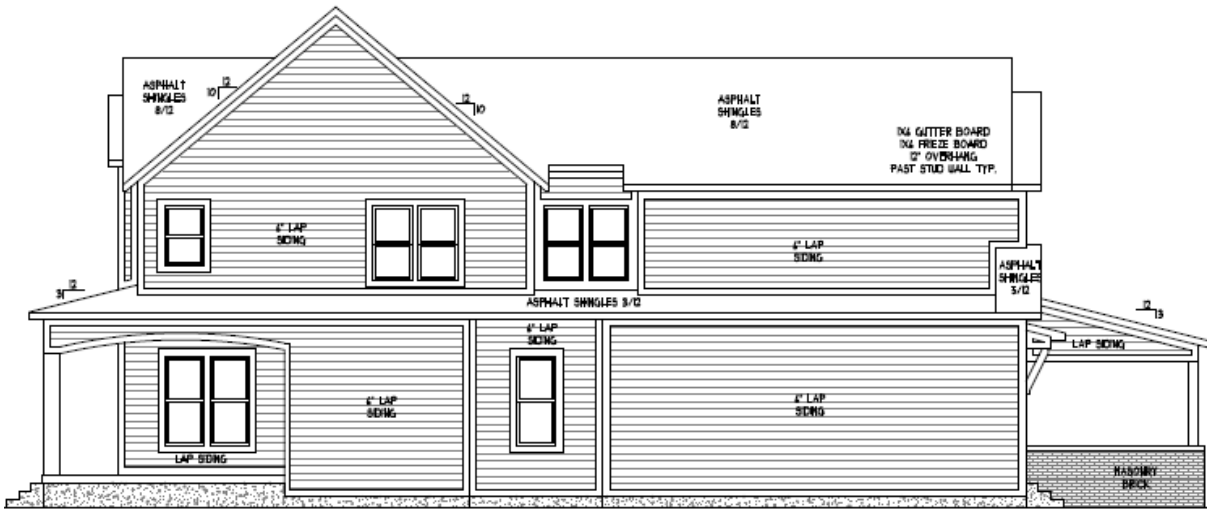
Proposed Streetscape



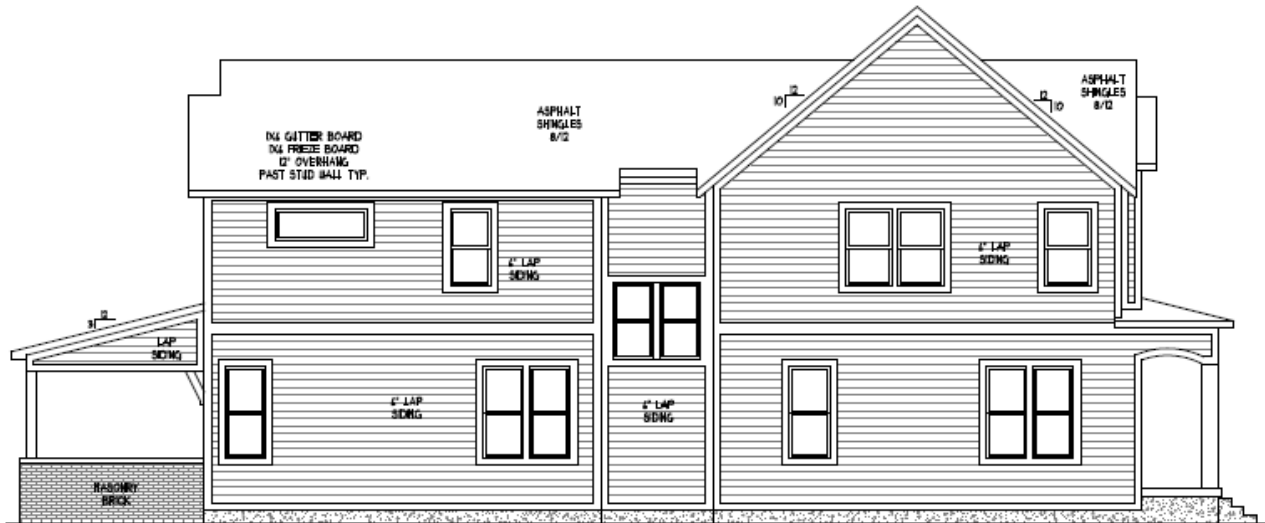
Front (east) elevation



Rear (west) elevation

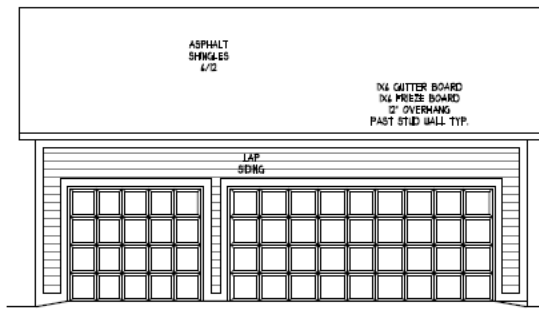


North elevation



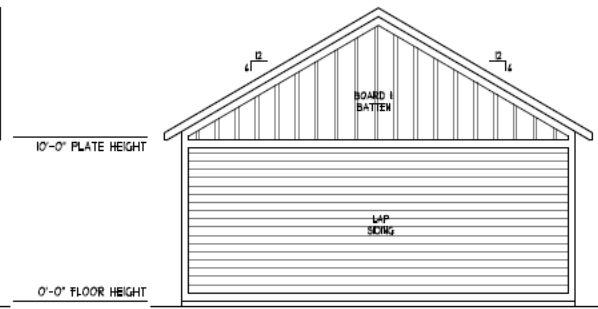
South elevation

Garage Plans



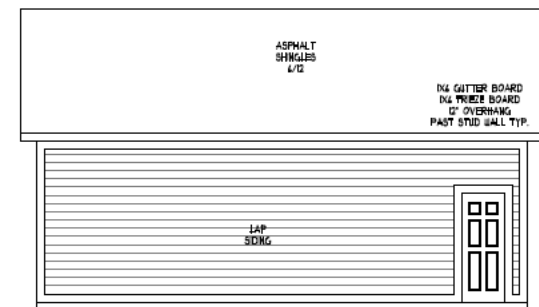
WEST - FRONT ELEVATION

SCALE: 1/8"=1'-0"



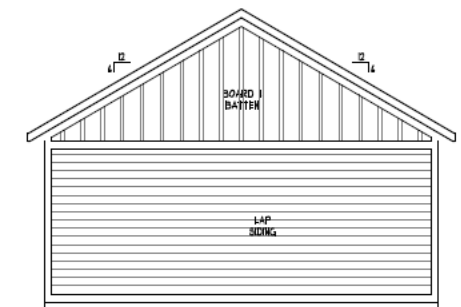
SOUTH - RIGHT ELEVATION

SCALE: 1/8"=1'-0"



EAST - REAR ELEVATION

SCALE: 1/8"=1'-0"



NORTH - LEFT ELEVATION

SCALE: 1/8"=1'-0"



Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

dIHPC STAFF REPORT SUMMARY

Hearing Date:	May 7, 2025
Case Type:	New Case
Continued From:	
Case Number:	2025-COA-096 (HMP)
Property Address:	1821 N Pennsylvania Street
Historic Area:	Herron-Morton Place
Township:	Center
Council District:	12
Applicant:	Paul Musielak
Owner:	Gem Homes LLC
Request:	Construct house and detached garage
Staff Recommendation:	APPROVAL with changes
Staff Reviewer:	Morgan Marmolejo
Case At-A-Glance:	Staff believes this request meets the guidelines in the historic area plan, but we do have concerns over some details of the drawings. Staff is not aware of any opposition to this request.

BACKGROUND OF PROPERTY

The site is currently a vacant lot. It was historically the location of a two story, frame dwelling with a one and a half story stable. By 1915 it appears that the stable was demolished and replaced with a frame accessory structure. Based on aerial images of the property the historic house was demolished between 1972 and 1979.

REQUEST

The applicant is proposing to construct a two-story house with one story, detached garage. The house would have an asphalt, side gable roof with a hip roof over the rear portion of the home and a shed roof over the dormer. The house would be clad in smooth fiber cement lap and board and batten siding. On the front façade there would be a full-width front porch with a hipped roof. The rear, east elevation would feature a shed roof porch. The house would also feature two over two light double hung windows and four light fixed windows.

The garage would be a front gable structure with smooth fiber cement lap siding. It would feature a double, overhead garage door and single pedestrian door.

HISTORIC AREA PLAN RECOMMENDATION

Herron-Morton Place Historic Area Plan

- **Basic Principle:** New construction should reflect the design trends and concepts of the period in which it is created. New structures should be in harmony with the old and at the same time be distinguishable from the old so that the evolution of Herron-Morton Place can be interpreted properly.
- **Spacing:** New construction should reflect and reinforce the character of spacing found in its block. New construction should maintain the perceived regularity or lack of regularity of spacing on the block.
- **Building Height:** Generally, the height of a new building should fall within a range set by the highest and lowest contiguous buildings if the block has relatively uniform heights... If the block is characterized by a variety of heights in no pattern, then the height of the new construction can vary from the lowest to the highest on the block.
- **Mass:** The total mass of a new building should be compatible with the surrounding building. The massing of the various parts of a new building should be characteristic of surrounding buildings.
- **Style and Design:** "Creativity and original design are encouraged. A wide range is theoretically possible, from modern to revivals, from simple to decorated." Also, "Look for characteristic ways in which buildings are roofed, entered, divided into stories and set on foundations."
- **Fenestration:** Creative expression with fenestration is not precluded, provided the result does not conflict with or draw attention from surrounding historic buildings.
- **Materials:** Visual compatibility between historic building materials and new materials "...can often be accomplished with some flexibility since building materials... have less impact on visual compatibility than larger scale visual elements."

STAFF RECOMMENDATION

Staff believes the design is compatible with the historic buildings in the surrounding area and is a product of its own time. Staff was initially concerned with the height of the building compared to the surrounding properties (1815 and 1825 N. Pennsylvania) but when doing a full analysis of the streetscape, the building would be in alignment with the property on the corner of 18th and Pennsylvania. Staff is asking a few details be corrected on the final plans. Those details are listed below and are notated on the drawings in this report:

- Board and Batten siding needs to be shown on the dormer.
- Band board needs to align with porch ceiling on north elevation, as shown on the south elevation.
- Roof line needs to be shown correctly on north elevation.
- Stairs on front porch need to be wider.
- Building height needs to be corrected (31'-11 1/4" on elevation, 32'-4" on streetscape).

Staff recommends the applicant take staff's and any of the commission's comments and make any corrections to the drawings for the final construction review.

STAFF RECOMMENDED MOTION

COA #2025-COA-096 (HMP)

To approve a Certificate of Appropriateness to construct house and detached garage, per submitted documentation and subject to the following stipulations:

DBNS: PERMITS MAY NOT BE ISSUED until stipulations numbers 1-3 are fulfilled.

1. Construction must NOT commence prior to approval by the IHPC staff of final construction drawings including any changes required by the Commission at the IHPC hearing.
Approved _____ Date _____
2. A pre-construction meeting with IHPC staff, the owner, and the contractor/construction manager must be held prior to the commencement of any construction. *Approved _____ Date _____*

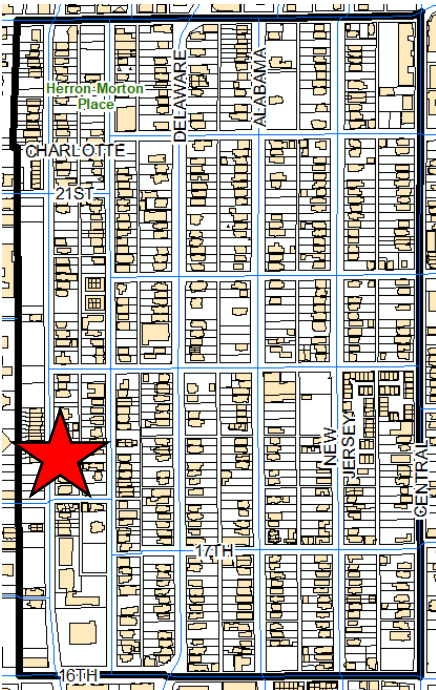
3. The site shall be field staked with no offsets and approved by IHPC staff prior to construction.
Approved _____ *Date* _____

4. Boxed soffits ("bird boxes") are NOT permitted. Rafter tails may be exposed or sheathed with sloping soffit board parallel to pitch of roof. Soffits may be vented.
5. Siding and trim materials must be wood or cementitious board and must have a smooth texture free of major imperfections and without embossed grain or rough-cut texture; artificial wood-grain patterns are NOT permitted.
6. All utility wires and cables must be located underground. No installation of utilities or meter and mechanical placement shall commence prior to IHPC staff approval.
7. A durable marker indicating the date of construction must be incorporated into the front foundation of the house (NOT the porch).
8. Work on exterior finishes and details must NOT commence prior to the approval by IHPC staff of each. These may include, but are NOT limited to: doors, windows, foundations, exterior light fixtures, railings, roof shingles, etc.
9. Any changes to the proposed design must be approved by IHPC staff prior to commencement of work.

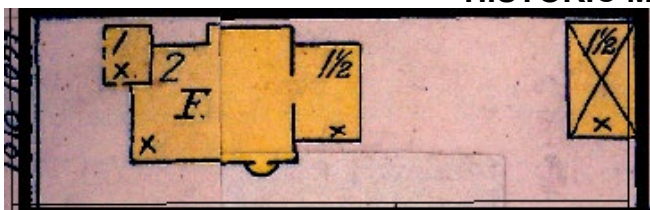
NOTE: Owner is responsible for complying with all applicable codes.

EXHIBITS

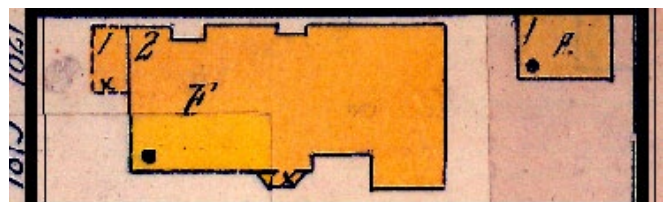
LOCATION OF SUBJECT PROPERTY



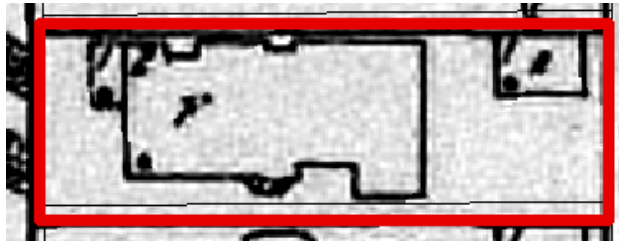
HISTORIC MAPS & IMAGES



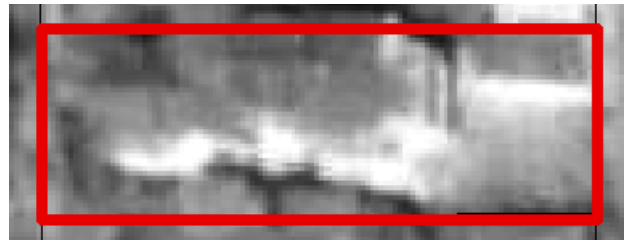
1898



1915



1956



1972

SUBJECT PROPERTY & CONTEXT



Subject property



Properties to the south

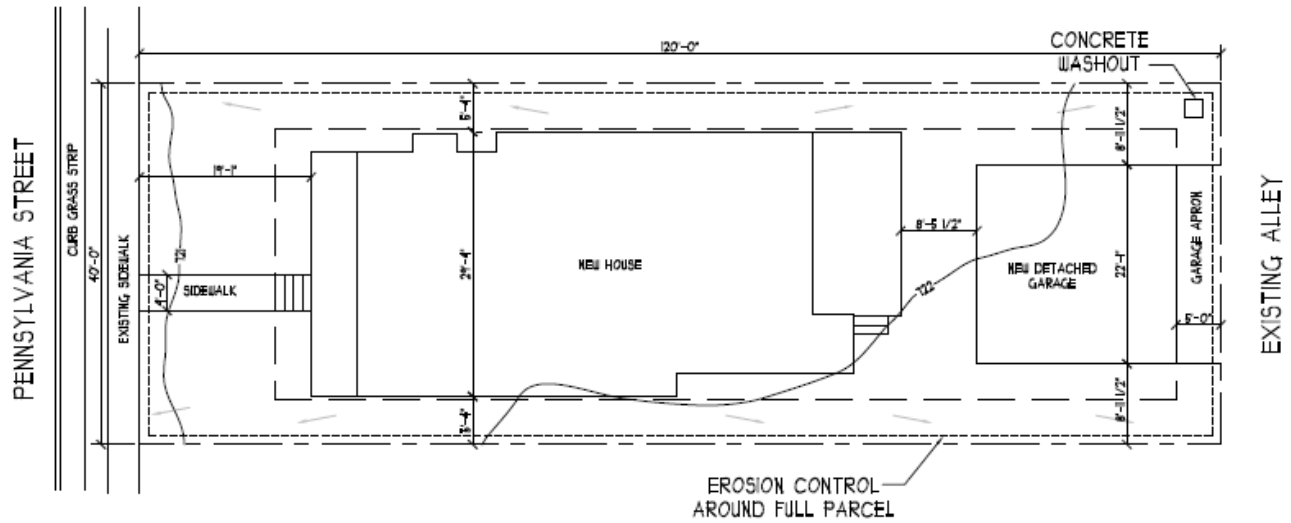


Properties to the north

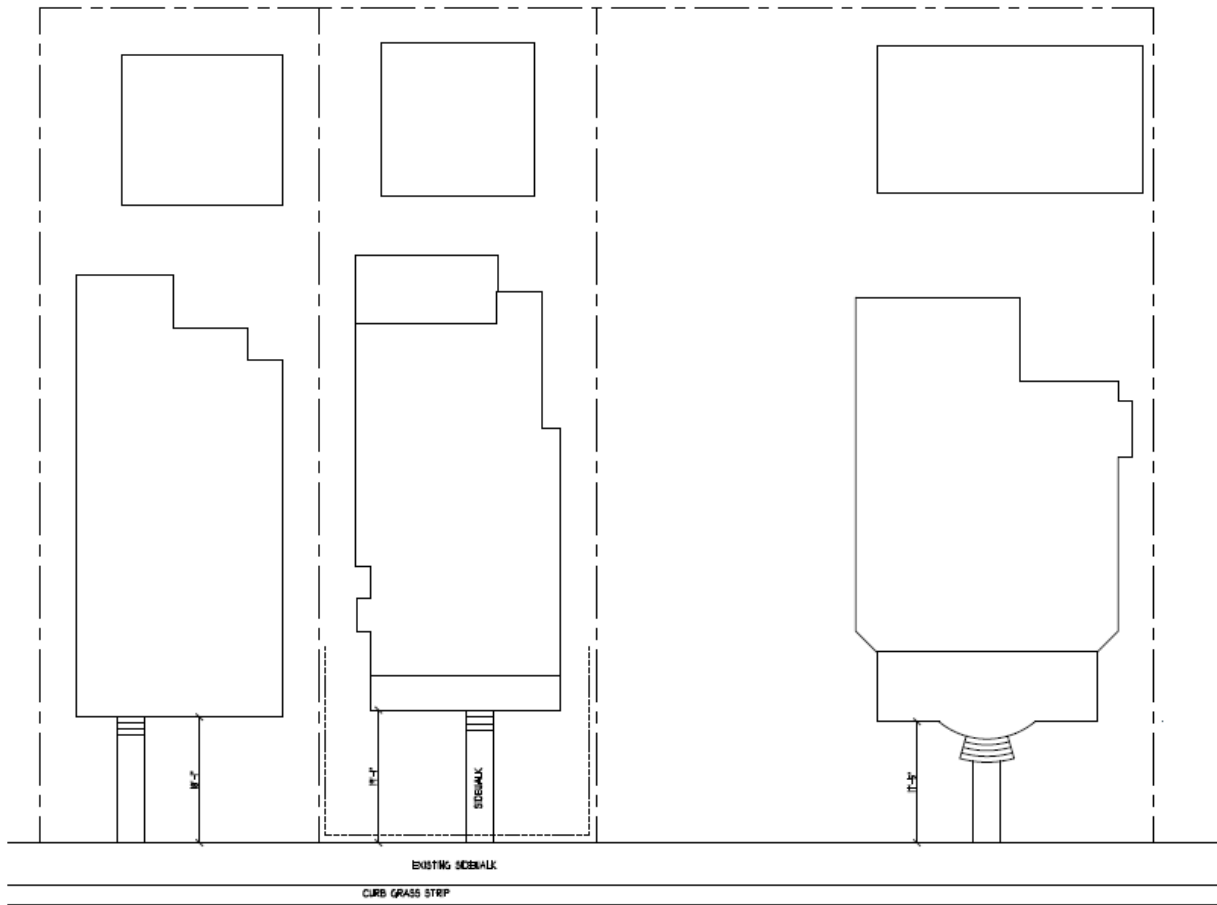


Properties to the east, across Pennsylvania

PROPOSED



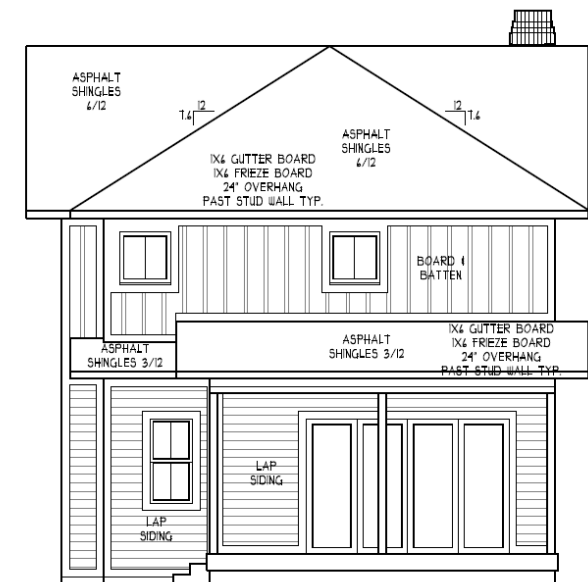
Site plan



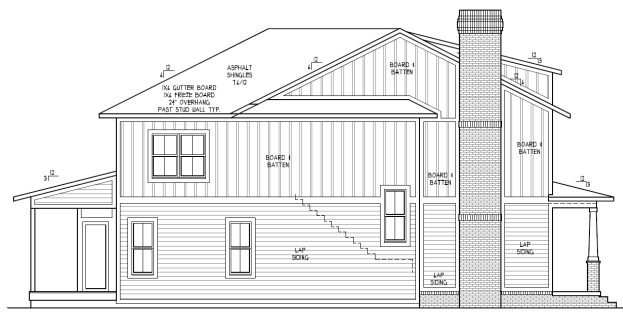
Area plan



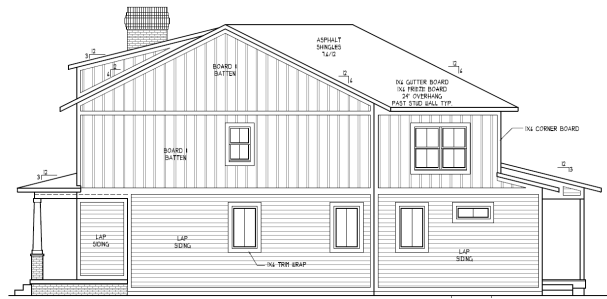
West / front elevation



Rear / east elevation

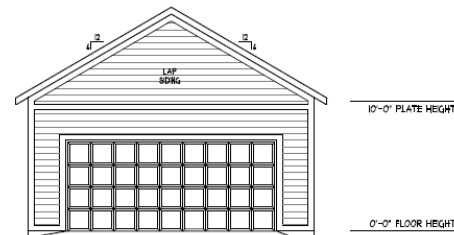


North elevation

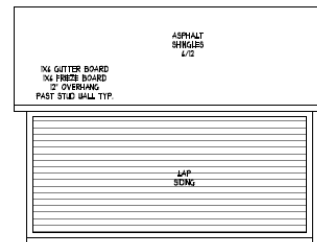


South elevation

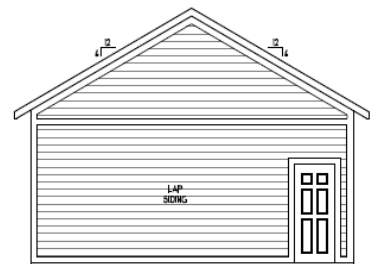
Garage elevations



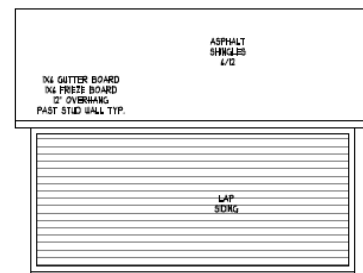
EAST-FRONT ELEVATION



NORTH-RIGHT ELEVATION



WEST-REAR ELEVATION



SOUTH-LEFT ELEVATION



Streetscape (images of neighboring properties below)

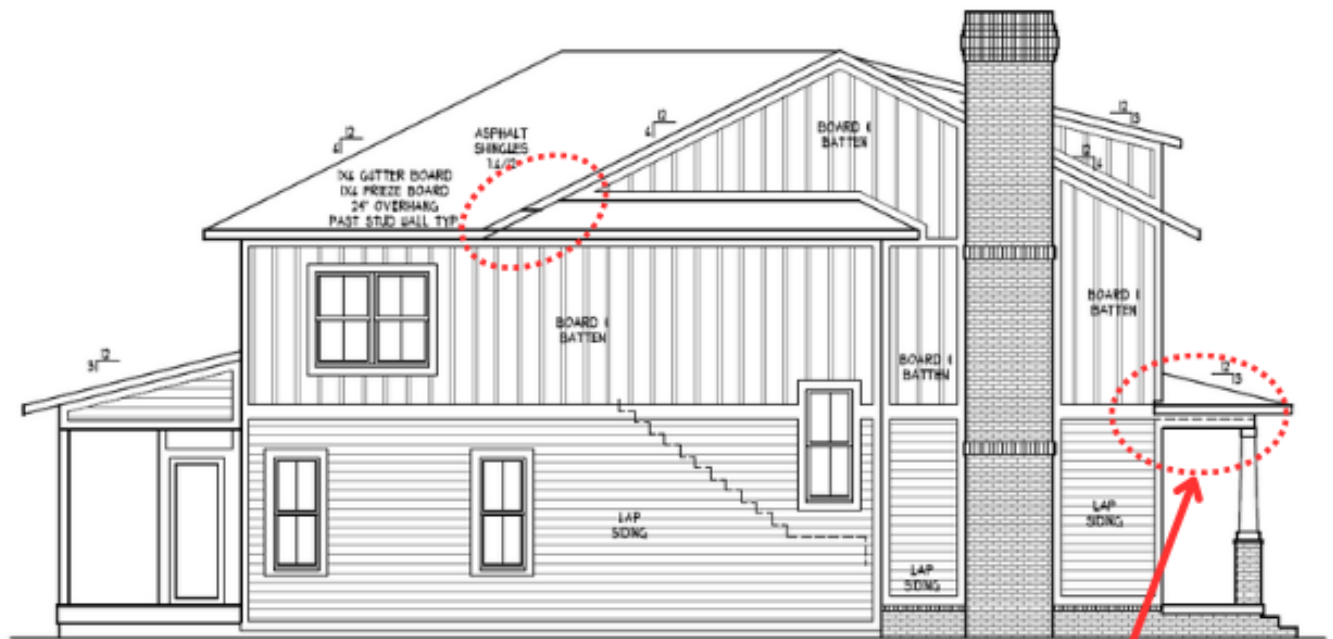


Property not shown on provided streetscape

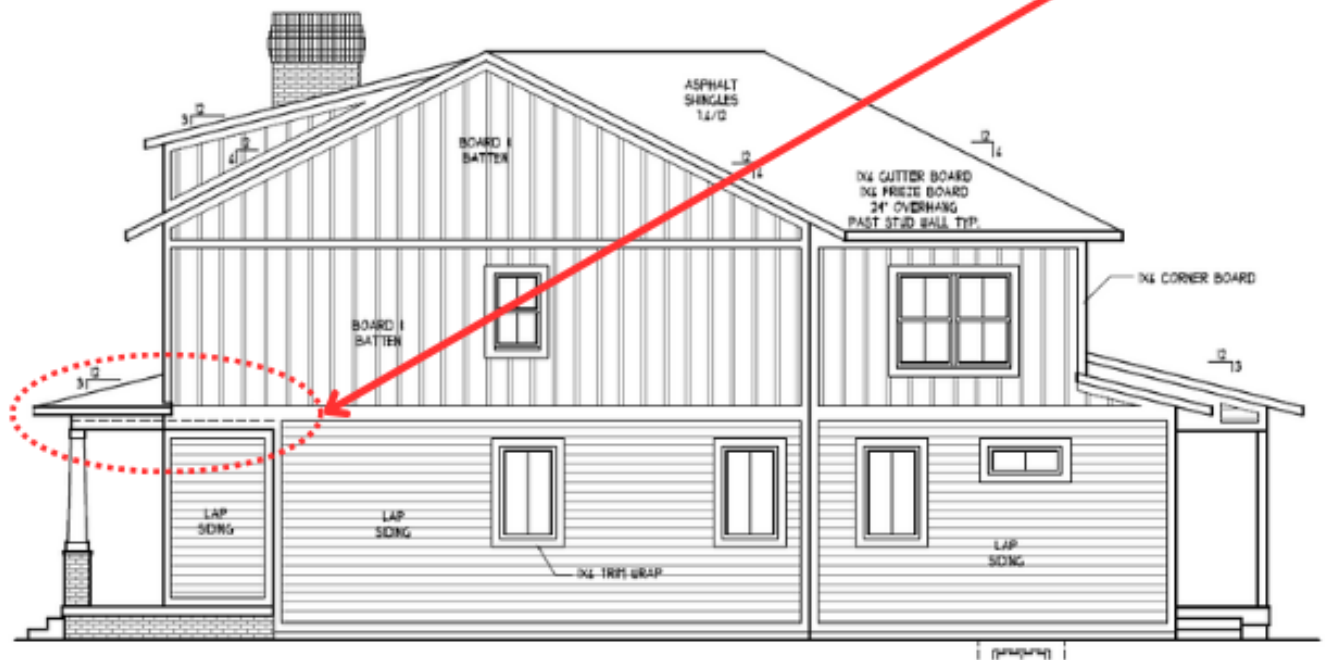
Notated Staff Comments



Notated Staff Comments Continued



Band board needs to match south elevation (see below)





MAY 7, 2025
IHPC HEARING SUBMITTALS



2025-COA-048 (IRV) & 2025-VHP-001

114 GOOD AVENUE



114 GOOD AVENUE

LEGAL DESCRIPTION:
BRYDONS SUB ORIGINAL IRVINGTON L4

LOT AREA:

5,000 SF

LOT COVERAGE:

GARAGE

822 SF

HOUSE

1,238 SF

TOTAL

2,060 SF

PERCENT COVERED

41.2%

PERCENT OPEN

58.8%

ACCESS TO CONSTRUCTION SITE:

BY ALLEY

CONSTRUCTION PARKING:

ON STREET

REMOVAL OF DEBRIS:

BY ALLEY

MATERIALS DELIVERY:

BY ALLEY

LEGEND:

→

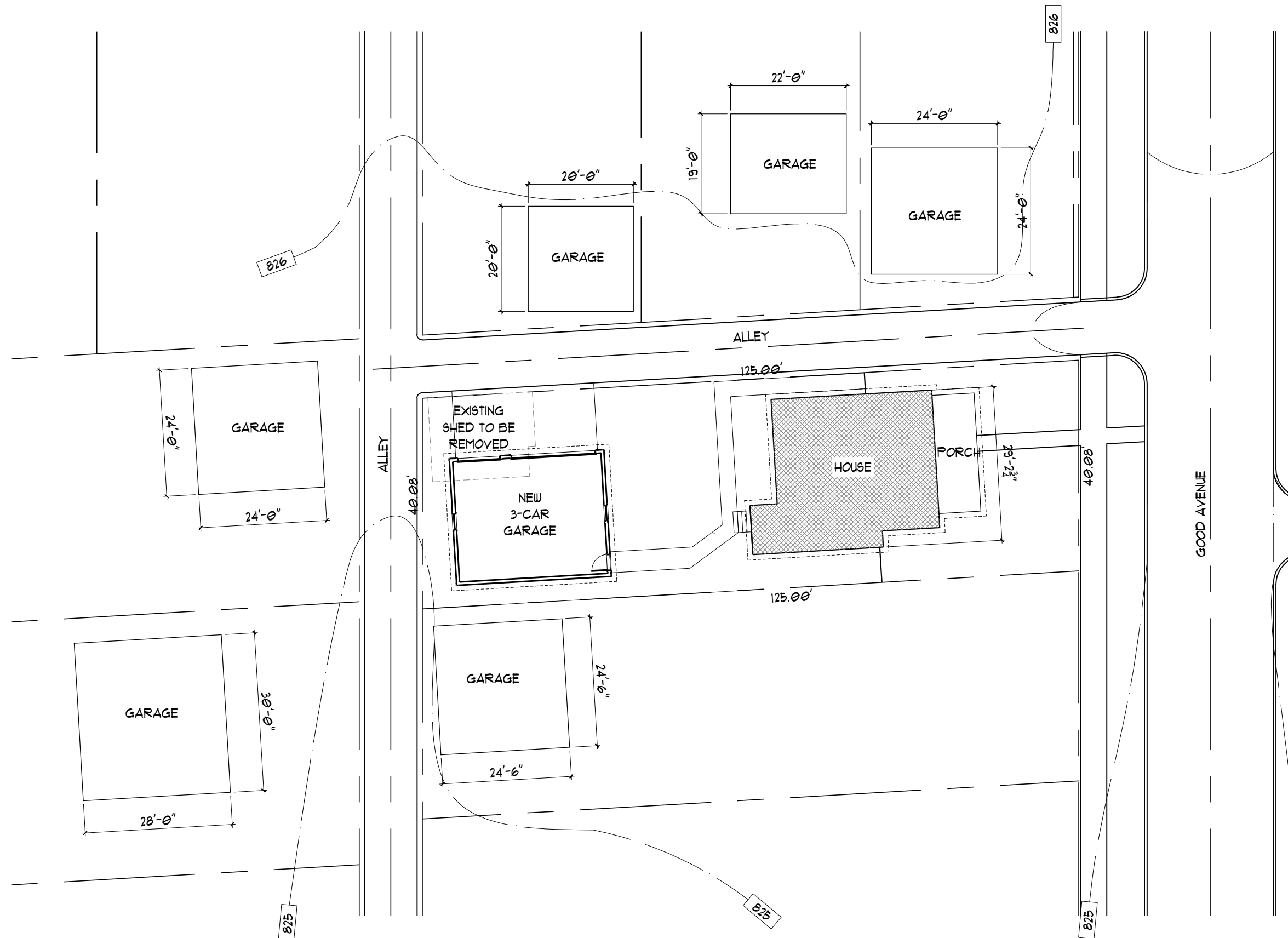
DRAINAGE FLOW

124

CONTOUR ELEVATION

~~~~~

SILT FENCE  
(OR STRAW BALES)



↑

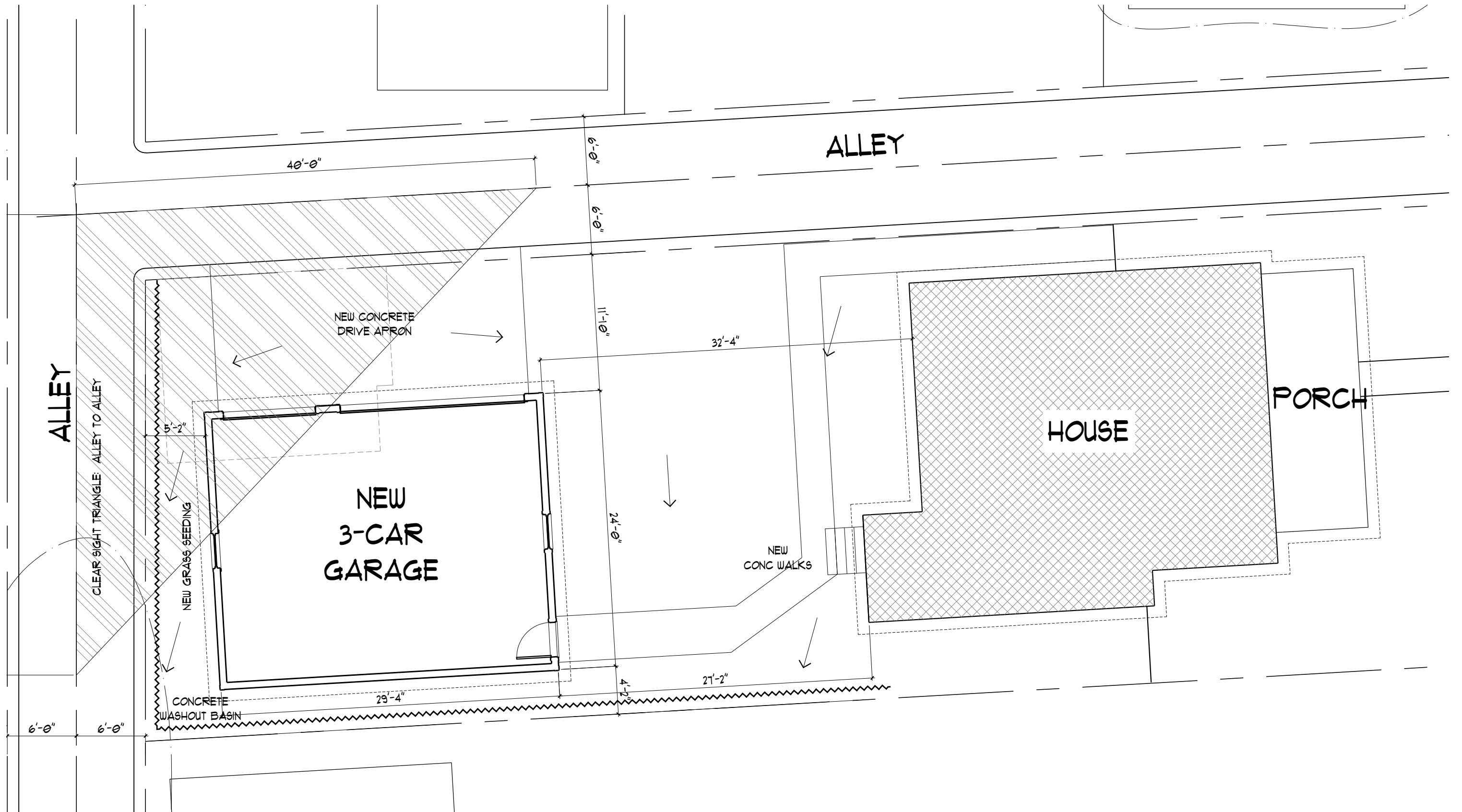
N



1

VICINITY & GARAGE COMPARISON PLAN

1"= 20'-0"

|                                                                                  |            |           |
|----------------------------------------------------------------------------------|------------|-----------|
| NEW GARAGE FOR RANDY & TERRI PATEE<br>114 S. GOOD AVENUE, INDIANAPOLIS, IN 46219 | 09/18/2023 | SHT. C1.0 |
|----------------------------------------------------------------------------------|------------|-----------|

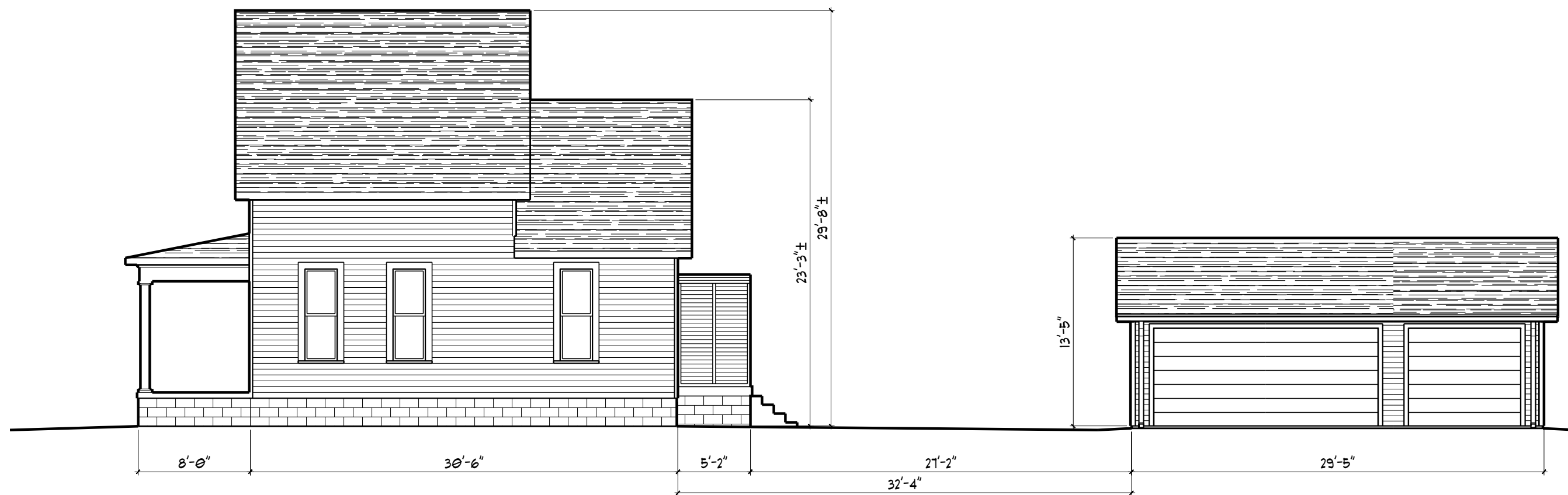




**SITE PLAN**  
 1/8" = 1'-0"

NEW GARAGE FOR RANDY & TERRI PATEE  
 114 S. GOOD AVENUE, INDIANAPOLIS, IN 46219

09/18/2023

SHT. C2.0



EXISTING HOUSE

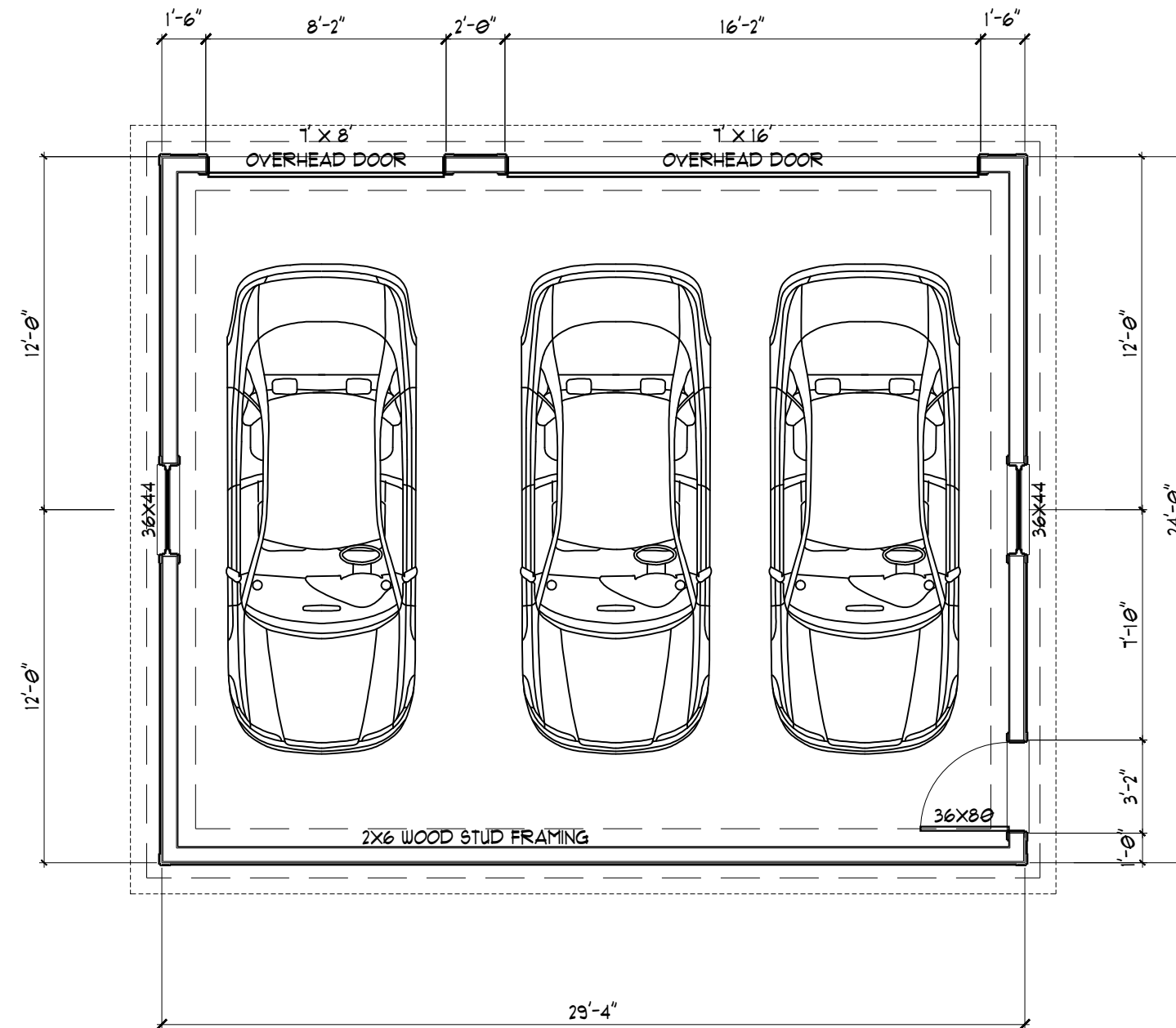
PROPOSED GARAGE

1 MASSING STUDY - NORTH ELEVATIONS  
1/8" = 1'-0"

NEW GARAGE FOR RANDY & TERRI PATEE  
114 S. GOOD AVENUE, INDIANAPOLIS, IN 46219

09/18/2023

SHT. C3.0

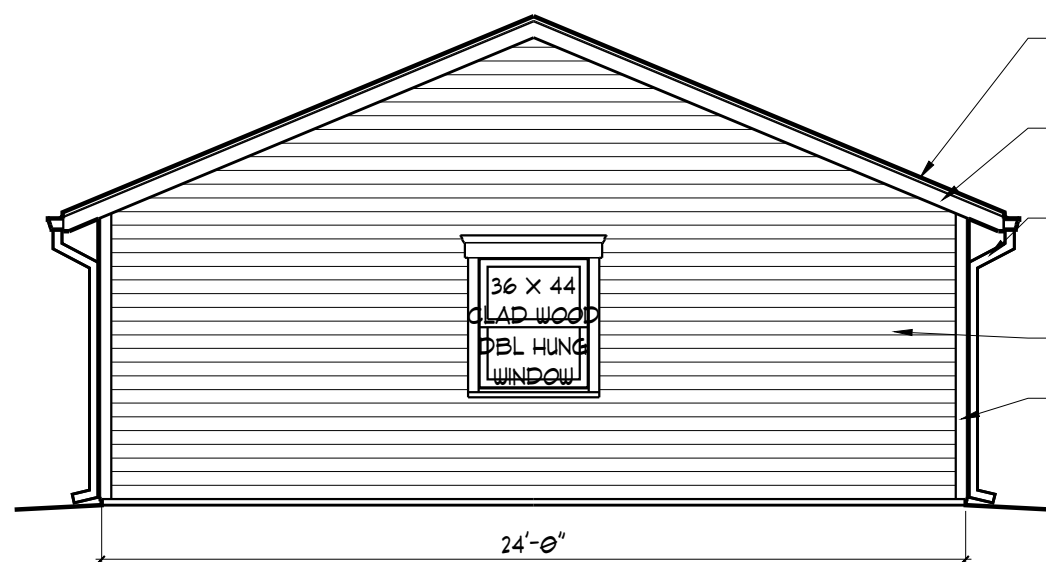


**1** ARCHITECTURAL PLAN  
3/16" = 1'-0"

NEW GARAGE FOR RANDY & TERRI PATEE  
114 S. GOOD AVENUE, INDIANAPOLIS, IN 46219

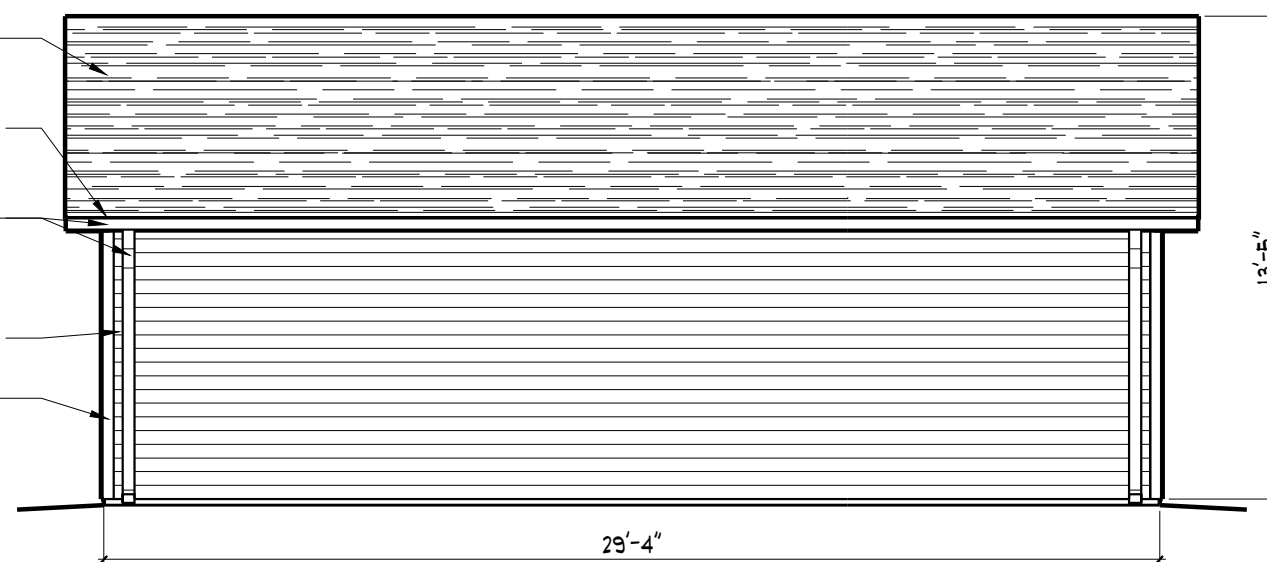
09/19/2023

SHT. A1.0

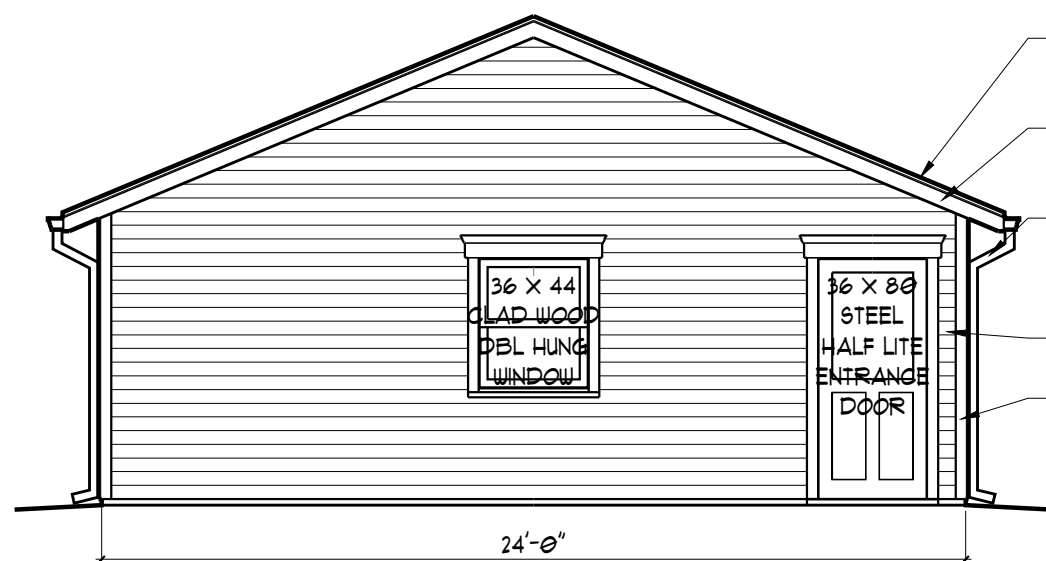


**1 WEST ELEVATION**  
3/16" = 1'-0"

- FIBERGLASS ASPHALT SHINGLES TO MATCH THOSE ON HOUSE
- FIBER CEMENT FASCIA/ RAKE BOARD
- ALUM. GUTTER & DOWNSPOUTS
- FIBER CEMENT SIDING, 4" EXP, SMOOTH
- 5/4 X 4 FIBER CEMENT TRIM, SMOOTH

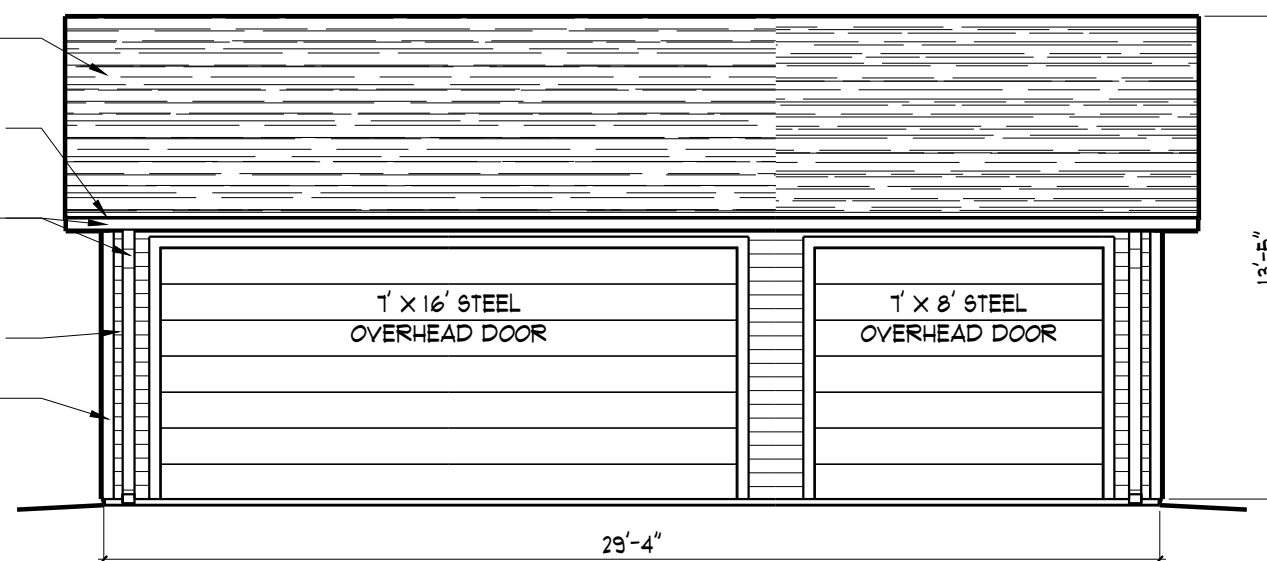


**2 SOUTH ELEVATION**  
3/16" = 1'-0"



**3 EAST ELEVATION**  
3/16" = 1'-0"

- FIBERGLASS ASPHALT SHINGLES TO MATCH THOSE ON HOUSE
- FIBER CEMENT FASCIA/ RAKE BOARD
- ALUM. GUTTER & DOWNSPOUTS
- FIBER CEMENT SIDING, 4" EXP, SMOOTH
- 5/4 X 4 FIBER CEMENT TRIM, SMOOTH



**4 NORTH ELEVATION**  
3/16" = 1'-0"

NEW GARAGE FOR RANDY & TERRI PATEE  
114 S. GOOD AVENUE, INDIANAPOLIS, IN 46219

09/19/2023

SHT. A2.0

**METROPOLITAN DEVELOPMENT COMMISSION  
HEARING EXAMINER  
METROPOLITAN BOARD OF ZONING APPEALS, Division \_\_\_\_\_  
OF MARION COUNTY, INDIANA**

**PETITION FOR VARIANCE OF DEVELOPMENT STANDARDS**

**FINDINGS OF FACT**

1. The grant will not be injurious to the public health, safety, morals, and general welfare of the community because:

The existing garage is fully in the clear sight triangle of the alleys and sits directly on the property lines in the corner of the alleys.

Petitioner's proposed garage will be set back more from the property lines and will only impede a corner of the clear sight triangle giving much better and safer line of sight at the intersection of the alley.

2. The use or value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner because:

The addition of this garage will raise the subject property's value which helps all surrounding properties. Additionally the proposed garage is similar in size to the neighbors on the south, north, and west of the property. And lastly, the proposed location will open up the line of sight at the alley intersection making it better and safer for everyone.

3. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property because:

The size of this yard in particular in the Irvington historic neighborhood makes it impossible to build a garage of any usable size according to a strict application of the zoning ordinance.

**DECISION**

IT IS THEREFORE the decision of this body that this VARIANCE petition is APPROVED.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

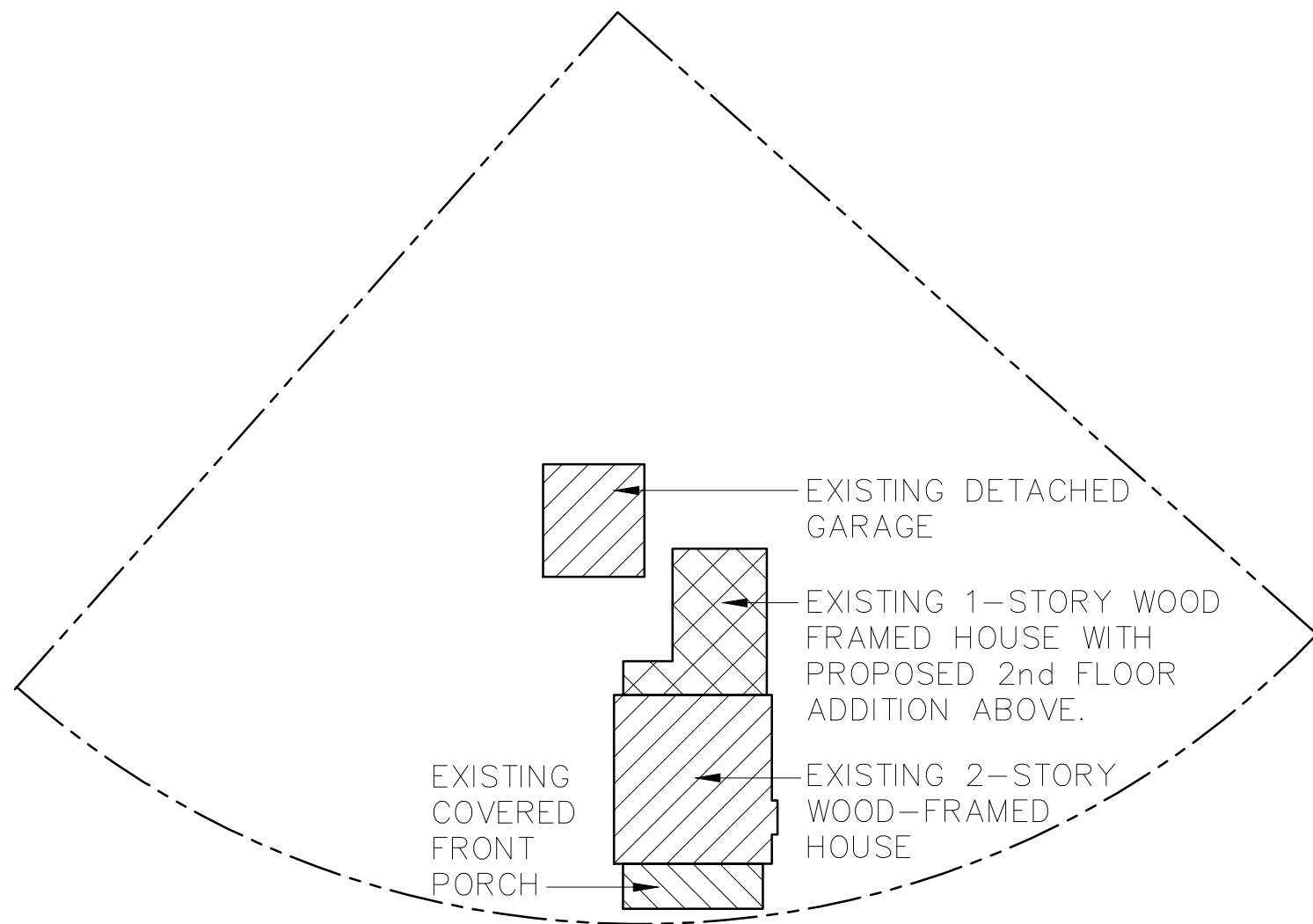
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# **2025-COA-055 (IRV)**

## **5921 OAK AVENUE**

RECEIVED  
February 26, 2025  
INDIANAPOLIS HISTORIC  
PRESERVATION COMMISSION



1 Site Plan  
Scale: 1" = 30'-0"



Existing East  
(Left) Elevation



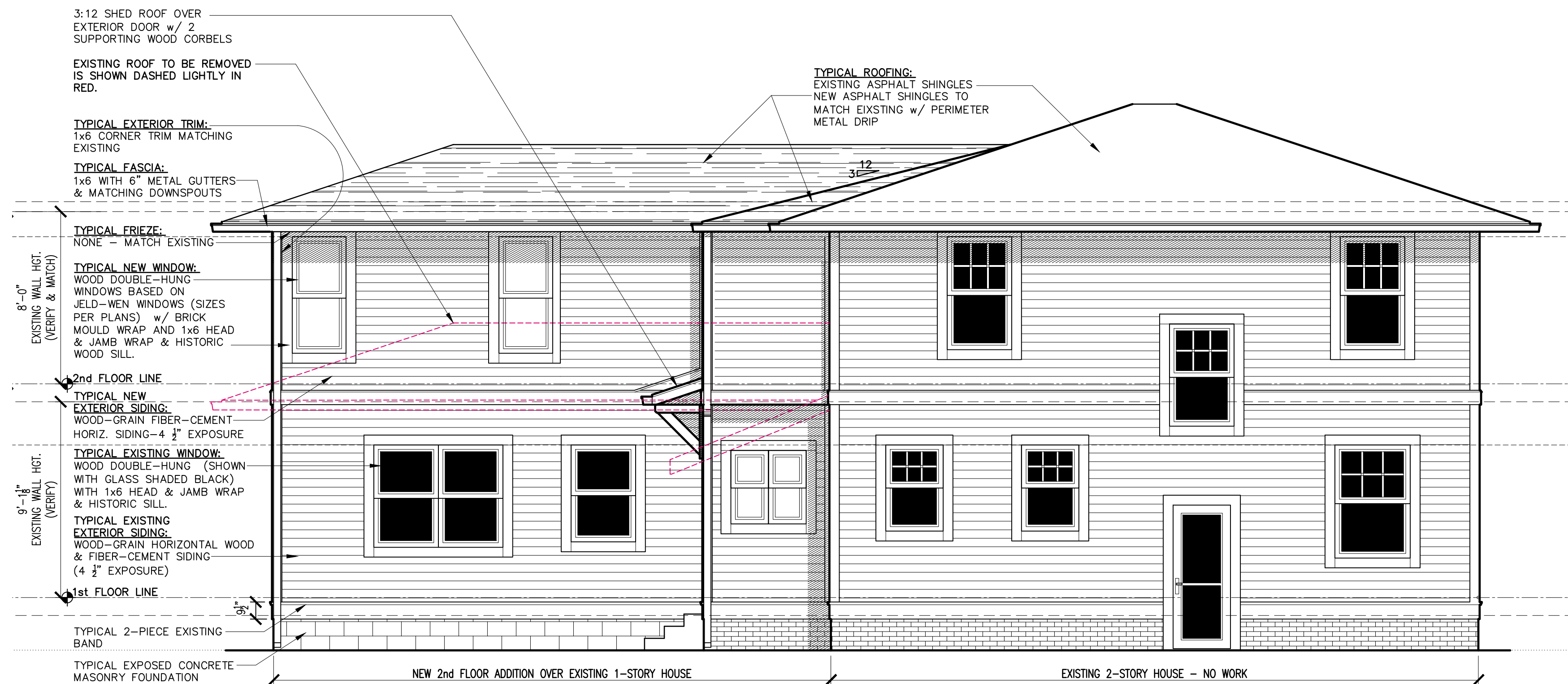
Existing South  
(Rear) Elevation



Existing West (Right) Elevation



3 Partial West Elevation  
Scale: 1/4" = 1'-0"



2 Partial East Elevation  
Scale: 1/4" = 1'-0"



4 South Elevation  
Scale: 1/4" = 1'-0"

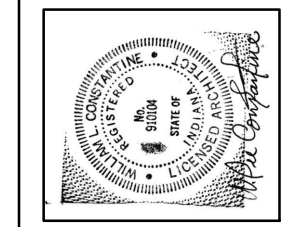
FOR ALL DRAWINGS:  
EXISTING CONSTRUCTION TO BE  
REMOVED IS SHOWN DASHED  
VERY LIGHTLY IN RED.  
NOTES ARE TYPICAL FOR ALL  
ELEVATIONS.

PRELIMINARY – NOT FOR CONSTRUCTION

1053 St. Patrick Street  
Indianapolis, IN 46203  
lee@constantlinedesigngroup.com  
317-730-4045  
CONSTANTINE  
DESIGN GROUP, INC.  
Residential Architecture

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Drawings for  
Scan & Susan Ray  
5921 Oak Avenue  
Indianapolis, IN 46219  
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CLIENT  
Ray House 2nd Flr. Addition  
ADDRESS  
5921 Oak Avenue  
Indianapolis, IN 46219

| Revisions | Date          |
|-----------|---------------|
| PRELIM    | 02/25/25      |
| As Noted  | 02/25/25      |
| Scale:    | Drawn By: Lee |
| Job No.:  | 2024-21       |

SHEET  
DD  
2

**FOR ALL DRAWINGS:**

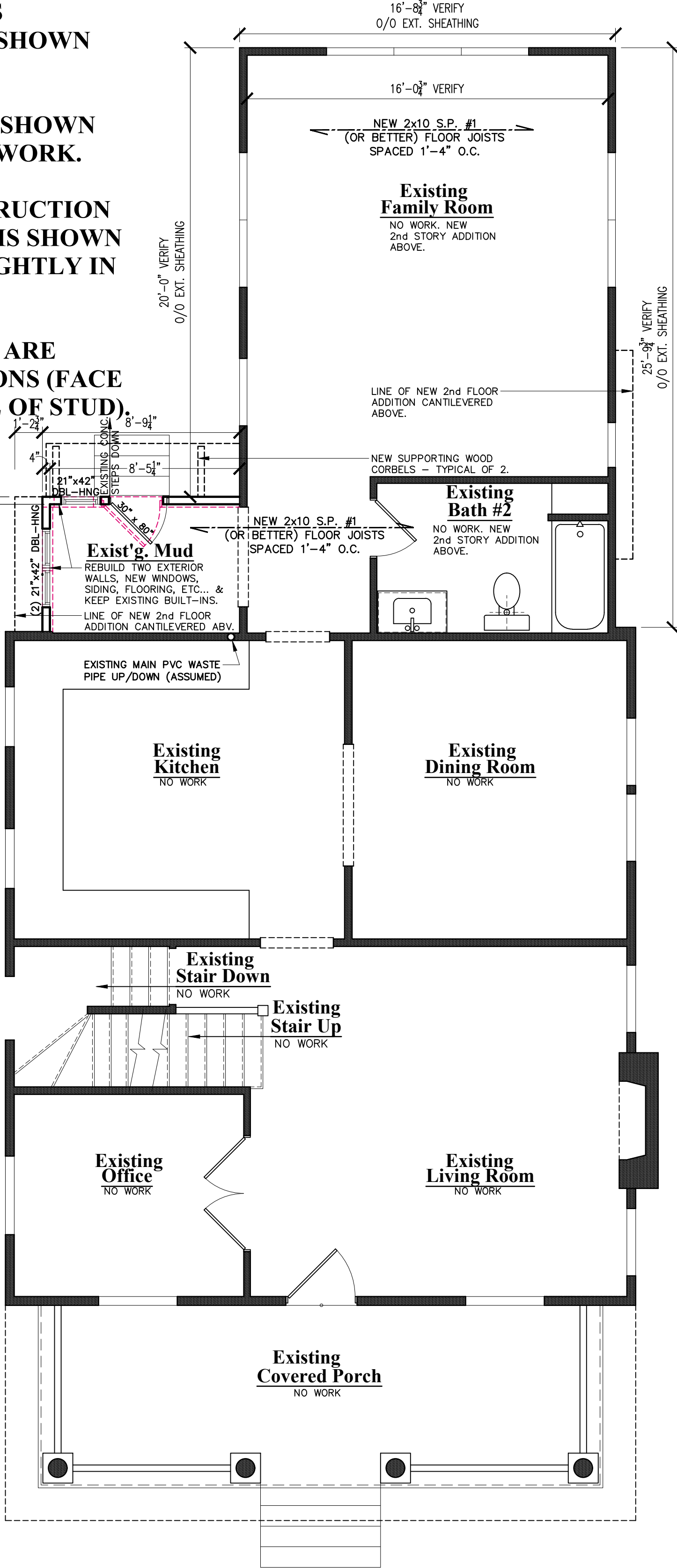
**EXISTING WALLS  
REMAINING ARE SHOWN  
SHADED GRAY.**

**NEW WALLS ARE SHOWN  
WITH BOLD LINEWORK.**

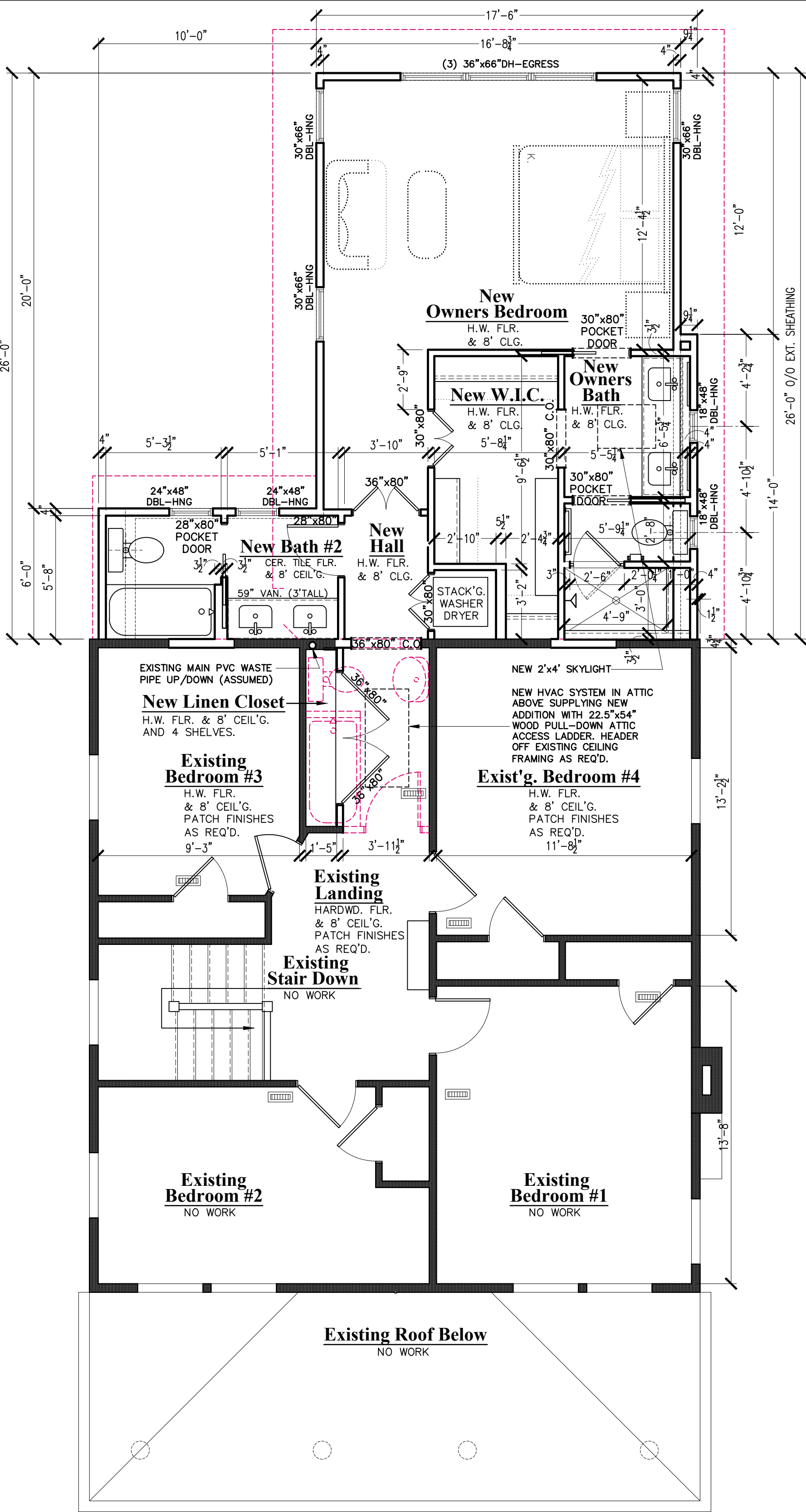
**EXISTING CONSTRUCTION  
TO BE REMOVED IS SHOWN  
DASHED VERY LIGHTLY IN  
RED.**

**ALL DIMENSIONS ARE  
ROUGH DIMENSIONS (FACE  
OF STUD TO FACE OF STUD).**

**ALL DOORS &  
WINDOWS  
ARE EXISTING  
TO REMAIN  
UNLESS  
SIZES ARE  
SHOWN. NEW  
WINDOWS ARE  
BASED ON  
JELD-WEN  
WINDOWS  
MATCHING  
EXISTING.**

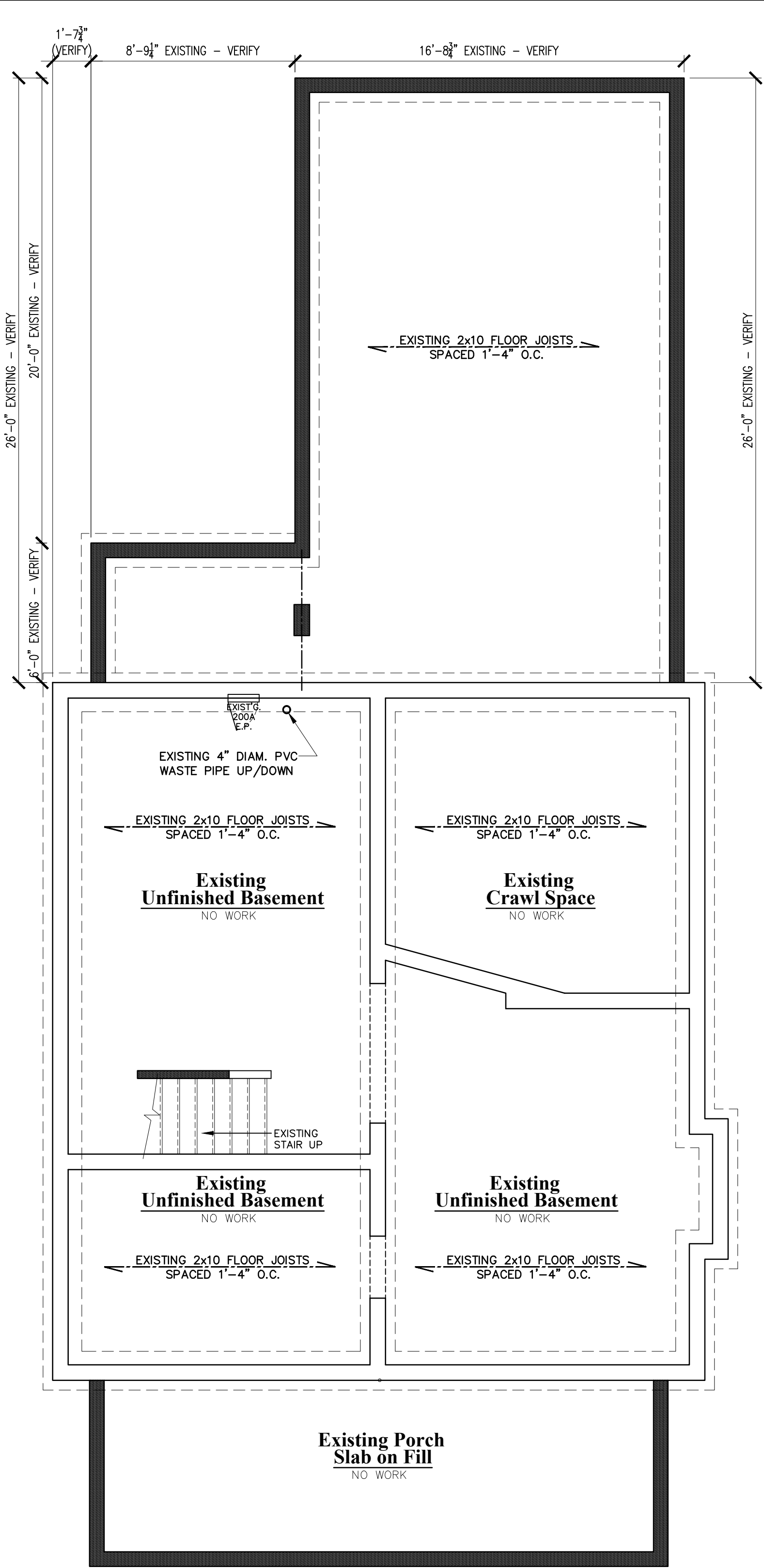


**1 1st Floor Plan**  
Scale: 1/4" = 1'-0"  
1,329 s.f. of Existing Living Area



**2 2nd Floor Plan**  
Scale: 1/4" = 1'-0"  
793 s.f. of Existing Living Area  
502 s.f. of New Living Area  
1,295 s.f. of Total 2nd Flr. Area

1,295 s.f. of Total 2nd Flr. Area  
1,329 s.f. of Total 1st Flr. Area  
2,624 s.f. of Total Living Area



**3 Basement/Foundation Plan**  
Scale: 1/4" = 1'-0"  
596 s.f. of Existing Unfin. Basement Area

RECEIVED

February 26, 2025

INDIANAPOLIS HISTORIC  
PRESERVATION COMMISSION

PRELIMINARY — NOT FOR CONSTRUCTION

**1053 St. Patrick Street  
Indianapolis, IN 46203**  
lee@constantinedesigngroup.com  
317-730-4045  
Residential Architecture

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**Sean & Susan Ray**  
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Indianapolis, IN 46219  
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CLIENT  
**Ray House 2nd Flr. Addition**  
ADDRESS  
5921 Oak Avenue  
Indianapolis, IN 46219

| Revisions | Date     |
|-----------|----------|
| PRELIM    | 02/25/25 |
| As Noted  | 02/25/25 |
| Drawn By  | Lee      |
| Job No.   | 2024-21  |

SHEET  
**DD**  
**1**



**2025-COA-085 (HMP)**  
**2179 NORTH PENNSYLVANIA STREET**



110 South Downey Avenue, Indianapolis, Indiana 46219-6406  
Telephone 317-630-9060, Facsimile 317-630-9065  
[www.MundellAssociates.com](http://www.MundellAssociates.com)

March 24, 2025

Indianapolis Historic Preservation Commission  
200 E Washington St #1801  
Indianapolis, Indiana 46204


Re: **Certificate of Appropriateness – Demolition Checklist**

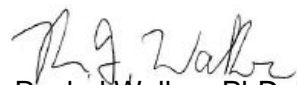
Haldur/Penn 60 Minute Cleaners  
2175-2179 North Pennsylvania Street  
Indianapolis, Indiana 46202  
IDEM VRP Site #6200904  
MUNDELL Project M17033

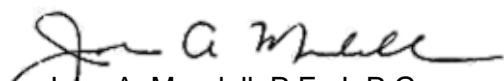
On behalf of the above-referenced property ("the Site"), Mundell & Associates, Inc. (MUNDELL) is submitting this petition for a *Certificate of Appropriateness* (COA) to the Indianapolis Historic Preservation Commission (IHPC) for approval. This petition includes information in accordance with the IHPC's Demolition Checklist. MUNDELL personnel conducted a virtual meeting with Ms. Shelbi Long, Senior Architectural Reviewer from the IHPC, on March 19, 2025. This meeting shows compliance with the COA requirement to meet with IHPC staff for a project consultation.

We appreciate the opportunity to provide you with this information. If you should have any questions regarding the attached submittal, please contact us at (317) 630-9060 or at [RWalker@MundellAssociates.com](mailto:RWalker@MundellAssociates.com), or [SBurdsall@MundellAssociates.com](mailto:SBurdsall@MundellAssociates.com).

Sincerely,  
**MUNDELL & ASSOCIATES, INC.**

  
Stephanie Burdsall  
Project Geophysicist/Scientist

  
Rachel Walker, PhD, L.P.G.  
Principal Geologist

  
John A. Mundell, P.E., L.P.G.  
President/Senior Environmental Consultant

\sb

**ATTACHMENTS:**

**Attachment A: Current Elevation and Interior Photos**

**Attachment B: Historic Maps and Aerial Photos**

1898 Sanborn Map  
1956 Aerial Photo  
1963 Aerial Photo  
1974 Aerial Photo

**Attachment C: Figures**

Figure 1. On-Site Soil Analytical Results  
Figure 2b. PCE Analytical Results Medium (24-34 ft-bgs) – Q4 2024  
Figure 3. Proposed Excavation Location and Site Plan

**PROPERTY DESCRIPTION:****CURRENT CONDITIONS AND HISTORY*****Current Conditions:***

The Site is located at the current street address of 2179 North Pennsylvania Street (Site) in a mixed commercial and residential area. The Site lot is 9,000 square feet in size and is currently occupied by two adjoined commercial buildings of approximately 1,846 total square feet in area. The northern section of the building currently contains a dry cleaning tenant operating under the name 'Penn Cleaners'. The southern section of the building is not in active use. The current property owner is Haldur, Inc.

The subject property is bordered by an alley and parking lot to the east, East 22<sup>nd</sup> Street, residences and office buildings to the north, North Pennsylvania Street and an office building to the west, and residential properties to the south. The Site parcel is relatively flat with runoff controlled by the slope of the paved surfaces. Based on the relevant USGS Quadrangle topographic map, the elevation of the Site is approximately 710 feet above mean sea level (ft-AMSL).

Photographs of the elevations and current interior conditions of the Site building are included in **Attachment A**.

***History:***

The Site was originally two lots designated as 2175 and 2179 North Pennsylvania Street, with the eastern end of 2179 designated as 111 East 22<sup>nd</sup> Street (see 1898 Sanborn Map in **Attachment B**). Prior to 1957, the Site was occupied by two houses and a small single-story wood building operating variously as a plumber and corner store (see 1956 photo in **Attachment B**). In 1957/1958 the 2179 house was demolished and the northern section of the current site building was constructed (see 1962 photo in **Attachment B**). This building operated with Best Grand Dry Cleaners as a tenant from 1958 until 1972. It should be noted that Best Grand Dry Cleaners was listed in the Polk city directory under the 111 East 22<sup>nd</sup> Street address while present. In 1980, the property began using the 2179 North Pennsylvania Street address.

In 1963, the 2175 house was demolished and the southern addition was added to the existing northern structure (see 1972 photo in **Attachment B**). This southern addition operated in the 1960's as a coin-op laundromat that may have included coin-op dry-cleaning machines. In 1984, Haldur, Inc. began dry cleaning operations at the Site as a tenant. The Site was subsequently purchased by Haldur, Inc. in 2005.

According to Haldur, Inc., there have been no active utilities or uses in the southern portion of the building since they moved in as tenants in 1984, with the space only used as storage of miscellaneous items owned by Haldur, Inc.

## ENVIRONMENTAL SITE SUMMARY

Since 2017, several phases of subsurface investigations and remedial activities have been conducted at the 2179 North Pennsylvania Street Site by Mundell & Associates, Inc. (MUNDELL) under the guidance of the Indiana Department of Environmental Management (IDEM). The Site was formally entered into the Voluntary Remediation Program (VRP) on November 30, 2020 (VRP Site #6200904). Site investigation reports, analytical results, and correspondence can be found through the IDEM Virtual File Cabinet (VFC) under the VRP program by entering '6200904' into the 'Full-Text Search' box.

Site investigation activities identified that the highest concentrations of chlorinated volatile organic compound (cVOC) impacts to soils under the Site building occurs beneath the slab of the southern section of the building (see **Figure 1** in **Attachment C**). These impacts were likely the result of historic use of chlorinated solvents during the dry cleaning history of the site, including the coin-op laundromat that was present in the southern portion of the building. Samples of the concrete from the southern portion of the Site building also indicate that the concrete is impacted with cVOCs.

In addition, a groundwater cVOC plume extends from the Site in a southwesterly direction within the W-5 wellhead protection area (WHPA) of the Riverside Wellfield that serves the City of Indianapolis (see **Figure 2B** in **Attachment C**).

MUNDELL's primary remedial objective is to decrease concentrations of on- and off-site cVOCs to acceptable health-based screening levels under IDEM guidance. On the site itself, a combination of demolition, partial excavation and in-situ treatment is proposed to treat soil impacts under the southern portion of the Site building (see **Figure 3** in **Attachment C**). This will require the removal of the southern portion of the Site building, removal and disposal of the impacted concrete slab and excavation of the top 6 feet of impacted soils. The remaining soils to top of groundwater (at approximately 12-14 feet) will be treated with an iron compound that will address remaining soil impacts. Clean fill will be added to the excavation to bring it back to grade with the rest of the Site. The excavation area will be dressed with gravel as the final surface. There are currently no plans for future redevelopment of the location once the southern portion of the structure is removed.

No chlorinated dry cleaning solvents have been in use at the Site since 2014.

It should be noted that demolition of and excavation under the southern portion of the structure is proposed for the purposes of environmental remediation of historic dry cleaning impacts. Rehabilitation of the southern portion of the structure would not be appropriate considering the dry cleaning impacts present within the concrete slab and soils beneath the southern portion of the building.

## **ATTACHMENT A**

### **Current Elevation and Interior Photos**



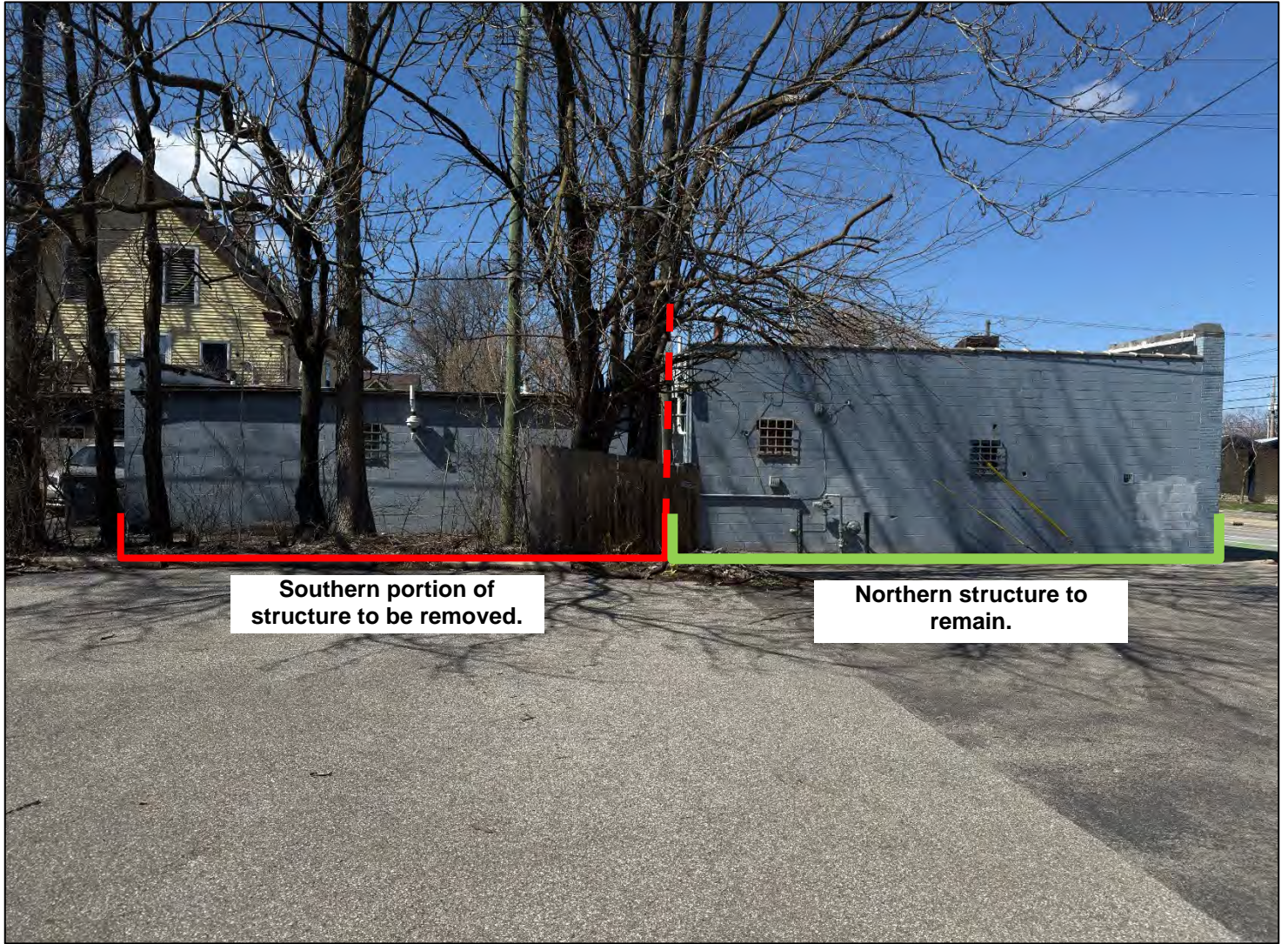
**Attachment A: Photo Documentation Penn Cleaners Facility**  
**Exterior elevations and interior condition photos.**  
**Photos taken March 20<sup>th</sup> and 24<sup>th</sup>, 2025**



**Photo 1:** Northern elevation of the Penn Cleaners building looking south. Storefront of business.



**Photo 2:** Western elevation of the Penn Cleaners building looking east. The red dashed line indicates the boundary of removal. The northern portion of the structure will remain. The southern portion of the structure will be demolished.



**Photo 3:** Eastern elevation of the Penn Cleaners building looking west. The red dashed line indicates the boundary of removal. The northern portion of the structure will remain. The southern portion of the structure will be demolished.



**Photo 4:** Southern elevation of the Penn Cleaners building looking north.



**Photo 5:** Interior of the northern building, which will remain.



**Photo 6 and 7:** Interior of the north building which will remain.



**Photo 8:** Interior of southern portion of building to be removed. This photo is facing north and the brick wall and door are part of the northern building portion that will remain standing. Southern building portion is currently used for storage and has no active utilities. Condition of the interior of the southern portion of the building is poor.



**Photo 9:** West facing interior shot of southern portion of building to be removed. The doors in this picture open to the parking lot and can be seen from the outside in **Photo 2**. Condition of the interior of the southern portion of the building is poor.



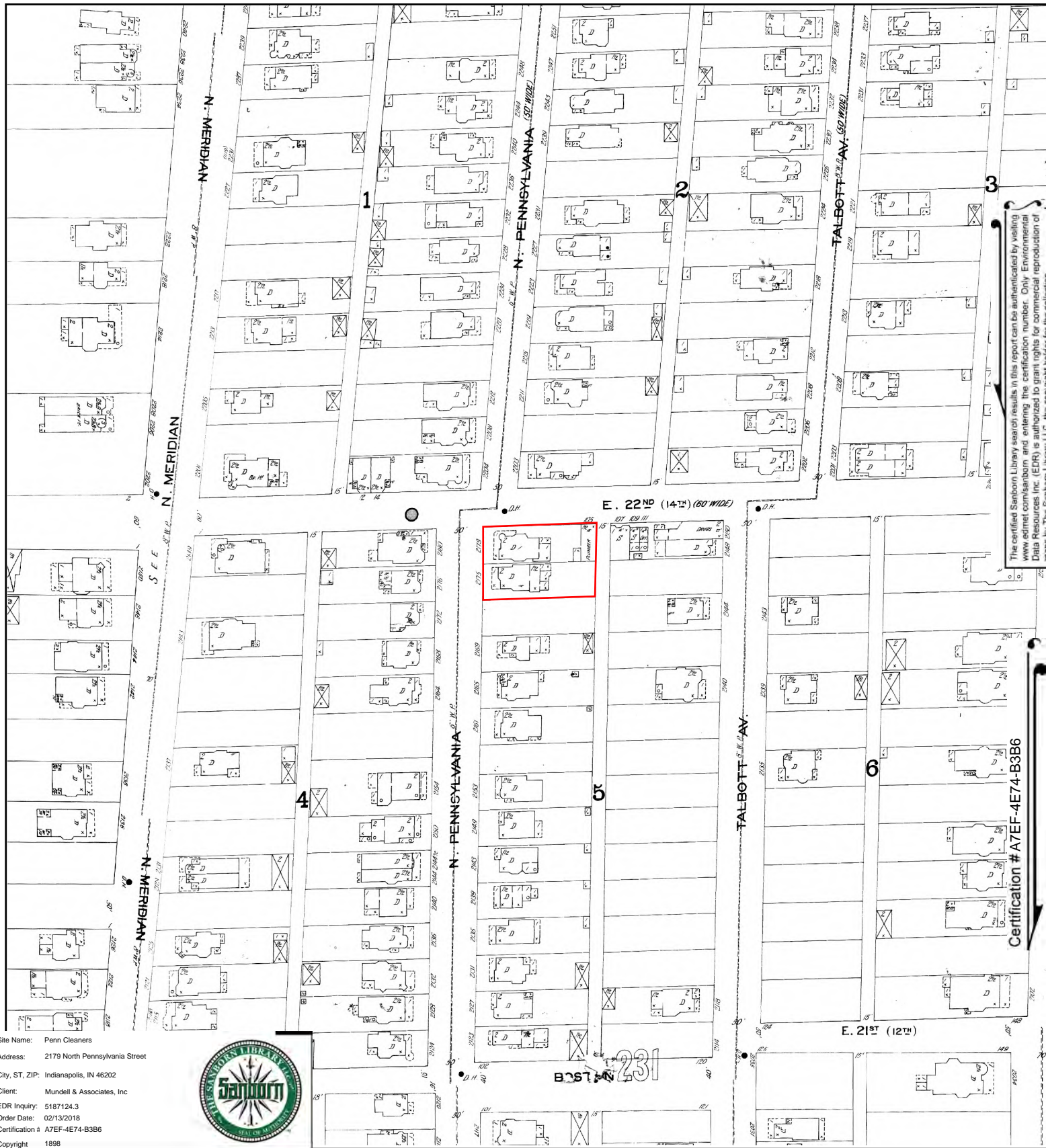
**Photo 10:** Eastern facing wall of southern portion of building to be removed. This wall faces the alley east of the building. Condition of the interior of the southern portion of the building is poor.



**Photo 10:** Southern facing wall of southern portion of building to be removed. Condition of the interior of the southern portion of the building is poor.

## **ATTACHMENT B**

### **Historic Maps and Aerial Photos**



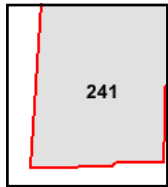
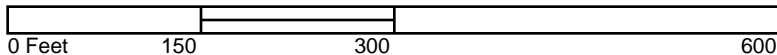
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Certification # A7EF-4E74-B3B6

Site Name: Penn Cleaners  
 Address: 2179 North Pennsylvania Street  
 City, ST, ZIP: Indianapolis, IN 46202  
 Client: Mundell & Associates, Inc  
 EDR Inquiry: 5187124.3  
 Order Date: 02/13/2018  
 Certification # A7EF-4E74-B3B6  
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Volume 2, Sheet 241





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N OFI AWADP

1956





More...

Streets &amp; Aerials...

1962



50 m

200 ft

x:190858311631 y:1657417.111111



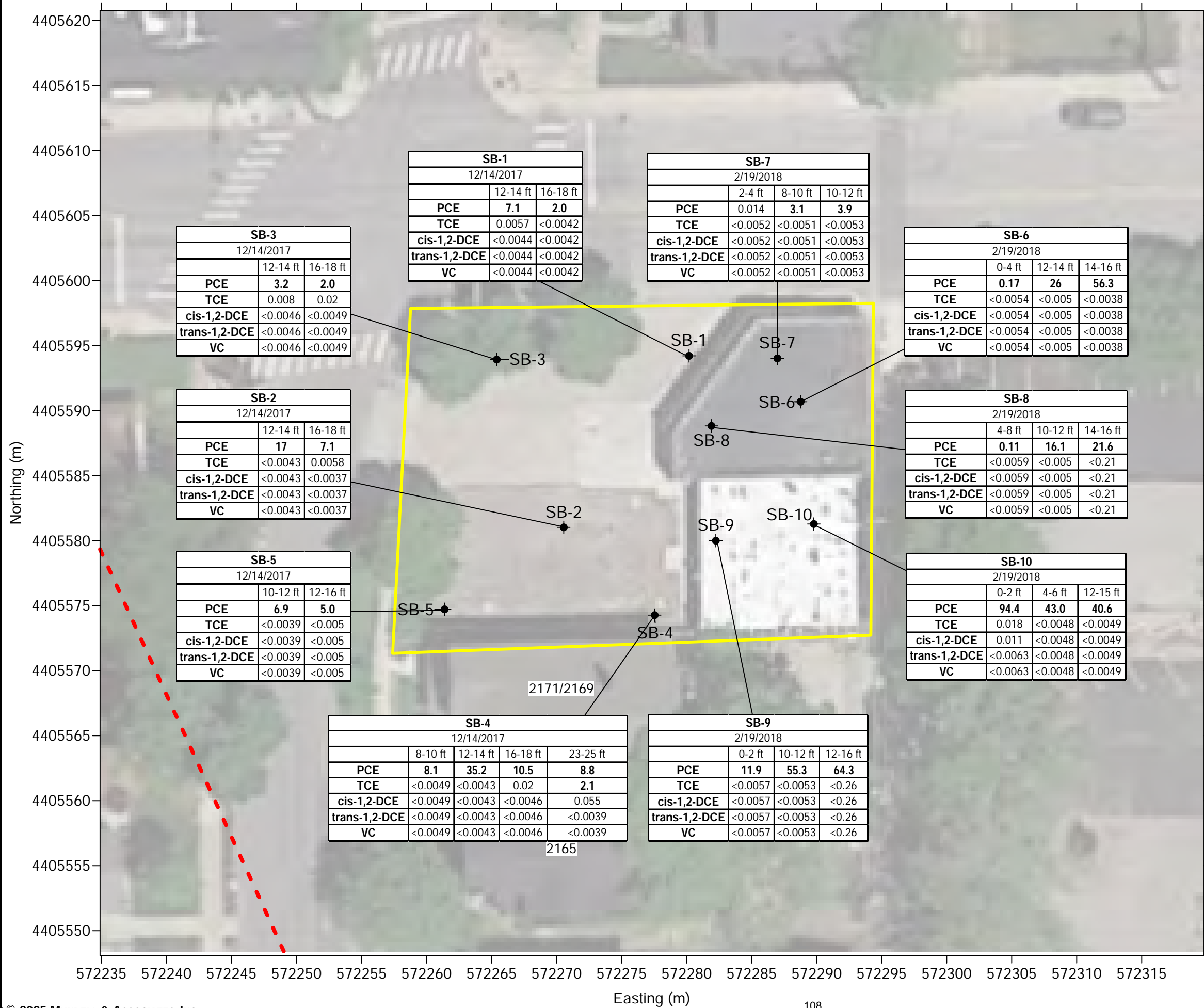
More...

Streets & Aerials...

1972

## **ATTACHMENT C**

### **Figures**



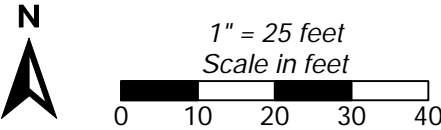
LEGEND

- Penn Cleaners Property Boundary
- SB-46 Soil Boring Locations

| Boring ID     |                                 |       |      |       |
|---------------|---------------------------------|-------|------|-------|
| Analyte       | Constituent                     | R-MTG | R-DC | I-DC  |
| PCE           | Tetrachloroethene (mg/L)        | 0.045 | 110  | 170   |
| TCE           | Trichloroethene (mg/L)          | 0.036 | 5.7  | 19    |
| cis-1,2-DCE   | cis-1,2-Dichloroethene (mg/L)   | 0.41  | 220  | 2,300 |
| trans-1,2-DCE | trans-1,2-Dichloroethene (mg/L) | 0.62  | 98   | 300   |
| VC            | Vinyl Chloride (mg/L)           | 0.014 | 0.83 | 17    |

Marion County Wellfield Protection Areas

- 5 Year Time of Travel Zone



UTM ZONE 16N (m) Coordinates, WGS84 Datum

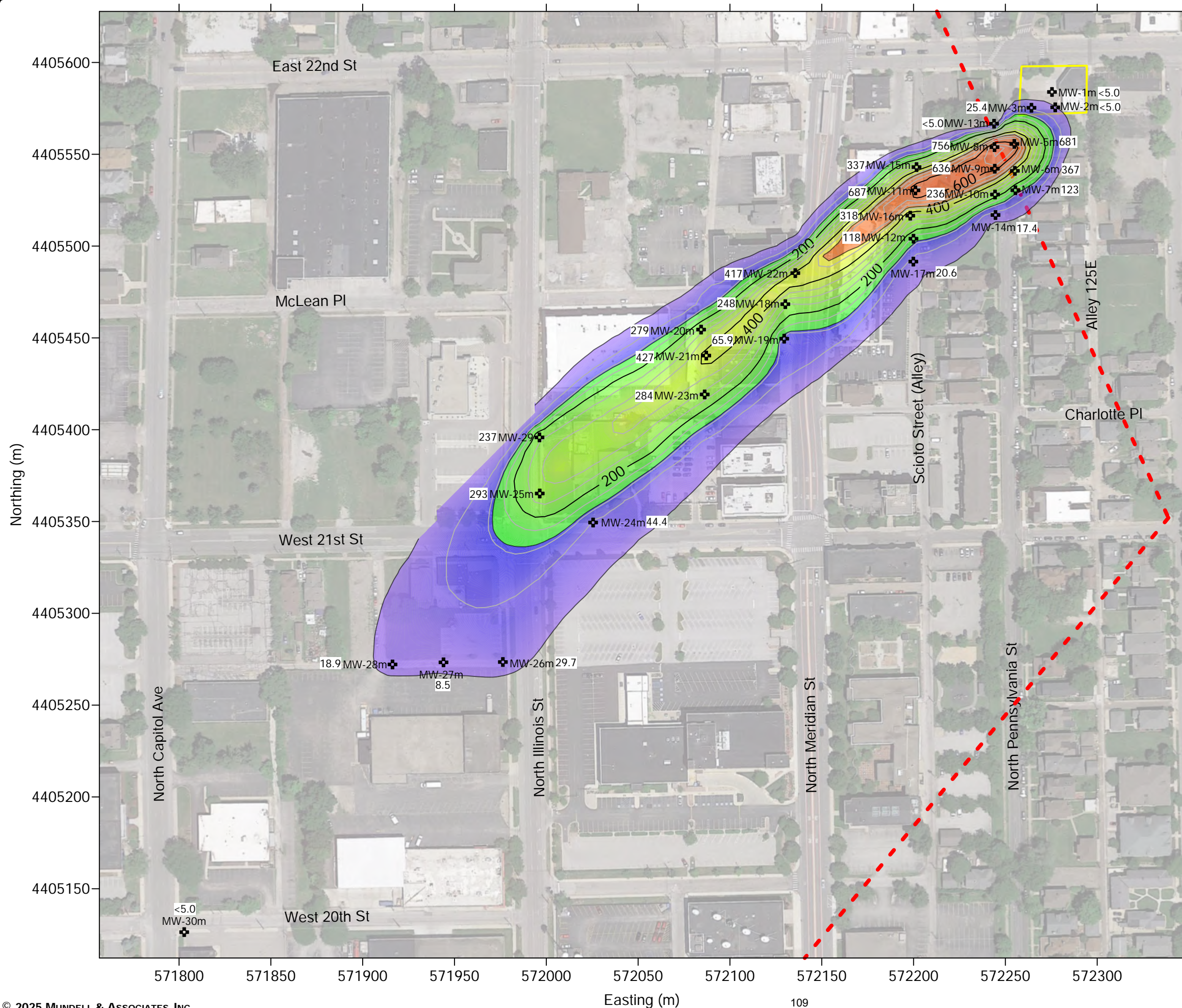
Aerial photo is provided for site reference only.  
No claim is made as to the accuracy or completeness  
of this information.

On-Site Soil Analytical Results  
IHPC COA  
Penn 60 Min. Cleaners  
2175 & 2179 North Pennsylvania Street  
Indianapolis, IN  
MUNDELL Project No. M17033

FIGURE  
1

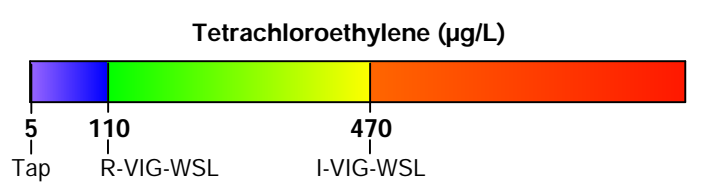


110 South Downey Avenue  
Indianapolis, Indiana 46219  
317-630-9060, fax 317-630-9065  
www.MundellAssociates.com

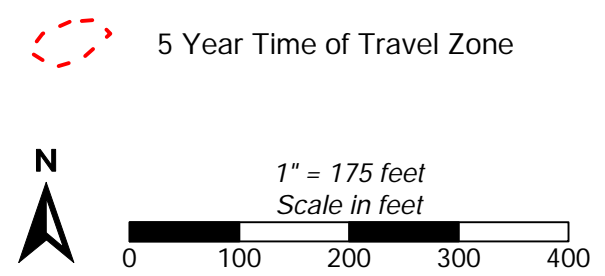


**LEGEND**

- Penn Cleaners Property Boundary
- MW-23 Monitoring Well Locations
- PCE Concentration of Monitoring Well (µg/L)



**Marion County Wellfield Protection Areas**



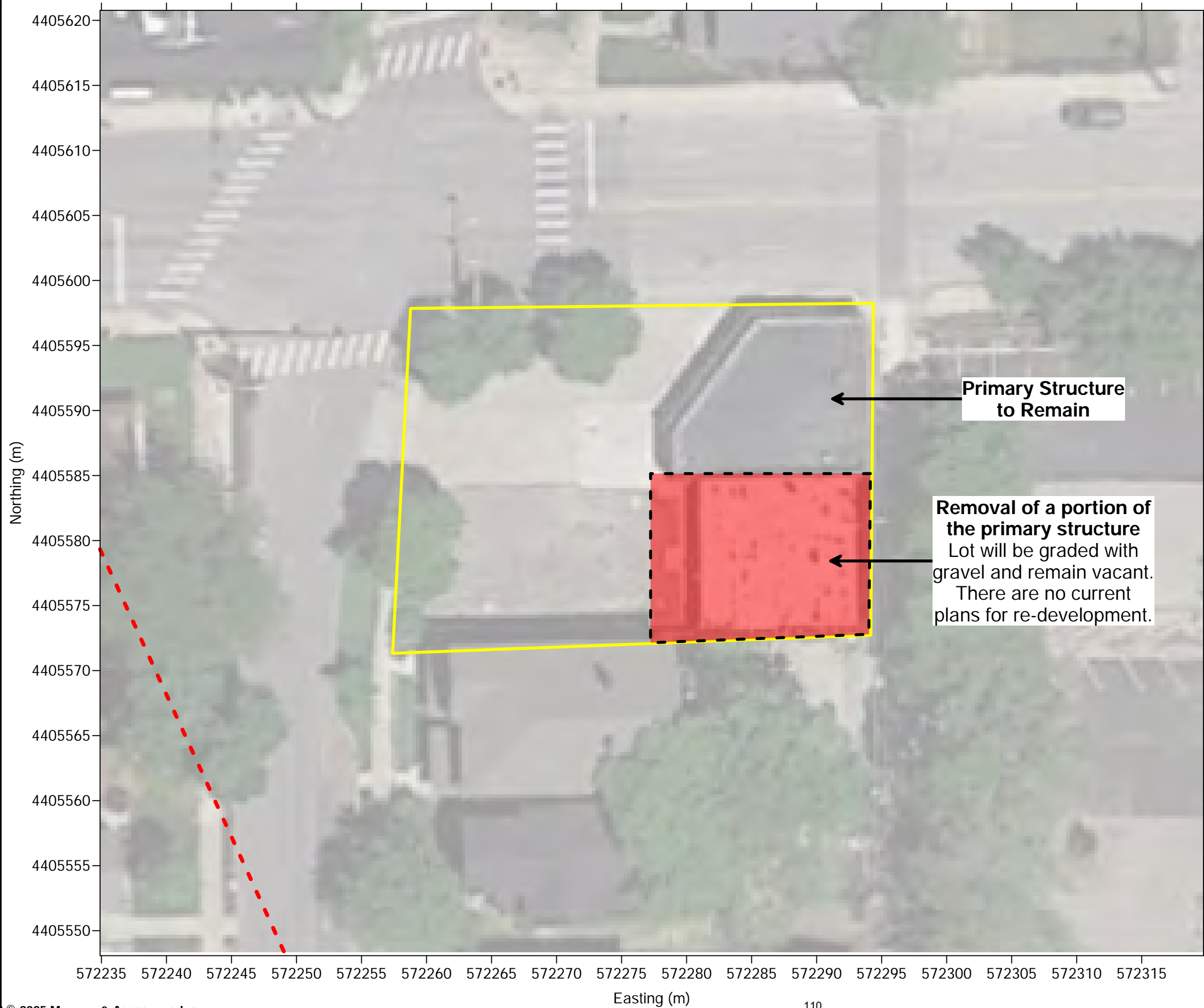
UTM ZONE 16N (m) Coordinates, WGS84 Datum  
Aerial photo is provided for site reference only.  
No claim is made as to the accuracy or completeness of this information.

**PCE Analytical Results - Q4 2024**  
**Medium Monitoring Wells (24-34 ft-bgs)**  
Penn 60 Min. Cleaners  
2175 & 2179 North Pennsylvania Street  
Indianapolis, IN  
MUNDELL Project No. M17033




FIGURE  
**2B**

**Mundell**  
Consulting Professionals  
for the Earth and the Environment

110 South Downey Avenue  
Indianapolis, Indiana 46219  
317-630-9060, fax 317-630-9065  
www.MundellAssociates.com

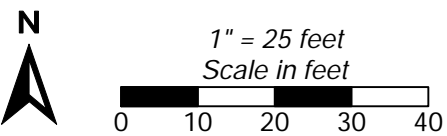


**LEGEND**

-  Penn Cleaners Property Boundary
-  **SB-46** Soil Boring Locations
-  Proposed Excavation Boundary

**Marion County Wellfield Protection Areas**

-  5 Year Time of Travel Zone



UTM ZONE 16N (m) Coordinates, WGS84 Datum  
Aerial photo is provided for site reference only.  
No claim is made as to the accuracy or completeness of this information.

**Proposed Excavation Location**  
IHPC COA  
Penn 60 Min. Cleaners  
2175 & 2179 North Pennsylvania Street  
Indianapolis, IN  
MUNDELL Project No. M17033

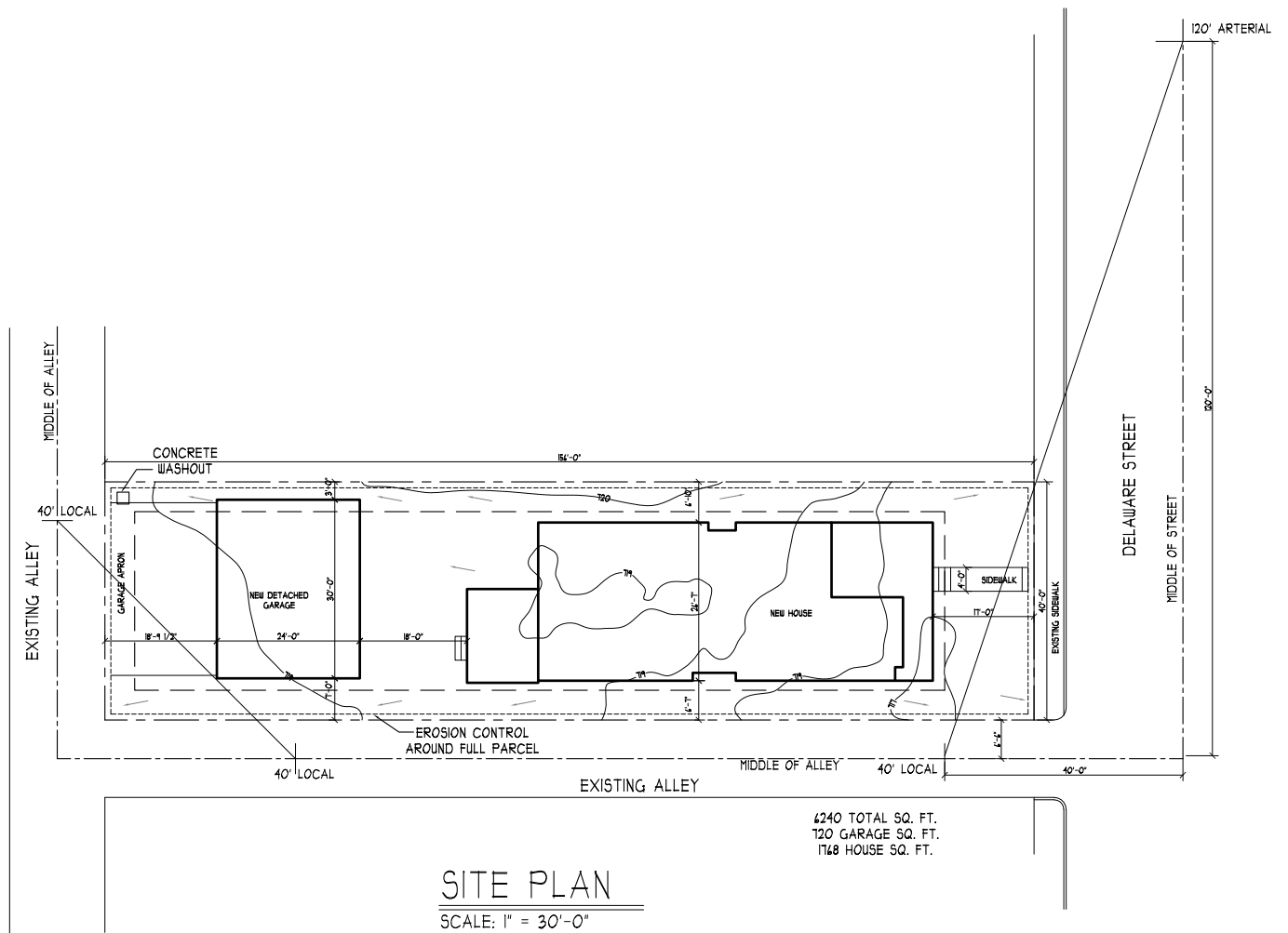
FIGURE  
**3**



110 South Downey Avenue  
Indianapolis, Indiana 46219  
317-630-9060, fax 317-630-9065  
www.MundellAssociates.com

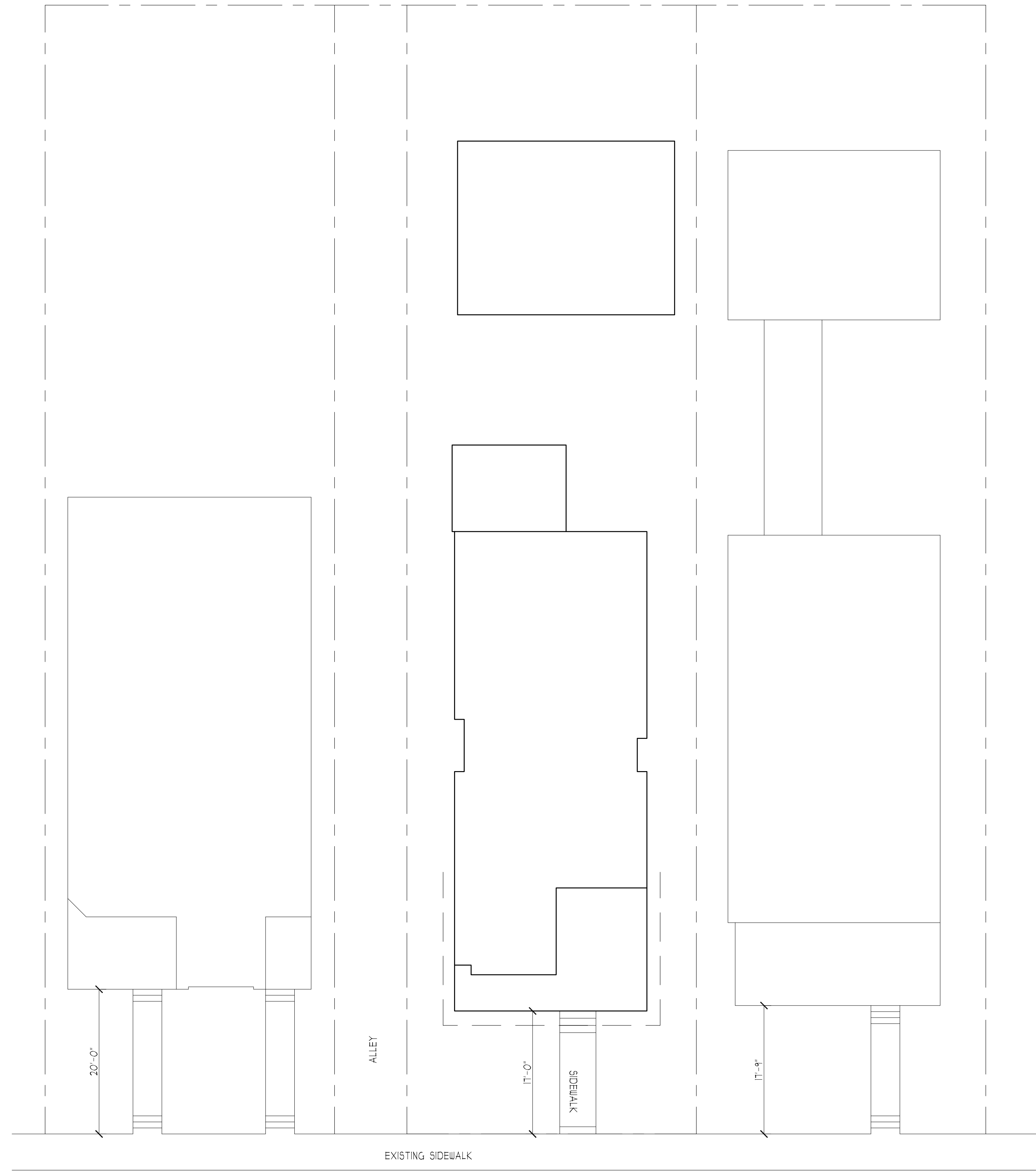


**2025-COA-088 (HMP)**  
**1826 NORTH DELAWARE STREET**



1. NO EASEMENTS PER MAPINDY
2. FINISH FLOOR HOUSE ELEVATION IS 121'-0".
3. FINISH FLOOR GARAGE ELEVATION IS 119'-6".
4. EROSION CONTROL IS NOT AFFECTED BY PROPOSED STRUCTURES. ARROWS SHOW EXISTING FLOW

|                                                                     |  |                                                                       |                          |
|---------------------------------------------------------------------|--|-----------------------------------------------------------------------|--------------------------|
| <b>PROJECT</b><br>1826 N DELAWARE ST                                |  | <b>SHAW GAP DESIGN</b><br><small>DESIGN AND DRAFTING SERVICES</small> |                          |
| 1109 S. 10TH STREET<br>NOBLESVILLE, INDIANA 46060<br>(317) 440-5674 |  | <b>SCALE</b><br>1" = 30'-0"                                           | <b>DRAWN BY</b><br>MWS   |
| <b>CLIENT</b>                                                       |  | <b>DATE</b><br>3/28/25                                                | <b>CHECKED BY</b><br>MWS |



| REVISIONS | DATE |
|-----------|------|
|           |      |
|           |      |
|           |      |
|           |      |

|                                   |                                       |
|-----------------------------------|---------------------------------------|
| PROJECT<br>1826 N DELAWARE STREET | DEPOINTS<br>SHEET TITLE<br>ELEVATIONS |
|-----------------------------------|---------------------------------------|

|                    |                |
|--------------------|----------------|
| CLIENT INFORMATION | GEM HOMES, LLC |
|--------------------|----------------|

|                |                                                                                             |
|----------------|---------------------------------------------------------------------------------------------|
| SHAWCAD DESIGN | WHERE DRAFTING MEETS DESIGN<br>NOBLESVILLE, INDIANA 46060<br>EMAIL: SHAWCADDESIGN@GMAIL.COM |
|----------------|---------------------------------------------------------------------------------------------|

|                         |                                 |
|-------------------------|---------------------------------|
| SHEET NO<br>A-1<br>OF 5 | DATE<br>4/24/25<br>DWN NO<br>10 |
|-------------------------|---------------------------------|



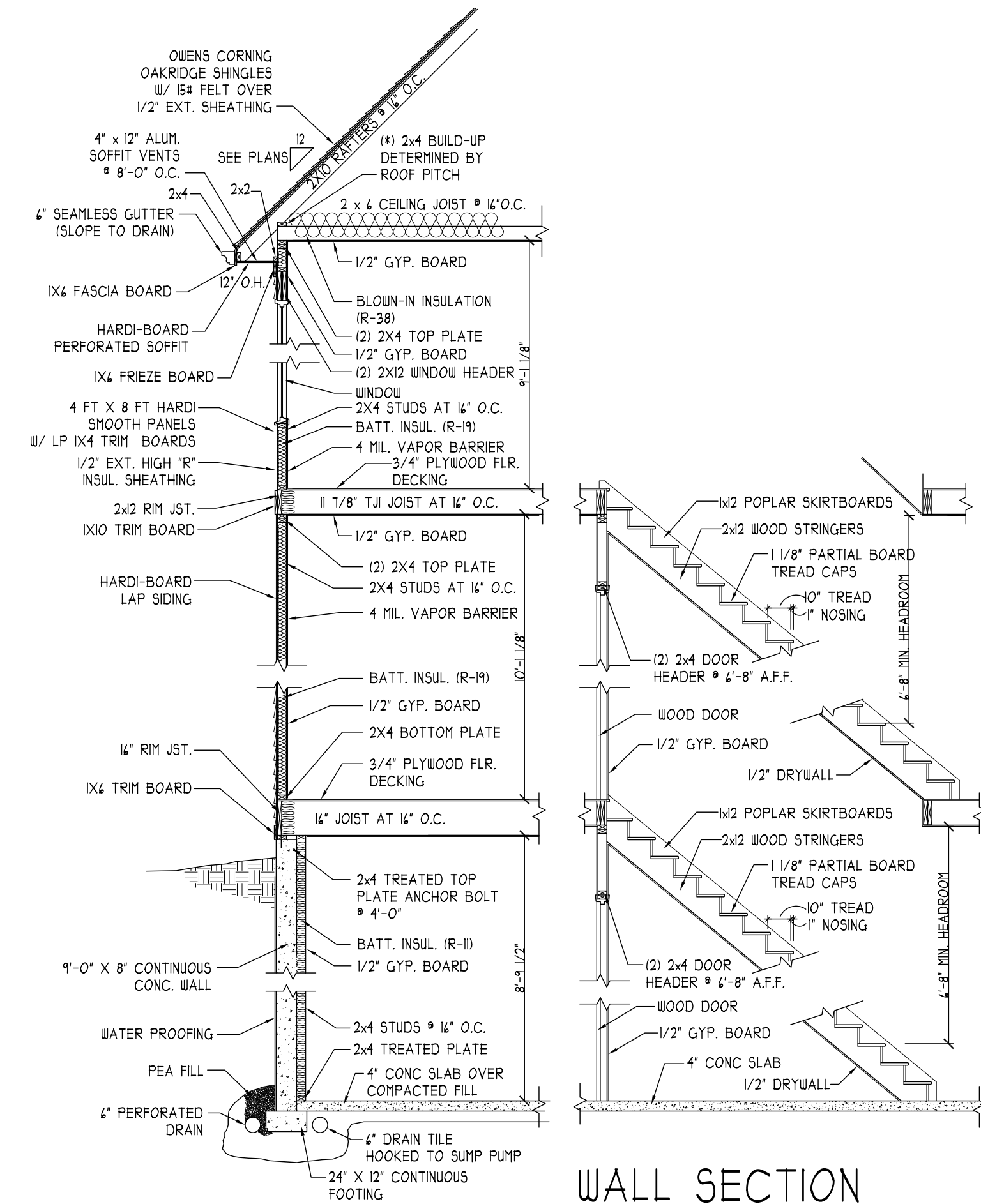
SOUTH - LEFT ELEVATION

SCALE: 1/8"=1'-0"



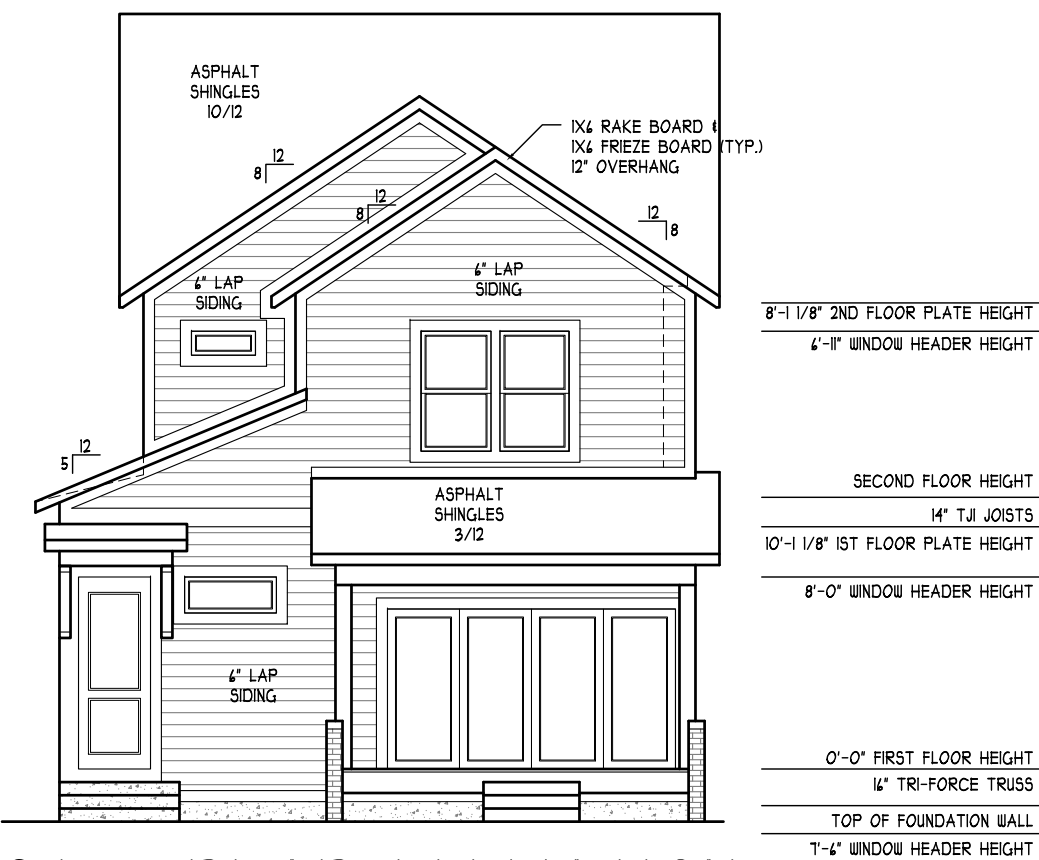
NORTH - RIGHT ELEVATION

SCALE: 1/8"=1'-0"



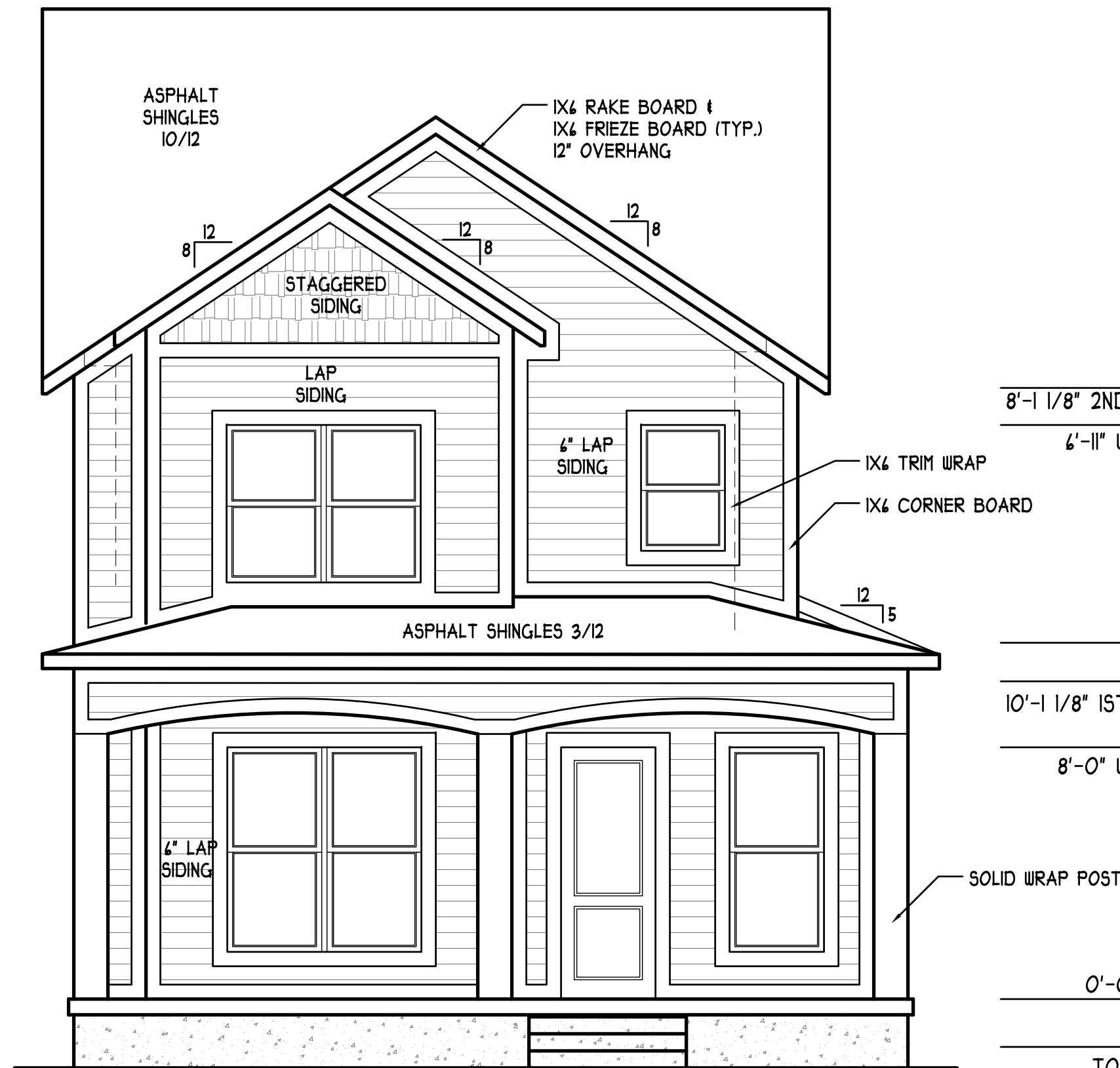
WALL SECTION

SCALE: 1/4"=1'-0"



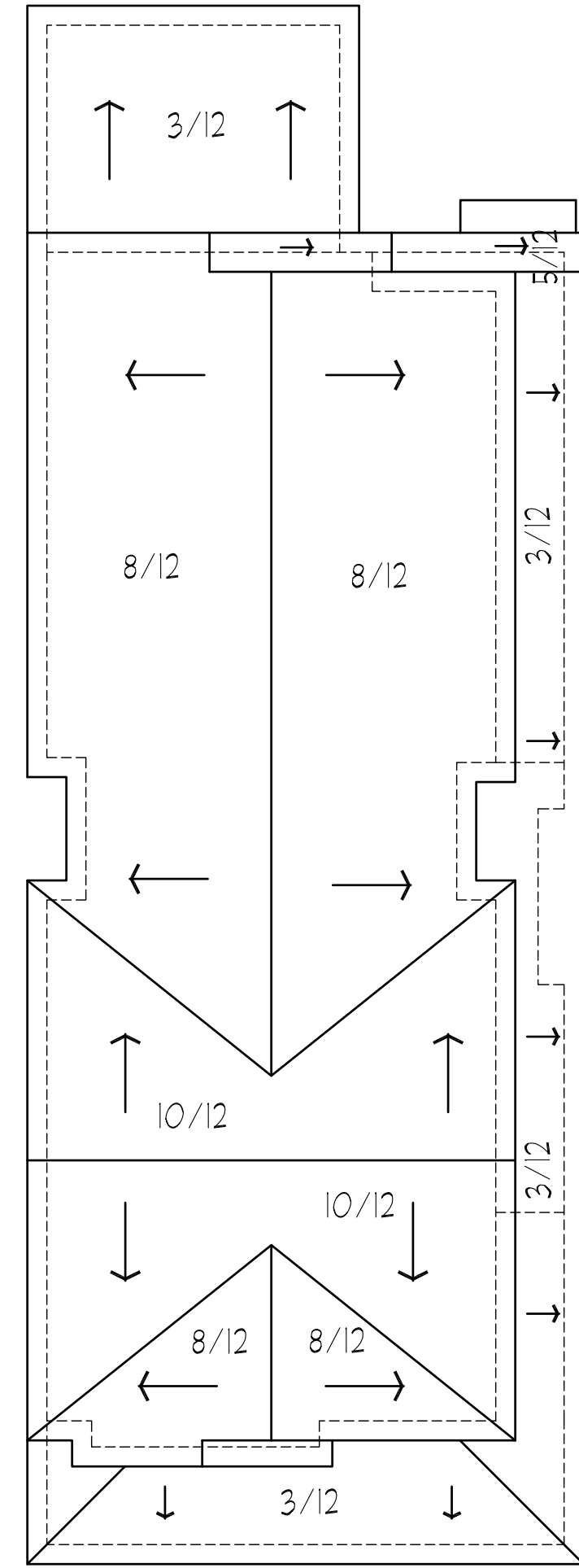
WEST - REAR ELEVATION

SCALE: 1/8"=1'-0"



EAST - FRONT ELEVATION

SCALE: 1/4"=1'-0"



ROOF PLAN

GENERAL ELEVATION NOTES:

1. VERIFY ALL TYPES AND SIZES OF WINDOW UNITS AND DOORS WITH BUILDER. NOTIFY BUILDER OF ANY DISCREPANCIES.
2. VERIFY LOCATIONS, TYPES AND SIZES OF VENTS AND EXTERIOR TRIM WITH BUILDER.
3. ALL ROOF, CHIMNEY AND WALL INTERSECTIONS SHALL BE FLASHED WITH ALUMINUM OR BETTER MATERIAL.

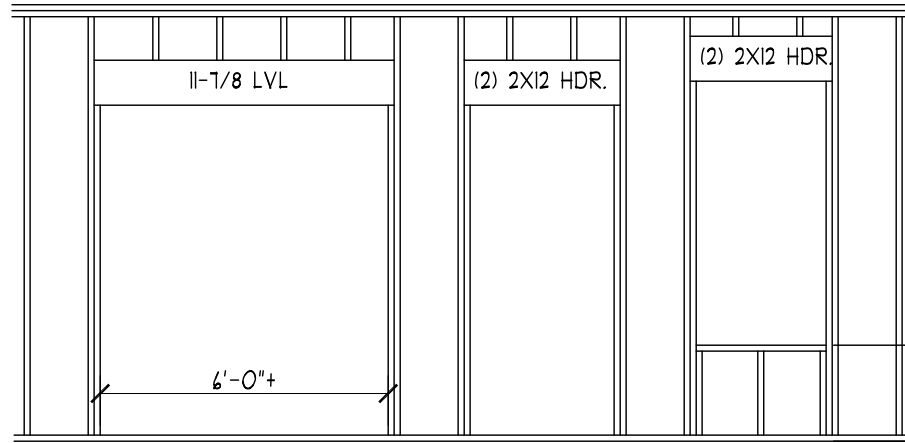
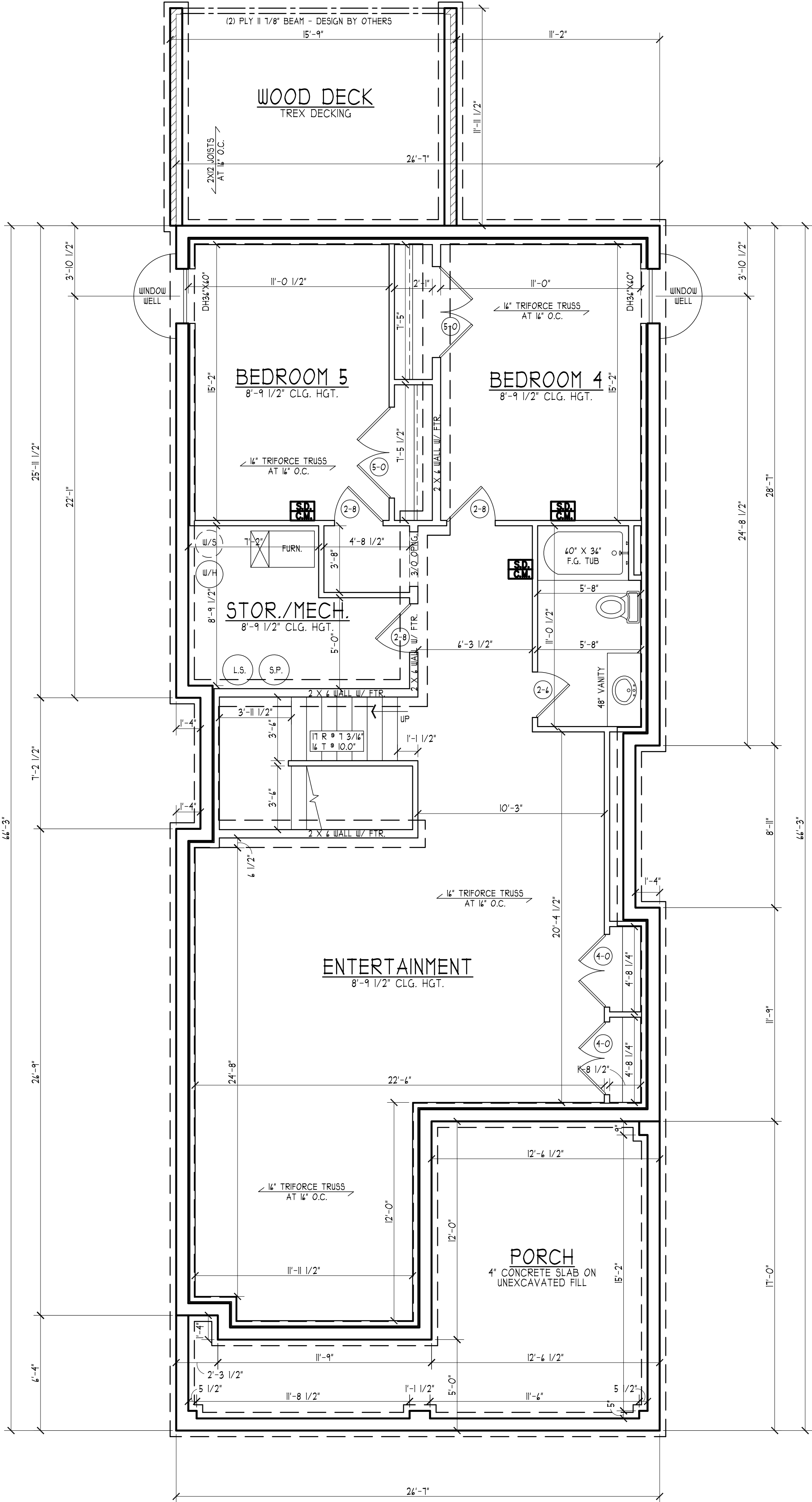
SQUARE FOOTAGE TABLE

|                              |         |
|------------------------------|---------|
| FOUNDATION                   |         |
| TOTAL SQUARE FOOTAGE         | 1334 SF |
| FINISHED SQUARE FOOTAGE      | 1245 SF |
| MECH/STORAGE SQUARE FOOTAGE  | 89 SF   |
| CRAWL SPACE                  | 0 SF    |
| FIRST FLOOR                  |         |
| FINISHED SQUARE FOOTAGE      | 1446 SF |
| GARAGE SQUARE FOOTAGE        | 0 SF    |
| COVERED PORCH SQUARE FOOTAGE | 180 SF  |
| FRONT PORCH SQUARE FOOTAGE   | 84 SF   |
| SECOND FLOOR                 |         |
| FINISHED SQUARE FOOTAGE      | 1283 SF |
| UNFINISHED SQUARE FOOTAGE    | 0 SF    |
| TOTAL FINISH SQ. FT.         | 3974 SF |
| TOTAL SQUARE FOOTAGE         | 4063 SF |

**\*\*\*NOTES\*\*\***  
IT IS THE BUILDER/ OWNER'S RESPONSIBILITY TO VERIFY THE PROPER AIR SPACE BETWEEN ALL BRICK AND WOOD WALLS WITH HOUSE WRAP. TO PREVENT WATER INFILTRATION. BUILDER/ OWNER SHOULD SEEK THE ASSISTANCE OF A QUALIFIED ENGINEER FOR THE PROPER SIZING OF ALL STRUCTURAL HEADERS, RAFTERS, SUPPORT BEAMS, LAMINATED BEAMS, JOISTS, FOOTINGS, ETC. IT IS THE BUILDER/ OWNER RESPONSIBILITY TO VERIFY ALL DIMENSIONS & DESIGN OF THESE DOCUMENTS FOR ACCURACY.

FOUNDATION PLAN

SCALE: 1/4"=1'-0"



WINDOW & DOOR FRAMING DTL.  
SCALE: 1/4"=1'-0"

GENERAL FOUNDATION PLAN NOTES:

- 1. ALL FOOTINGS SHALL BE BELOW FROST LINE MINIMUM SIZE SHALL BE AS PER LOCAL CODE.
- 2. FOUNDATION WALLS SHALL BE 8" THICK OR MINIMUM SIZE AS PER LOCAL CODE.
- 3. ALL FOUNDATION ANCHORS SHALL BE 4'-0" ON CENTER AND 2 PER CORNER.
- 4. GRADE ALL SOIL AWAY FROM DWELLING TO PROVIDE POSITIVE DRAINAGE. MAINTAIN 4" SPACE BETWEEN GRADE AND ANY WOOD TRIM.
- 5. ALL WORK IS TO BE PERFORMED AND PROVIDED, TO MEET OR EXCEED LOCAL BUILDING CODES.
- 6. VERIFY ALL MASONRY LINTEL SIZES AND TYPES WITH BUILDER PRIOR TO PERFORMING WORK.
- 7. IN UNFINISHED AREAS ALL DIMENSIONS ARE TO THE FACE OF THE FOUNDATION WALL.
- 8. IN FINISHED AREAS ALL DIMENSIONS ARE TO THE FACE OF THE FRAMED WALL.
- 9. FACE OF FRAMED WALLS TO BE 4" OR 4 1/2" OUT FROM FACE OF FOUNDATION WALL.

PELLA ALUMINUM CLAD LIFESTYLE DOUBLEHUNG CLAD WINDOWS. BLACK COLOR.

4 FT X 8 FT HARDI SMOOTH PANELS W/ LP IX4 TRIM BOARDS

HARDI-BOARD LAP SIDING

IHPC APPROVED COLORS

OWENS CORNING OAKRIDGE SHINGLES

SEAMLESS GUTTERS

- ESD SMOKE DETECTOR
- CM CARBON MONOXIDE DETECTOR

| SQUARE FOOTAGE TABLE         |         |
|------------------------------|---------|
| FOUNDATION                   |         |
| TOTAL SQUARE FOOTAGE         | 1334 SF |
| FINISHED SQUARE FOOTAGE      | 1245 SF |
| MECH/STORAGE SQUARE FOOTAGE  | 89 SF   |
| CRAWL SPACE                  | 0 SF    |
| FIRST FLOOR                  |         |
| FINISHED SQUARE FOOTAGE      | 1446 SF |
| GARAGE SQUARE FOOTAGE        | 0 SF    |
| COVERED PORCH SQUARE FOOTAGE | 180 SF  |
| FRONT PORCH SQUARE FOOTAGE   | 84 SF   |
| SECOND FLOOR                 |         |
| FINISHED SQUARE FOOTAGE      | 1283 SF |
| UNFINISHED SQUARE FOOTAGE    | 0 SF    |
| TOTAL FINISH SQ. FT.         | 3974 SF |
| TOTAL SQUARE FOOTAGE         | 4063 SF |

IT IS THE BUILDER/ OWNERS RESPONSIBILITY TO VERIFY THE PROPER AIR SPACE BETWEEN ALL BRICK AND WOOD WALLS WITH HOUSE WRAP. TO PREVENT WATER INFILTRATION. BUILDER/ OWNER SHOULD SEEK THE ASSISTANCE OF A QUALIFIED ENGINEER FOR THE PROPER SIZING OF ALL STRUCTURAL HEADERS, RAFTERS, SUPPORT BEAMS, LAMINATED BEAMS, JOISTS, FOOTINGS, ETC. IT IS THE BUILDER/ OWNER RESPONSIBILITY TO VERIFY ALL DIMENSIONS & DESIGN OF THESE DOCUMENTS FOR ACCURACY.

|          |            |
|----------|------------|
| SCALE    | 1/4"=1'-0" |
| DRAWN BY | MUS        |
| CHECKED  | MUS        |

| DATE | REVISIONS |
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|             |                        |
|-------------|------------------------|
| PROJECT     | 1826 N DELAWARE STREET |
| DEFPOINTS   |                        |
| SHEET TITLE | FOUNDATION PLAN        |

CLIENT INFORMATION

GEM HOMES, LLC

SHAWCAD DESIGN

WHERE DRAFTING MEETS DESIGN

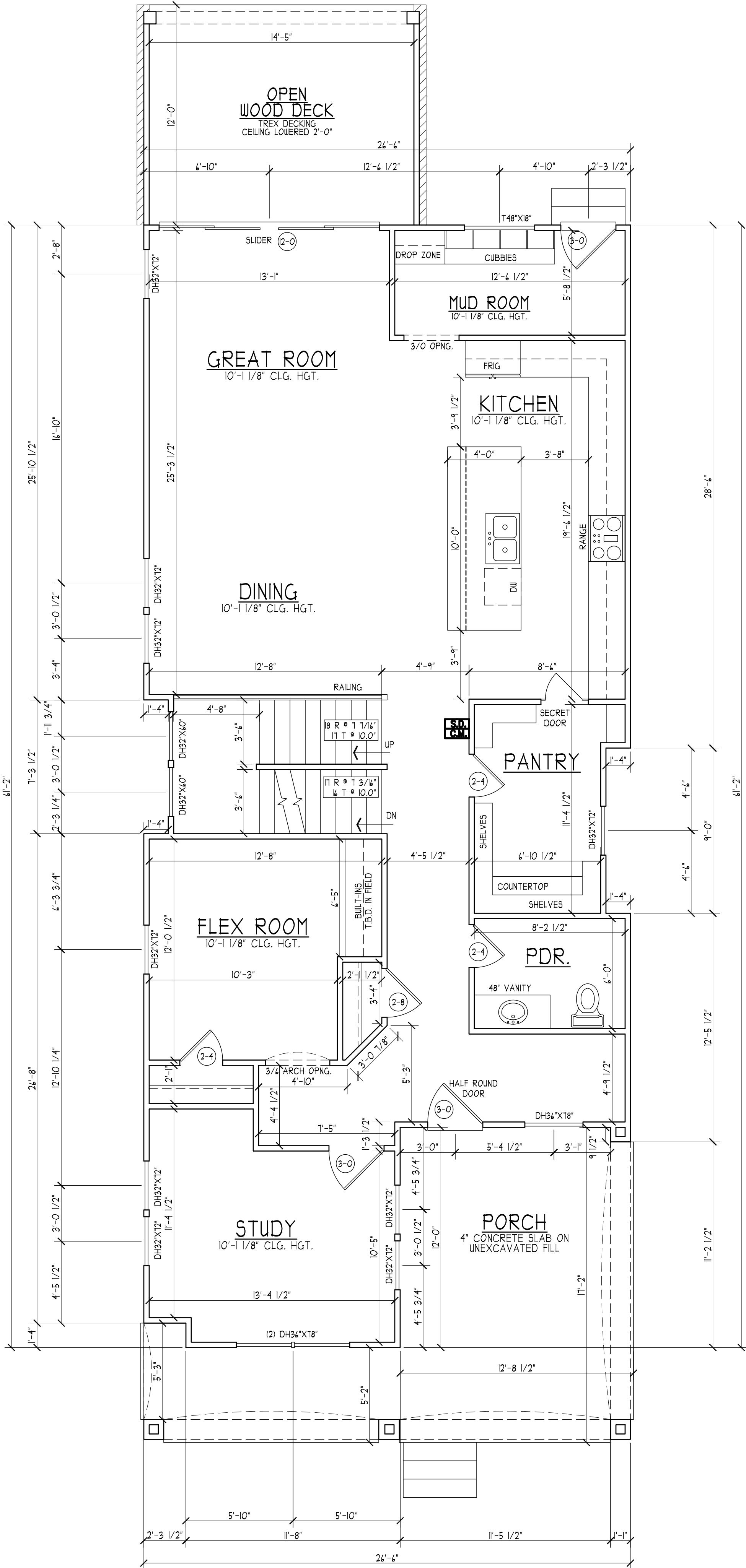
NORFOLK, INDIANA 46060

EMAIL: SHAWCADDESIGN@GMAIL.COM

|          |         |
|----------|---------|
| SHEET NO | A-2     |
| OF       | 5       |
| DATE     | 4/24/25 |
| DWN NO   | 10      |

FIRST FLOOR PLAN

SCALE: 1/4"=1'-0" WALL HEIGHT - 10'-1 1/8"



GENERAL FLOOR PLAN NOTES:

- ALL INTERIOR WALLS ARE 2X4 OR 2X6 AS SHOWN. EXTERIOR WALLS ARE 2X4 OR 2X6 W/ ONE LAYER OF 1/2" SHEATHING. ALIGN EXTERIOR OF SHEATHING WITH FOUNDATION WALL. ALL ANGLED WALLS ARE 45 DEGREES FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
- CONFIRM ALL HEADER HEIGHTS AND SIZES PRIOR TO START OF FRAMING. ALL OPENINGS ARE TO BE 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- VERIFY ALL TYPES AND SIZES OF WINDOW UNITS AND DOORS WITH OWNER/BUILDER. NOTIFY BUILDER OF ANY DISCREPANCIES.
- VERIFY LOCATION, TYPES AND SIZES OF VENTS AND EXTERIOR TRIM WITH OWNER/BUILDER.
- INSULATE HIDDEN AREAS OR ASSEMBLIES BEFORE COVERING.
- BUILDER/LUMBER SUPPLIER SHALL SPECIFY SIZES OF DIMENSIONAL LUMBER FOR FLOOR AND ROOF SYSTEMS. NOTIFY BUILDER/LUMBER SUPPLIER IMMEDIATELY OF ANY DISCREPANCIES.
- STEEL LINTELS OR WOOD BEARING AREAS, PROPERLY SIZED, ARE TO BE PROVIDED OVER ALL OPENINGS TO SUPPORT MASONRY VENEER.
- ALL ROOF AND WALL INTERSECTIONS SHALL BE FLASHED WITH ALUMINUM OR BETTER MATERIAL.
- ALL BEDROOM EGRESS WINDOWS TO MEET MIN. CLEAR OPENING OF 5.7 FT<sup>2</sup> UNLESS NOTED OTHERWISE. ONE WINDOW MINIMUM NEEDED PER BEDROOM.

PELLA ALUMINUM CLAD LIFESTYLE DOUBLEHUNG CLAD WINDOWS. BLACK COLOR.

4 FT X 8 FT HARDI SMOOTH PANELS W/ LP IX4 TRIM BOARDS

HARDI-BOARD LAP SIDING

IHPC APPROVED COLORS

OWENS CORNING OAKRIDGE SHINGLES

SEAMLESS GUTTERS

ESD SMOKE DETECTOR  
CMR CARBON MONOXIDE DETECTOR

\*\*8'-0" TALL DOORS ON FIRST FLOOR\*\*

| FOUNDTATION                  |         |
|------------------------------|---------|
| TOTAL SQUARE FOOTAGE         | 1334 SF |
| FINISHED SQUARE FOOTAGE      | 1245 SF |
| MECH/STORAGE SQUARE FOOTAGE  | 89 SF   |
| CRAWL SPACE                  | 0 SF    |
| FIRST FLOOR                  |         |
| FINISHED SQUARE FOOTAGE      | 1446 SF |
| GARAGE SQUARE FOOTAGE        | 0 SF    |
| COVERED PORCH SQUARE FOOTAGE | 180 SF  |
| FRONT PORCH SQUARE FOOTAGE   | 84 SF   |
| SECOND FLOOR                 |         |
| FINISHED SQUARE FOOTAGE      | 1283 SF |
| UNFINISHED SQUARE FOOTAGE    | 0 SF    |
| TOTAL FINISH SQ. FT.         | 3974 SF |
| TOTAL SQUARE FOOTAGE         | 4063 SF |

IT IS THE BUILDER/ OWNERS RESPONSIBILITY TO VERIFY THE PROPER AIR SPACE BETWEEN ALL BRICK AND WOOD WALLS WITH HOUSE WRAP. TO PREVENT WATER INFILTRATION. BUILDER/ OWNER SHOULD SEEK THE ASSISTANCE OF A QUALIFIED ENGINEER FOR THE PROPER SIZING OF ALL STRUCTURAL HEADERS, RAFTERS, SUPPORT BEAMS, LAMINATED BEAMS, JOISTS, FOOTINGS, ETC. IT IS THE BUILDER/ OWNER RESPONSIBILITY TO VERIFY ALL DIMENSIONS & DESIGN OF THESE DOCUMENTS FOR ACCURACY.

|          |            |
|----------|------------|
| SCALE    | 1/4"=1'-0" |
| DRAWN BY | MUS        |
| CHECKED  | MUS        |

|      |           |
|------|-----------|
| DATE | REVISIONS |
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|      |           |
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|             |                        |
|-------------|------------------------|
| PROJECT     | 1826 N DELAWARE STREET |
| DEFPOINTS   |                        |
| SHEET TITLE | FIRST FLOOR PLAN       |

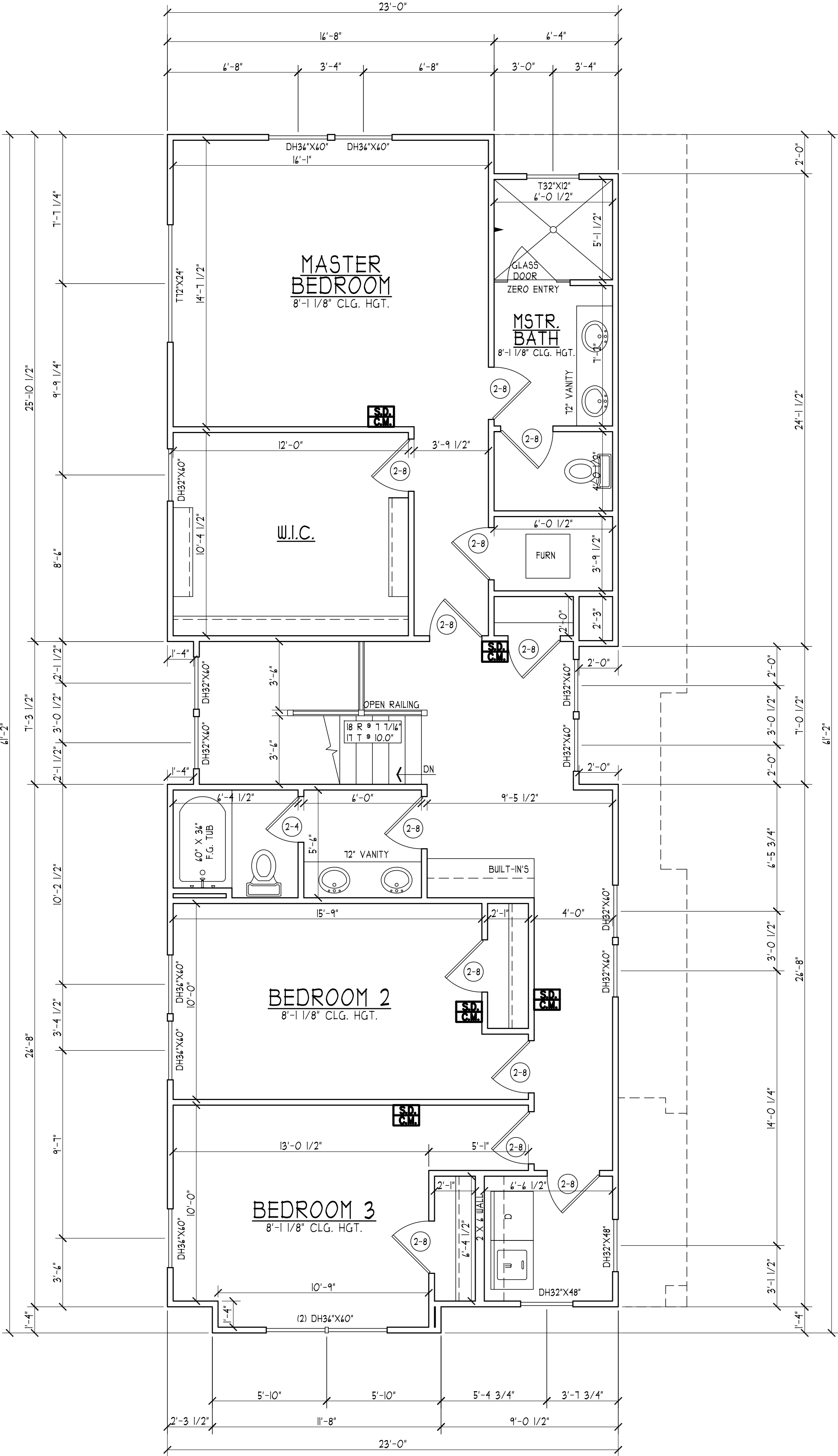
|                    |                |
|--------------------|----------------|
| CLIENT INFORMATION | GEM HOMES, LLC |
|--------------------|----------------|

|                |                                |
|----------------|--------------------------------|
| SHAWCAD DESIGN | WHERE DRAFTING MEETS DESIGN    |
|                | NORFOLK, INDIANA 46060         |
|                | EMAIL: SHAWCADDESIGN@GMAIL.COM |

|          |         |
|----------|---------|
| SHEET NO | A-3     |
| OF       | 5       |
| DATE     | 4/24/25 |
| DWN NO   | 10      |

SECOND FLOOR PLAN

SCALE: 1/4"=1'-0" WALL HEIGHT - 9'-1 1/8"



GENERAL FLOOR PLAN NOTES:

- 1. ALL INTERIOR WALLS ARE 2X4 OR 2X6 AS SHOWN. EXTERIOR WALLS ARE 2X4 OR 2X6 W/ ONE LAYER OF 1/2" SHEATHING. ALIGN EXTERIOR OF SHEATHING WITH FOUNDATION WALL. ALL ANGLED WALLS ARE 45 DEGREES FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
- 2. CONFIRM ALL HEADER HEIGHTS AND SIZES PRIOR TO START OF FRAMING. ALL OPENINGS ARE TO BE 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- 3. VERIFY ALL TYPES AND SIZES OF WINDOW UNITS AND DOORS WITH OWNER/BUILDER. NOTIFY BUILDER OF ANY DISCREPANCIES.
- 4. VERIFY LOCATION, TYPES AND SIZES OF VENTS AND EXTERIOR TRIM WITH OWNER/BUILDER.
- 5. INSULATE HIDDEN AREAS OR ASSEMBLIES BEFORE COVERING.
- 6. BUILDER/LUMBER SUPPLIER SHALL SPECIFY SIZES OF DIMENSIONAL LUMBER FOR FLOOR AND ROOF SYSTEMS. NOTIFY BUILDER/LUMBER SUPPLIER IMMEDIATELY OF ANY DISCREPANCIES.
- 7. STEEL LINTELS OR WOOD BEARING AREAS, PROPERLY SIZED, ARE TO BE PROVIDED OVER ALL OPENINGS TO SUPPORT MASONRY VENEER.
- 8. ALL ROOF AND WALL INTERSECTIONS SHALL BE FLASHED WITH ALUMINUM OR BETTER MATERIAL.
- 9. ALL BEDROOM EGRESS WINDOWS TO MEET MIN. CLEAR OPENING OF 5.7 FT2 UNLESS NOTED OTHERWISE. ONE WINDOW MINIMUM NEEDED PER BEDROOM.

PELLA ALUMINUM CLAD LIFESTYLE DOUBLEHUNG CLAD WINDOWS. BLACK COLOR.

4 FT X 8 FT HARDI SMOOTH PANELS W/ LP IX4 TRIM BOARDS

HARDI-BOARD LAP SIDING

IHPC APPROVED COLORS

OWENS CORNING OAKRIDGE SHINGLES

SEAMLESS GUTTERS

Legend for smoke and carbon monoxide detectors.

SQUARE FOOTAGE TABLE

|                              |         |
|------------------------------|---------|
| FOUNDATION                   |         |
| TOTAL SQUARE FOOTAGE         | 1334 SF |
| FINISHED SQUARE FOOTAGE      | 1245 SF |
| MECH/STORAGE SQUARE FOOTAGE  | 89 SF   |
| CRAWL SPACE                  | 0 SF    |
| FIRST FLOOR                  |         |
| FINISHED SQUARE FOOTAGE      | 1446 SF |
| GARAGE SQUARE FOOTAGE        | 0 SF    |
| COVERED PORCH SQUARE FOOTAGE | 180 SF  |
| FRONT PORCH SQUARE FOOTAGE   | 84 SF   |
| SECOND FLOOR                 |         |
| FINISHED SQUARE FOOTAGE      | 1283 SF |
| UNFINISHED SQUARE FOOTAGE    | 0 SF    |
| TOTAL FINISH SQ. FT.         | 3974 SF |
| TOTAL SQUARE FOOTAGE         | 4063 SF |

IT IS THE BUILDER/ OWNERS RESPONSIBILITY TO VERIFY THE PROPER AIR SPACE BETWEEN ALL BRICK AND WOOD WALLS WITH HOUSE WRAP. TO PREVENT WATER INFILTRATION. BUILDER/ OWNER SHOULD SEEK THE ASSISTANCE OF A QUALIFIED ENGINEER FOR THE PROPER SIZING OF ALL STRUCTURAL HEADERS, RAFTERS, SUPPORT BEAMS, LAMINATED BEAMS, JOISTS, FOOTINGS, ETC. IT IS THE BUILDER/ OWNER RESPONSIBILITY TO VERIFY ALL DIMENSIONS & DESIGN OF THESE DOCUMENTS FOR ACCURACY.

|          |            |
|----------|------------|
| SCALE    | 1/4"=1'-0" |
| DRAWN BY | MUS        |
| CHECKED  | MUS        |

|      |           |
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| DATE | REVISIONS |
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|             |                        |
|-------------|------------------------|
| PROJECT     | 1826 N DELAWARE STREET |
| DEFPONTS    |                        |
| SHEET TITLE | SECOND FLOOR PLAN      |

CLIENT INFORMATION

GEM HOMES, LLC

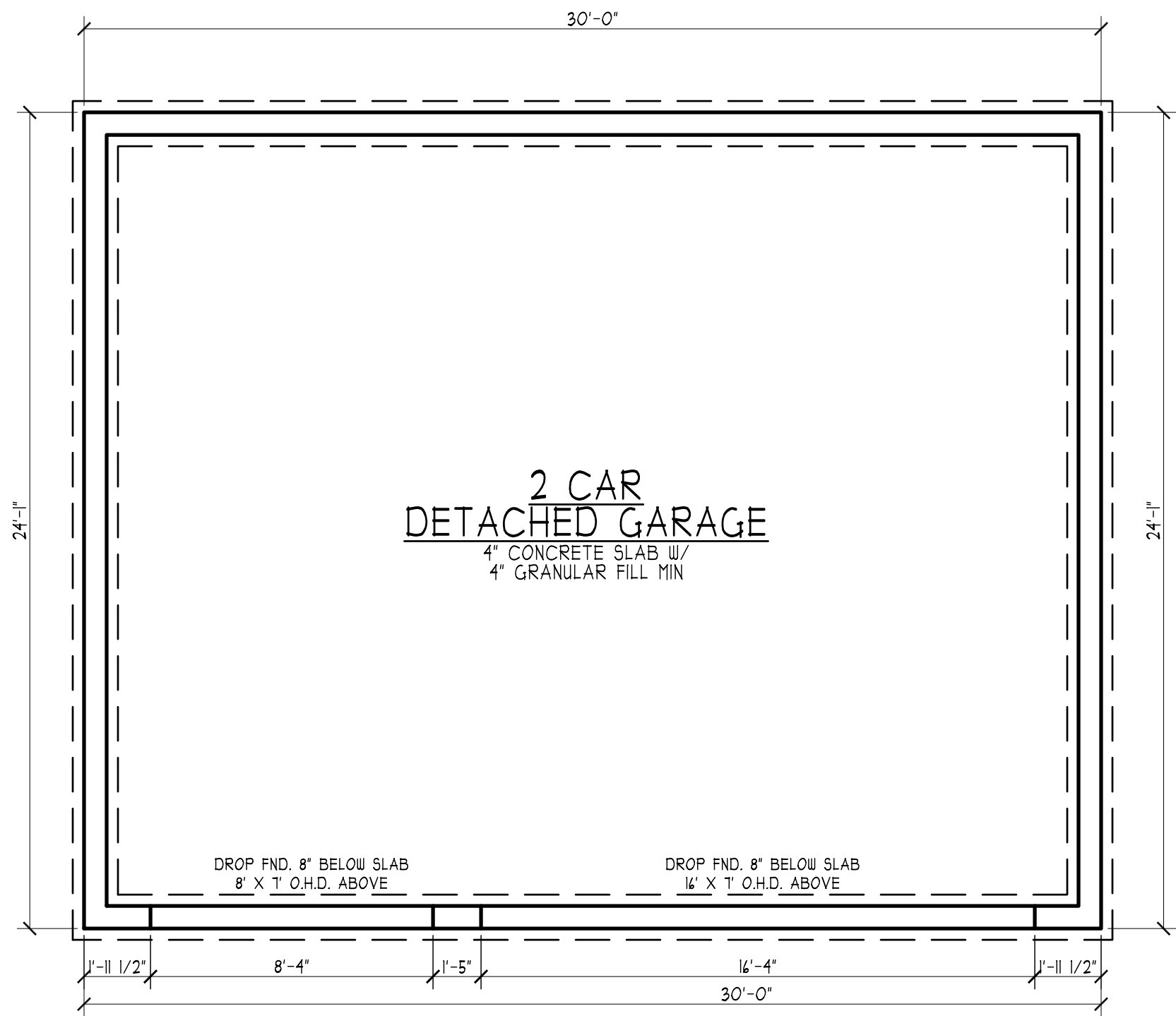
SHAWCAD DESIGN

WHERE DRAFTING MEETS DESIGN

NORFOLK, INDIANA 46060

EMAIL: SHAWCADDESIGN@GMAIL.COM

|          |         |
|----------|---------|
| SHEET NO | A-4     |
| OF       | 5       |
| DATE     | 4/24/25 |
| DWN NO   | 10      |

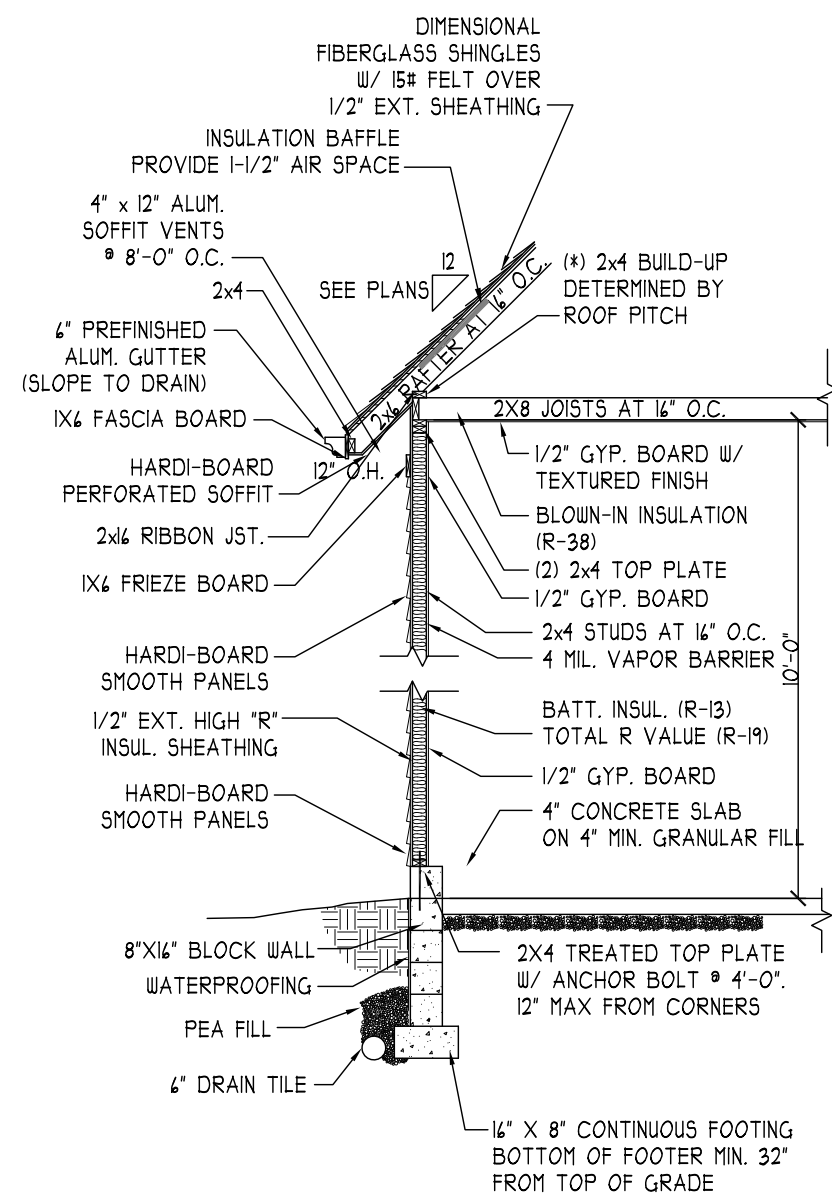


## FOUNDATION PLAN

SCALE: 1/8"=1'-0"

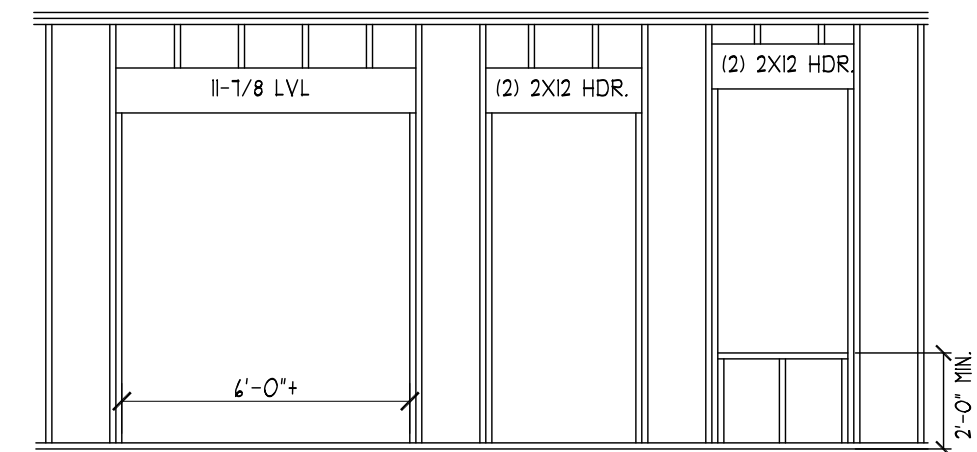
### GENERAL FOUNDATION PLAN NOTES:

1. ALL FOOTINGS SHALL BE BELOW FROST LINE MINIMUM SIZE SHALL BE AS PER LOCAL CODE.
2. FOUNDATION WALLS SHALL BE 8" THICK OR MINIMUM SIZE AS PER LOCAL CODE.
3. ALL FOUNDATION ANCHORS SHALL BE 4'-0" ON CENTER AND 2 PER CORNER.
4. GRADE ALL SOIL AWAY FROM DWELLING TO PROVIDE POSITIVE DRAINAGE. MAINTAIN 4" SPACE BETWEEN GRADE AND ANY WOOD TRIM.
5. ALL WORK IS TO BE PERFORMED AND PROVIDED, TO MEET OR EXCEED LOCAL BUILDING CODES.



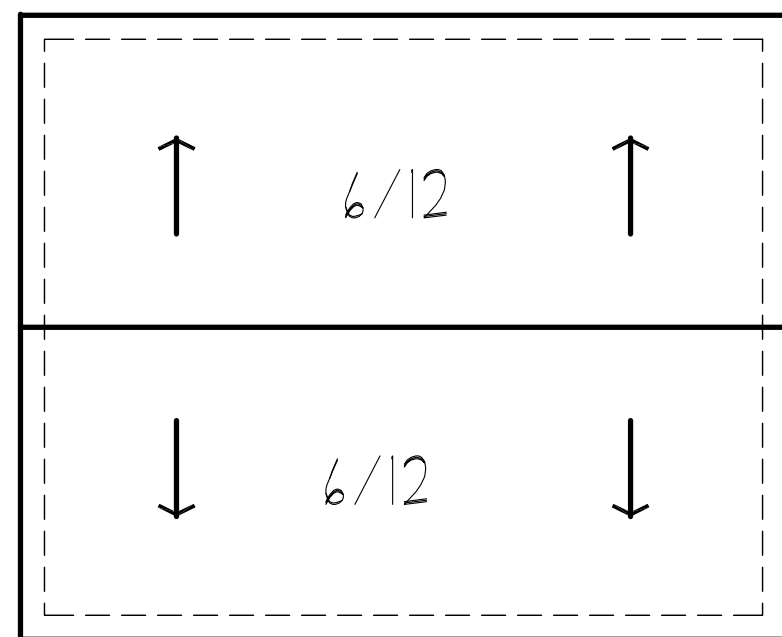
## WALL SECTION

SCALE: 1/4"=1'-0"



## WINDOW & DOOR FRAMING DTL.

SCALE: 1/4"=1'-0"



## ROOF PLAN

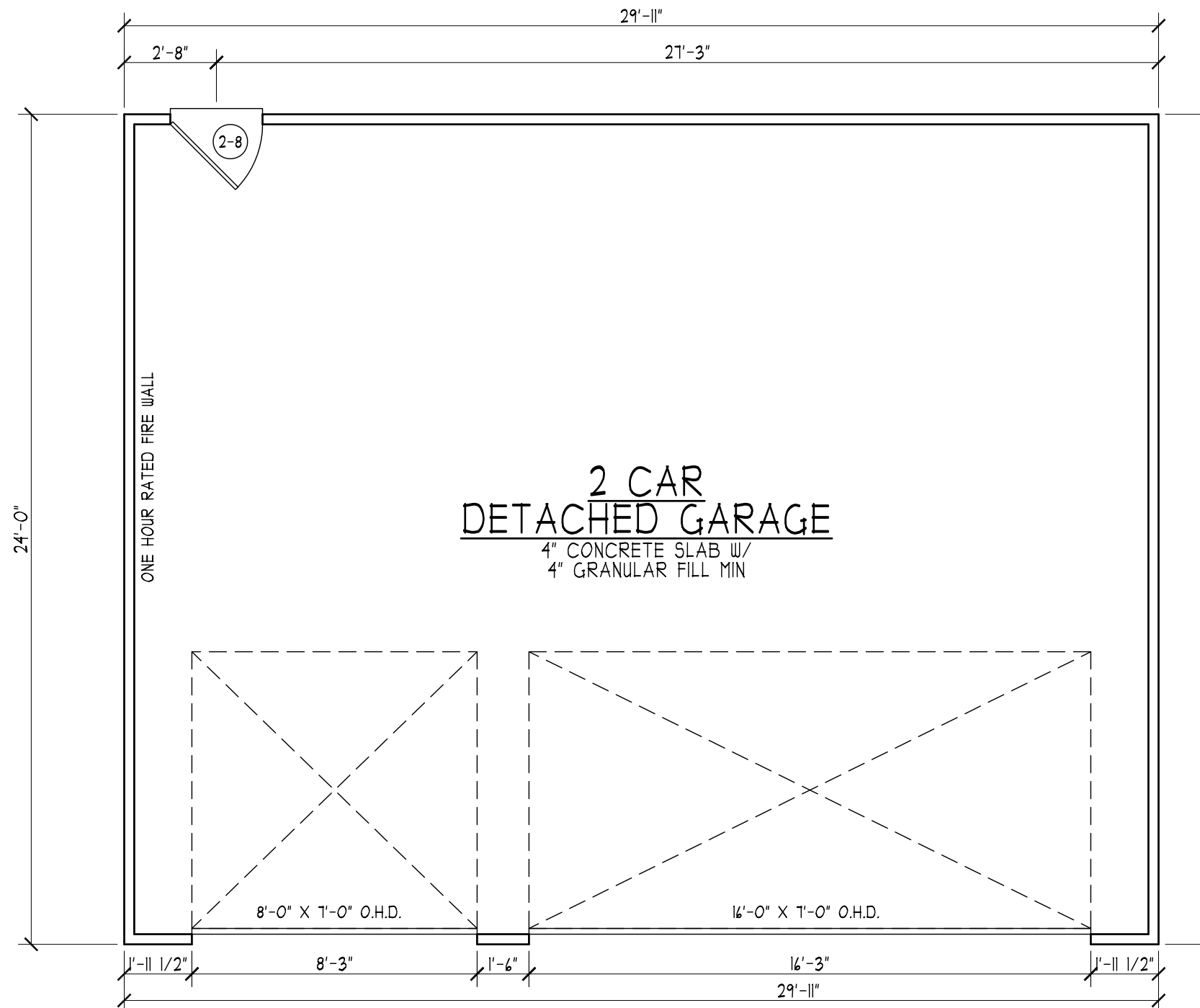
SCALE: 1/8"=1'-0"

### \*\*NOTES\*\*

IT IS THE BUILDER/ OWNERS RESPONSIBILITY TO VERIFY THE PROPER AIR SPACE BETWEEN ALL BRICK AND WOOD WALLS WITH HOUSE WRAP, TO PREVENT WATER INFILTRATION. BUILDER/ OWNER SHOULD SEEK THE ASSISTANCE OF A QUALIFIED ENGINEER FOR THE PROPER SIZING OF ALL STRUCTURAL HEADERS, RAFTERS, SUPPORT BEAMS, LAMINATED BEAMS, JOISTS, FOOTINGS, ETC. IT IS THE BUILDER/ OWNER RESPONSIBILITY TO VERIFY ALL DIMENSIONS & DESIGN OF THESE DOCUMENTS FOR ACCURACY.

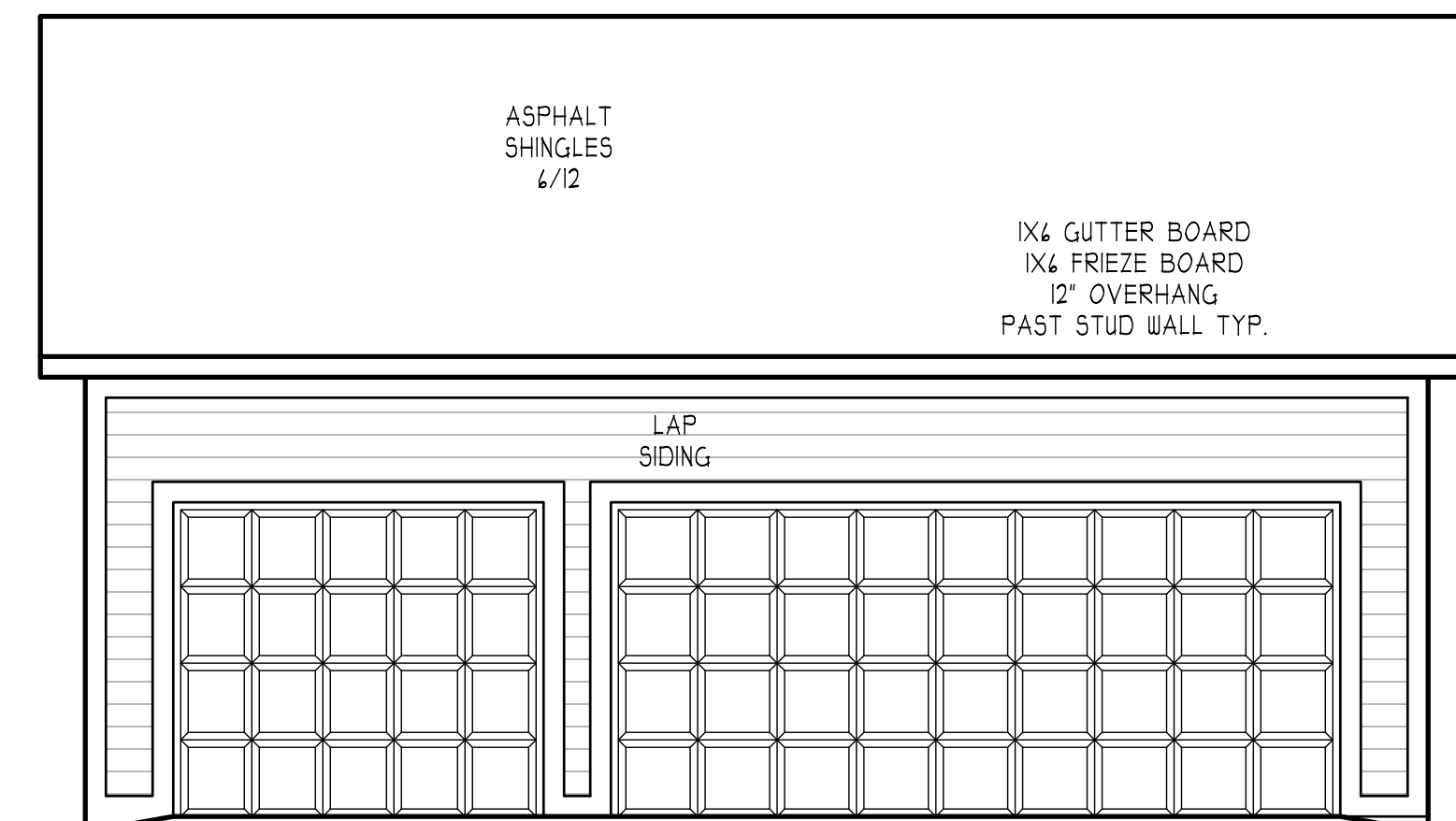
### GENERAL FLOOR PLAN NOTES:

1. ALL INTERIOR WALLS ARE 2X4 OR AS SHOWN. EXTERIOR WALLS ARE 2X4 OR 11/16" X 1" O.H.D. ABOVE. ONE LAYER OF 1/2" SHEATHING. ALIGN EXTERIOR OF SHEATHING WITH FOUNDATION WALL. ALL ANGLED WALLS ARE 45 DEGREES FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
2. CONFIRM ALL HEADER HEIGHTS AND SIZES PRIOR TO START OF FRAMING. ALL OPENINGS ARE TO BE 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
3. VERIFY ALL TYPES AND SIZES OF WINDOW UNITS AND DOORS WITH OWNER/BUILDER. NOTIFY BUILDER OF ANY DISCREPANCIES.
4. VERIFY LOCATION, TYPES AND SIZES OF VENTS AND EXTERIOR TRIM WITH OWNER/BUILDER.
5. INSULATE HIDDEN AREAS OR ASSEMBLIES BEFORE COVERING.
6. BUILDER/LUMBER SUPPLIER SHALL SPECIFY SIZES OF DIMENSIONAL LUMBER FOR FLOOR AND ROOF SYSTEMS. NOTIFY BUILDER/LUMBER SUPPLIER IMMEDIATELY OF ANY DISCREPANCIES.
7. STEEL LINTELS OR WOOD BEARING AREAS, PROPERLY SIZED, ARE TO BE PROVIDED OVER ALL OPENINGS TO SUPPORT MASONRY VENEER.
8. ALL ROOF AND WALL INTERSECTIONS SHALL BE FLASHED WITH ALUMINUM OR BETTER MATERIAL.



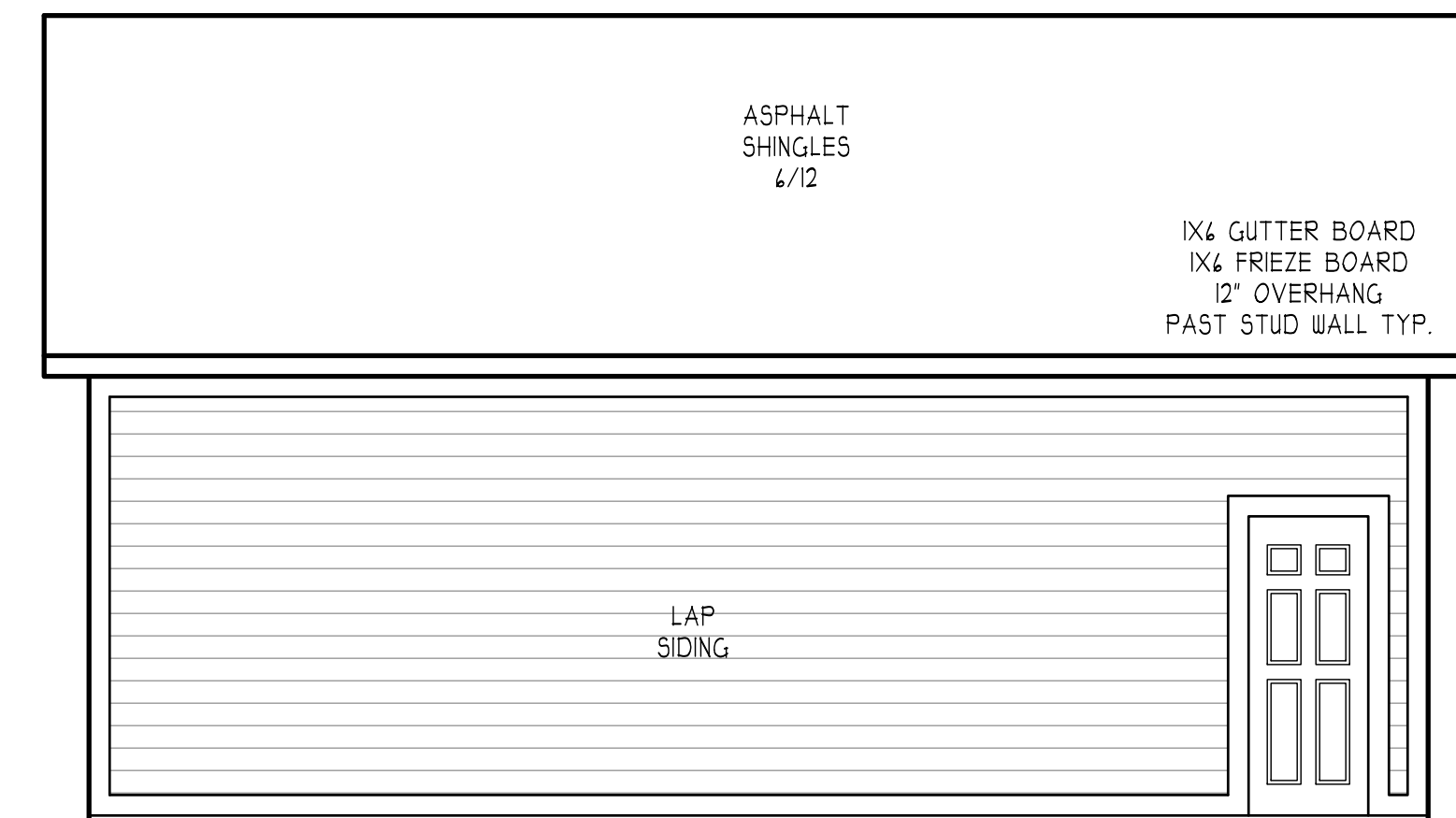
## FLOOR PLAN

SCALE: 1/8"=1'-0"



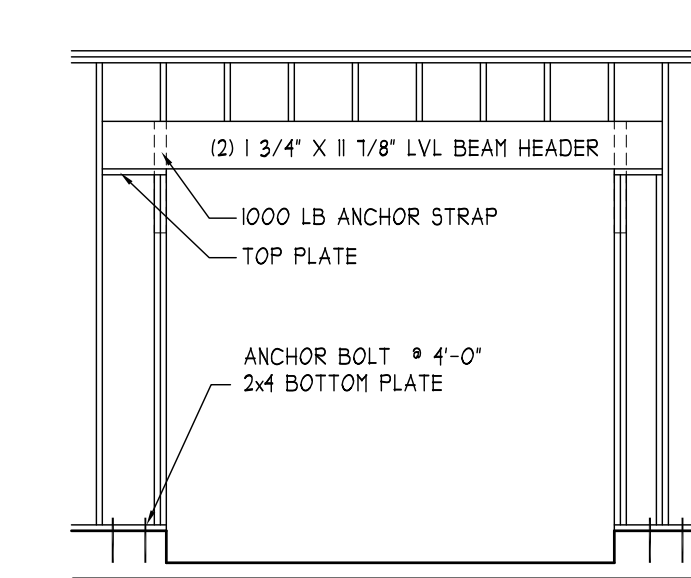
## WEST - FRONT ELEVATION

SCALE: 1/8"=1'-0"



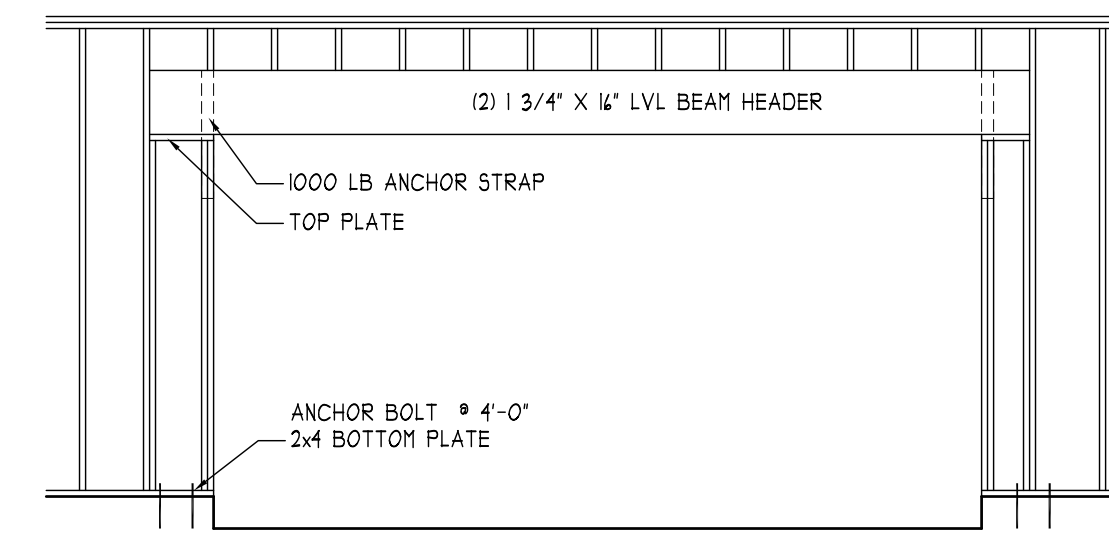
## EAST - REAR ELEVATION

SCALE: 1/8"=1'-0"



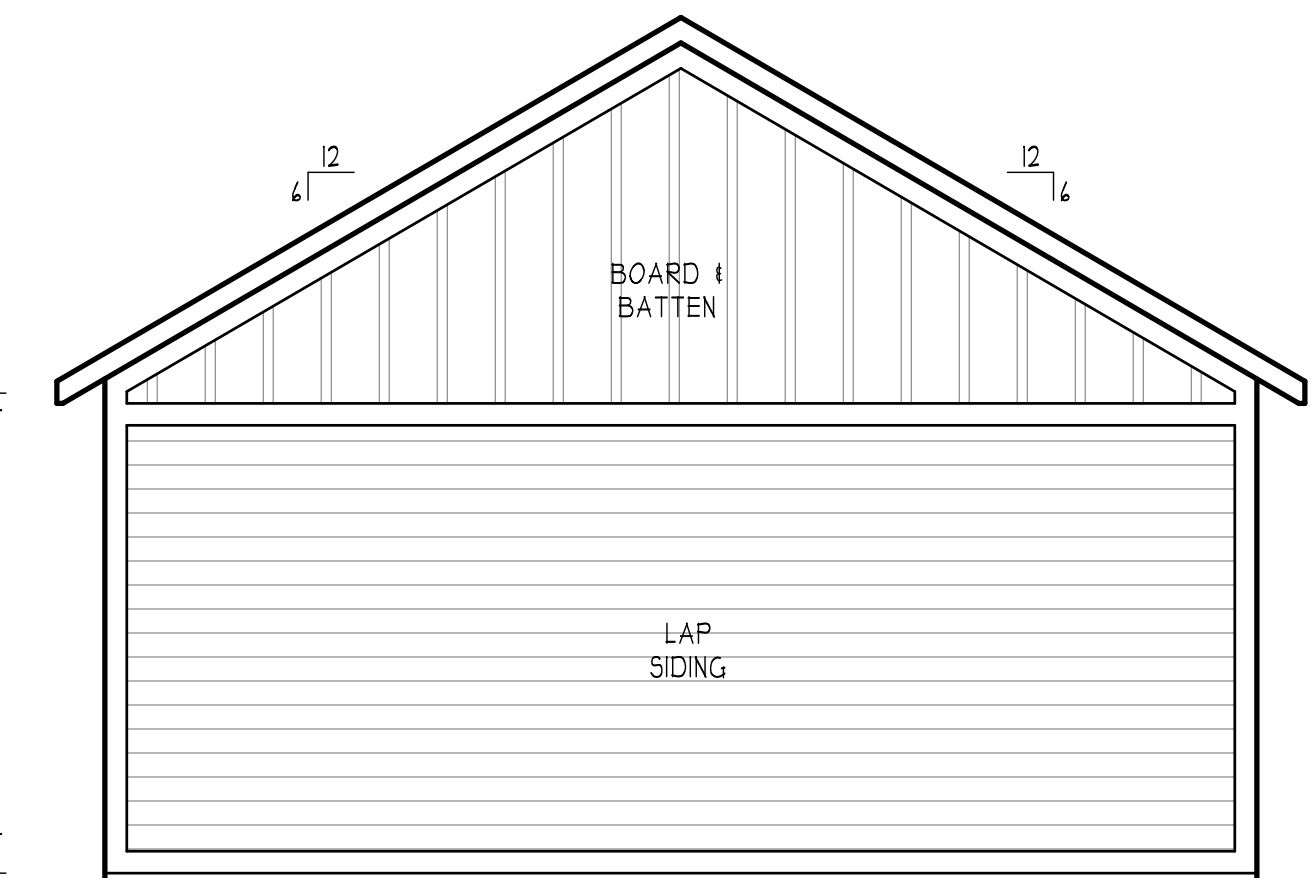
## GARAGE DOOR FRM. DTL.

SCALE: 1/4"=1'-0"



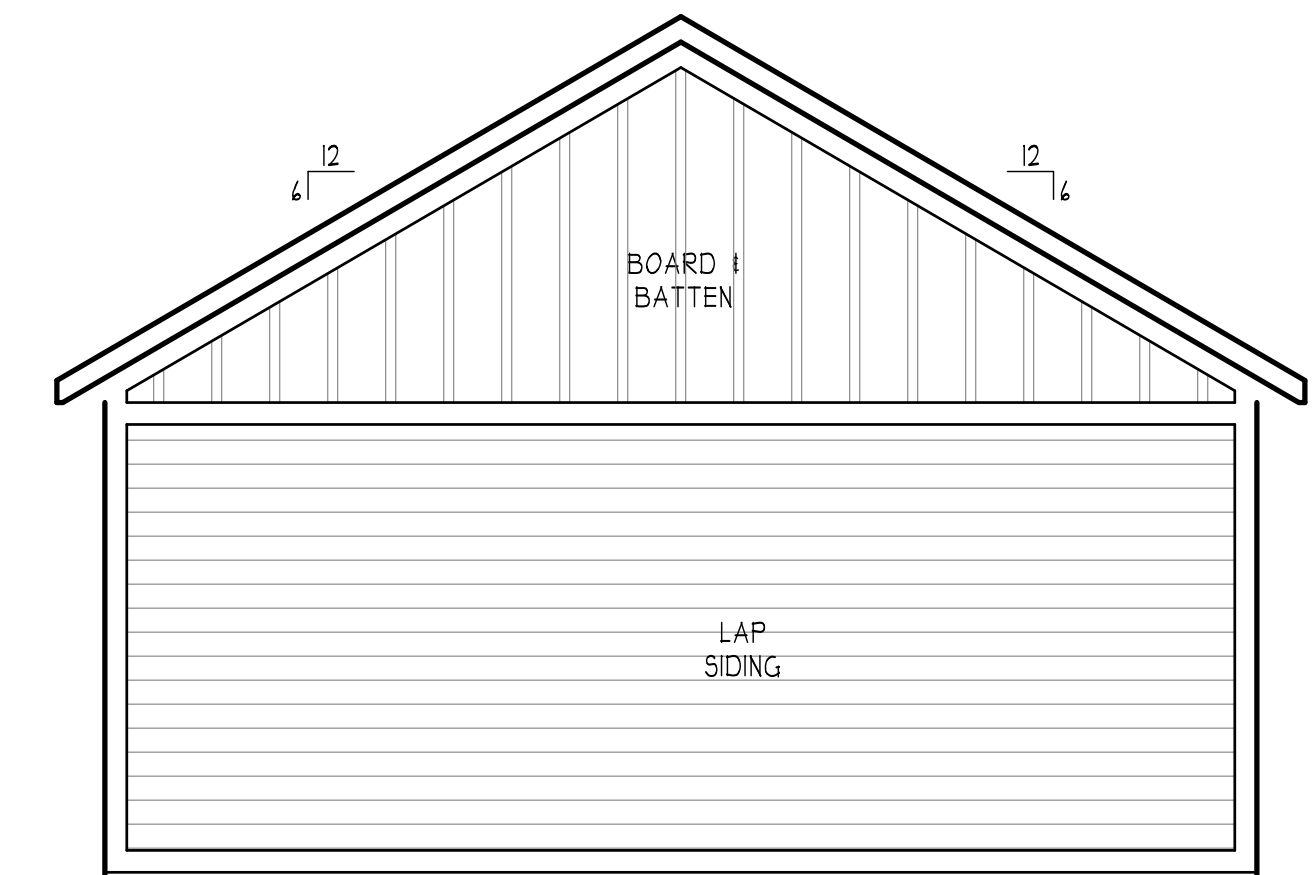
## GARAGE DOOR FRAMING DETAIL

SCALE: 1/8"=1'-0"



## SOUTH - RIGHT ELEVATION

SCALE: 1/8"=1'-0"



## NORTH - LEFT ELEVATION

SCALE: 1/8"=1'-0"

| SCALE    | 1/4"=1'-0" |
|----------|------------|
| DRAWN BY | MUS        |
| CHECKED  | MUS        |

| DATE | REVISIONS |
|------|-----------|
|      |           |
|      |           |
|      |           |
|      |           |

| PROJECT                | SHEET TITLE           |
|------------------------|-----------------------|
| 1826 N DELAWARE STREET | DETACHED GARAGE PLANS |

| CLIENT INFORMATION |
|--------------------|
| GEM HOMES, LLC     |

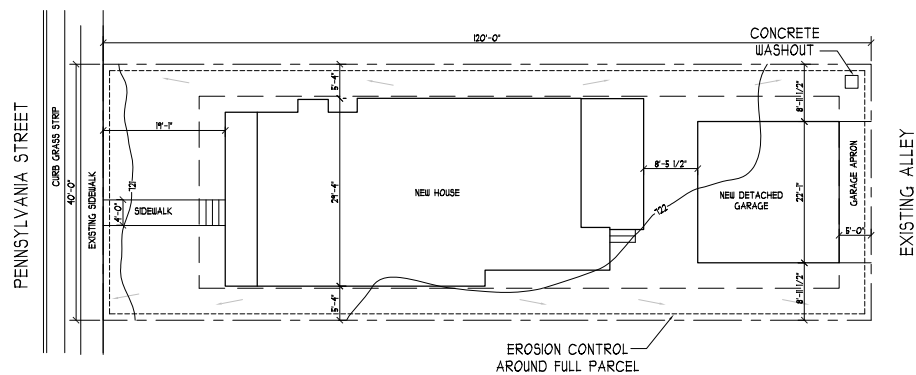
| SHAWCAD DESIGN                 |
|--------------------------------|
| WHERE DRAFTING MEETS DESIGN    |
| NORFOLK, VIRGINIA 23502        |
| EMAIL: SHAWCADDESIGN@GMAIL.COM |

| SHEET NO |
|----------|
| A-5      |
| OF       |
| 5        |
| DATE     |
| 4/25/25  |
| DWN NO   |
| 3        |



# **2025-COA-096 (HMP)**

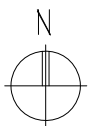
## **1821 NORTH PENNSYLVANIA STREET**



## SITE PLAN

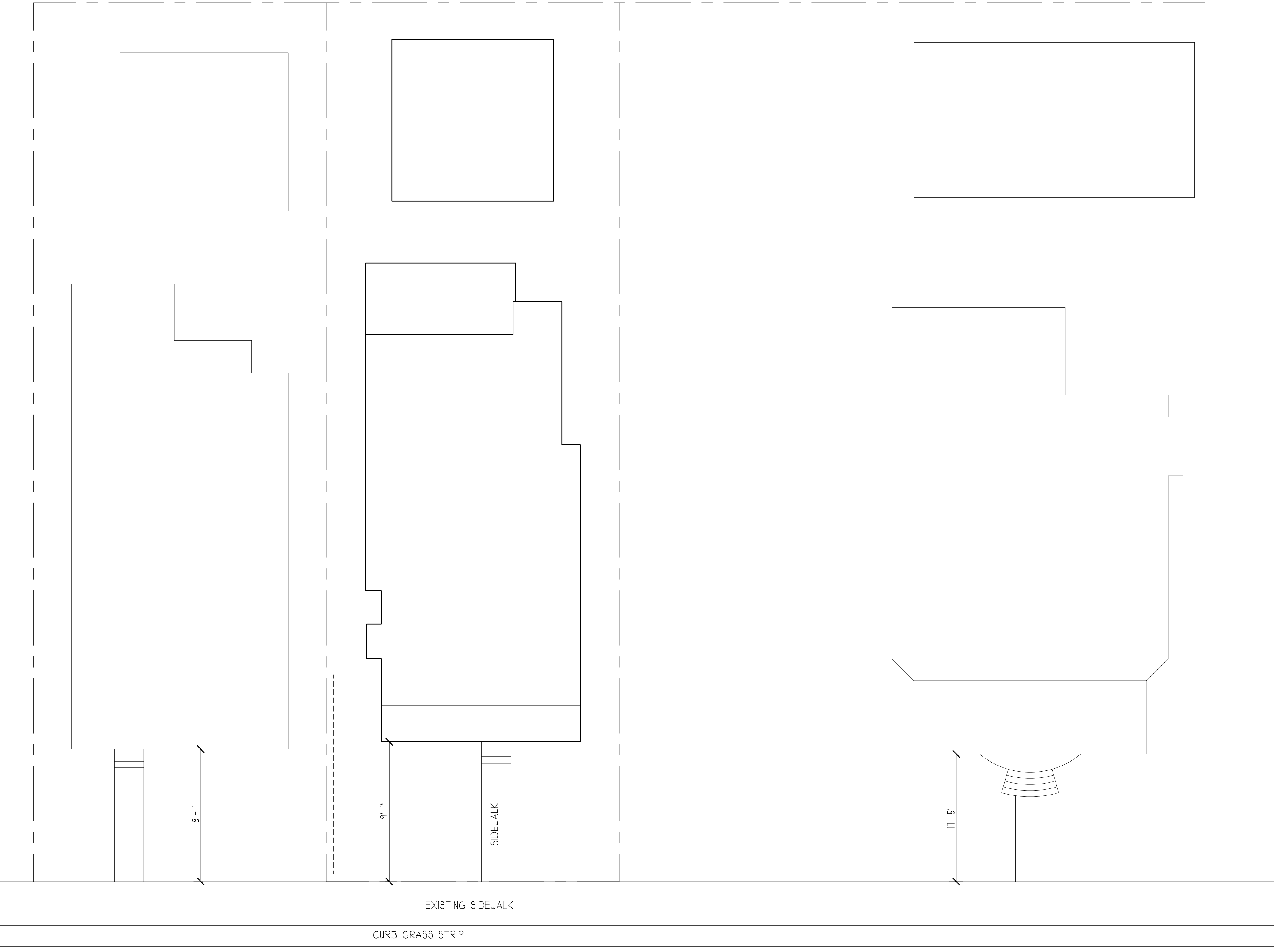
SCALE: 1" = 30'-0"

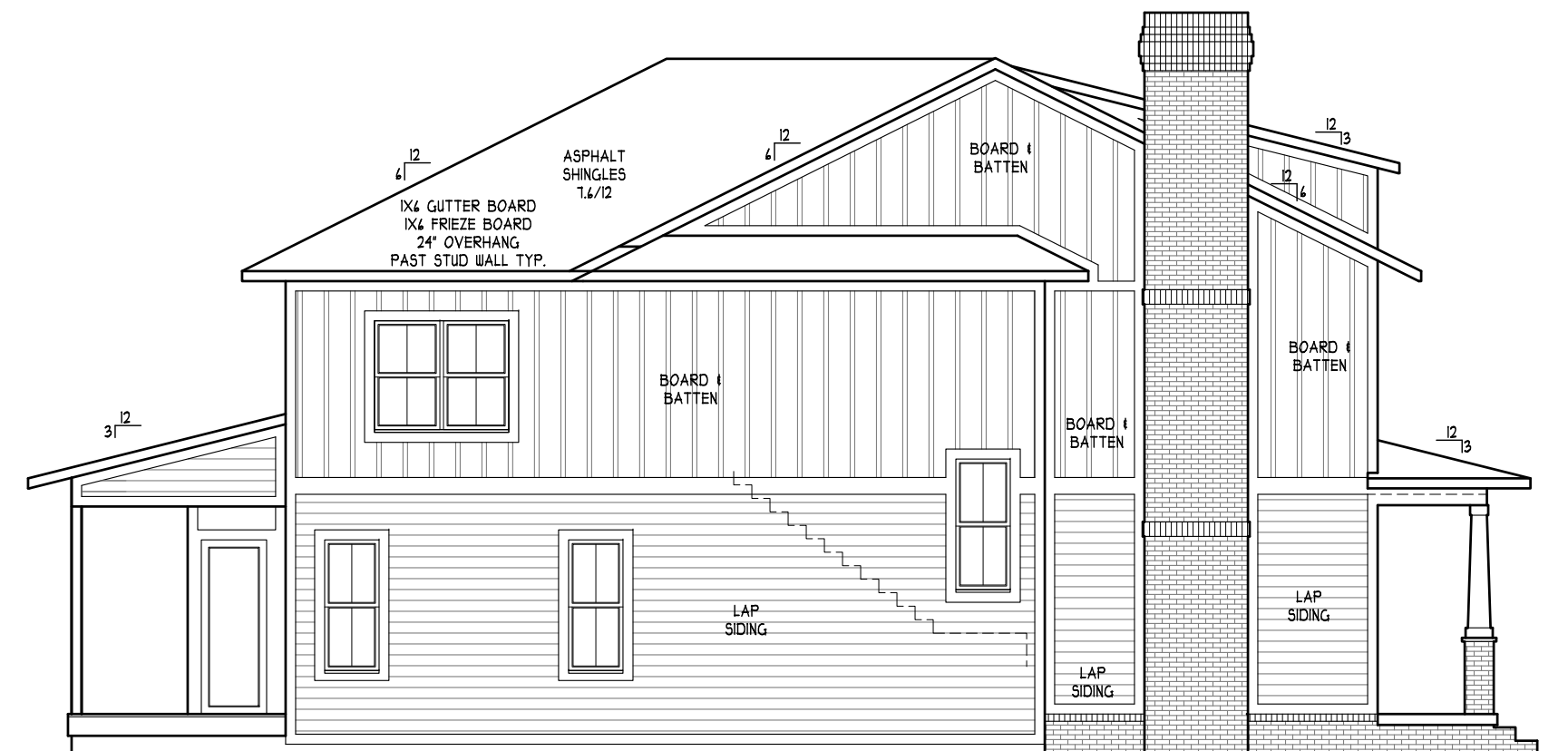
4800 TOTAL SQ. FT.  
488 GARAGE SQ. FT.  
1711 HOUSE SQ. FT.



1. NO EASEMENTS PER MAPINDY
2. FINISH FLOOR HOUSE ELEVATION IS 124'-0".
3. FINISH FLOOR GARAGE ELEVATION IS 122'-6".
4. EROSION CONTROL IS NOT AFFECTED BY PROPOSED STRUCTURES. ARROWS SHOW EXISTING FLOW

|                                                                     |  |                                                        |                   |
|---------------------------------------------------------------------|--|--------------------------------------------------------|-------------------|
| PROJECT<br>1021 N PENNSYLVANIA ST                                   |  | SHAW <b>GAD</b> DESIGN<br>DESIGN AND DRAFTING SERVICES |                   |
| 1109 S. 10TH STREET<br>NOBLESVILLE, INDIANA 46060<br>(317) 440-5614 |  | SCALE<br>1" = 30'-0"                                   | DRAWN BY<br>MWS   |
| CLIENT                                                              |  | DATE<br>3/28/25                                        | CHECKED BY<br>MWS |





NORTH - LEFT ELEVATION

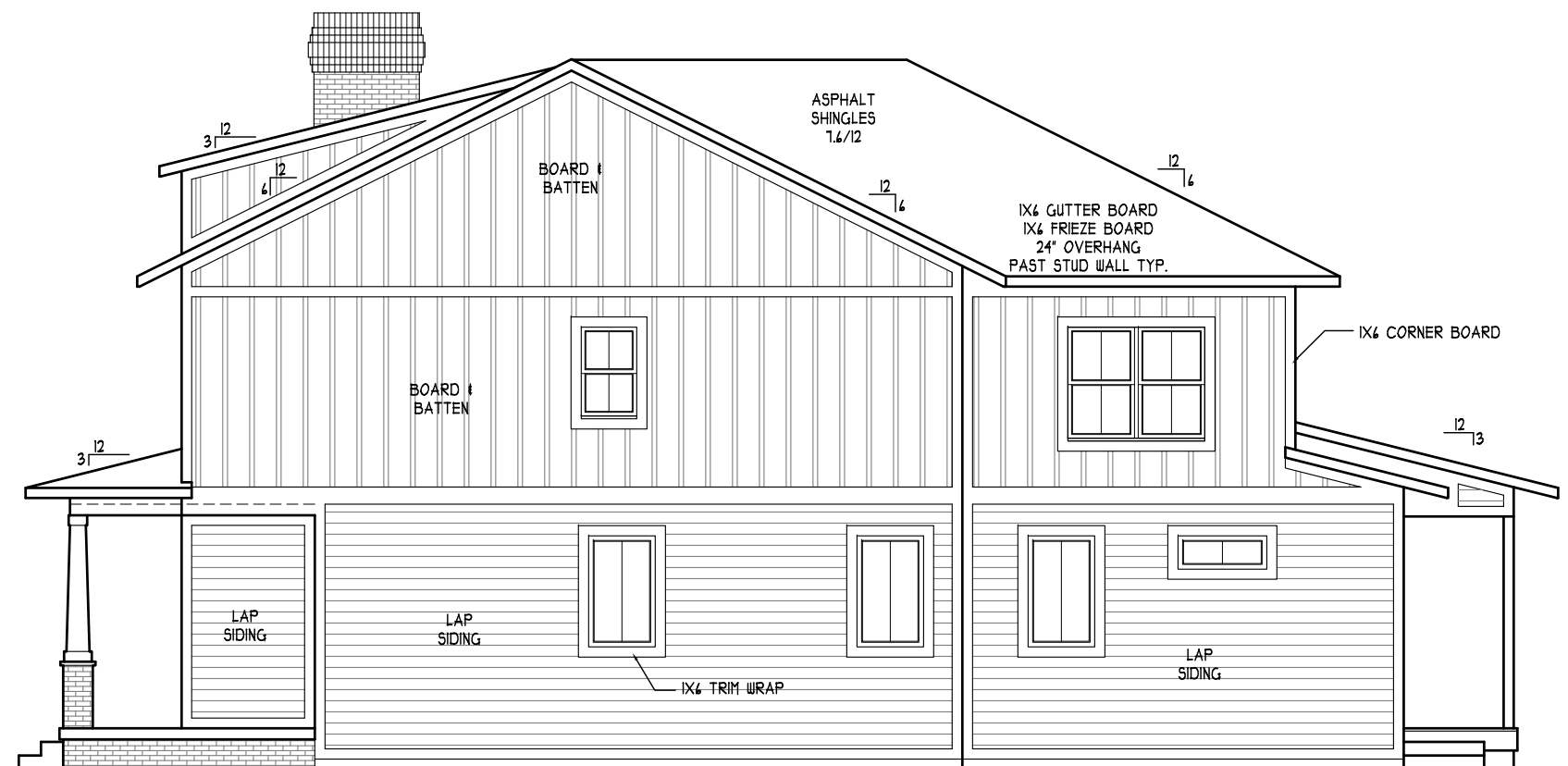
SCALE: 1/8"=1'-0"

9'-1 1/8" 2ND FLOOR PLATE HEIGHT  
4'-0" WINDOW HEADER HEIGHT

SECOND FLOOR HEIGHT  
11 1/8" TJI JOISTS  
10'-1 1/8" 1ST FLOOR PLATE HEIGHT  
8'-0" WINDOW HEADER HEIGHT

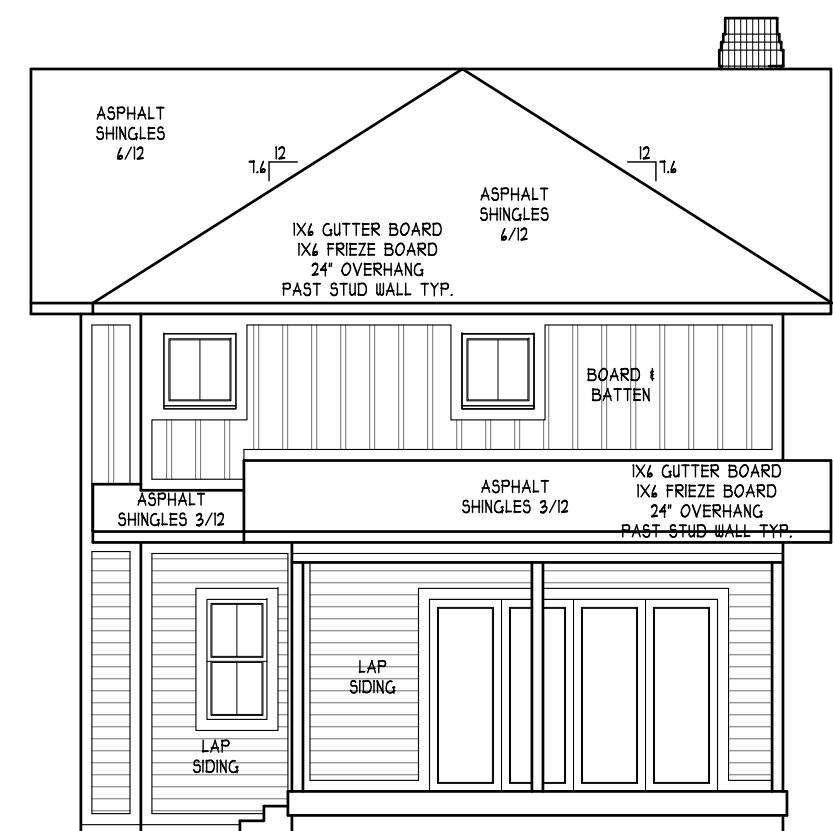
0'-0" FIRST FLOOR HEIGHT  
11 1/8" TJI JOISTS  
TOP OF FOUNDATION WALL  
1'-4" WINDOW HEADER HEIGHT

- 9'-10 1/8" BASEMENT SLAB



SOUTH - RIGHT ELEVATION

SCALE: 1/8"=1'-0"



EAST - REAR ELEVATION

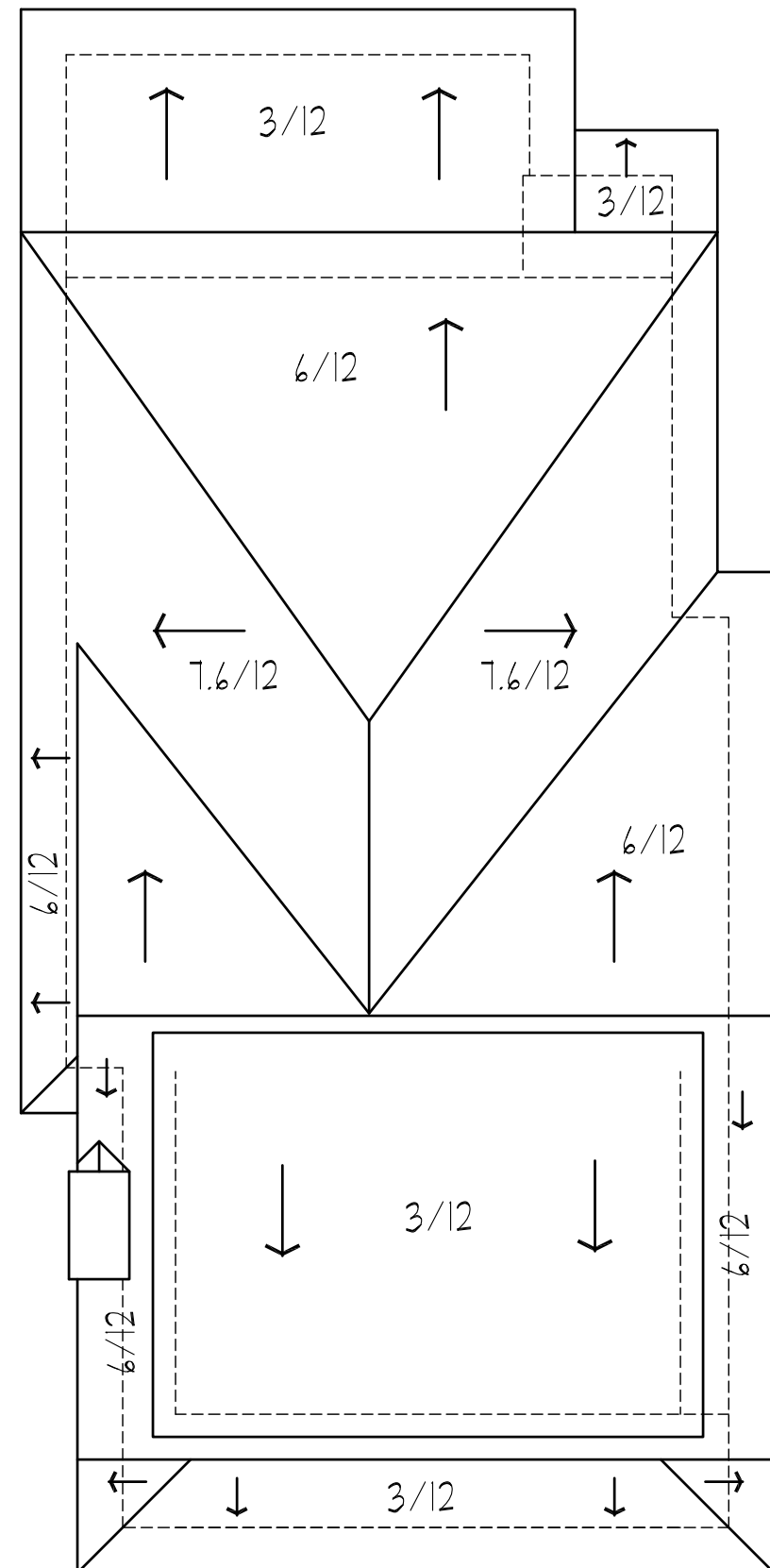
SCALE: 1/8"=1'-0"

9'-1 1/8" 2ND FLOOR PLATE HEIGHT  
4'-0" WINDOW HEADER HEIGHT

SECOND FLOOR HEIGHT  
11 1/8" TJI JOISTS  
10'-1 1/8" 1ST FLOOR PLATE HEIGHT  
8'-0" WINDOW HEADER HEIGHT

0'-0" FIRST FLOOR HEIGHT  
11 1/8" TJI JOISTS  
TOP OF FOUNDATION WALL  
1'-4" WINDOW HEADER HEIGHT

- 9'-10 1/8" BASEMENT SLAB



ROOF PLAN

SCALE: 1/8"=1'-0"

GENERAL ELEVATION NOTES:

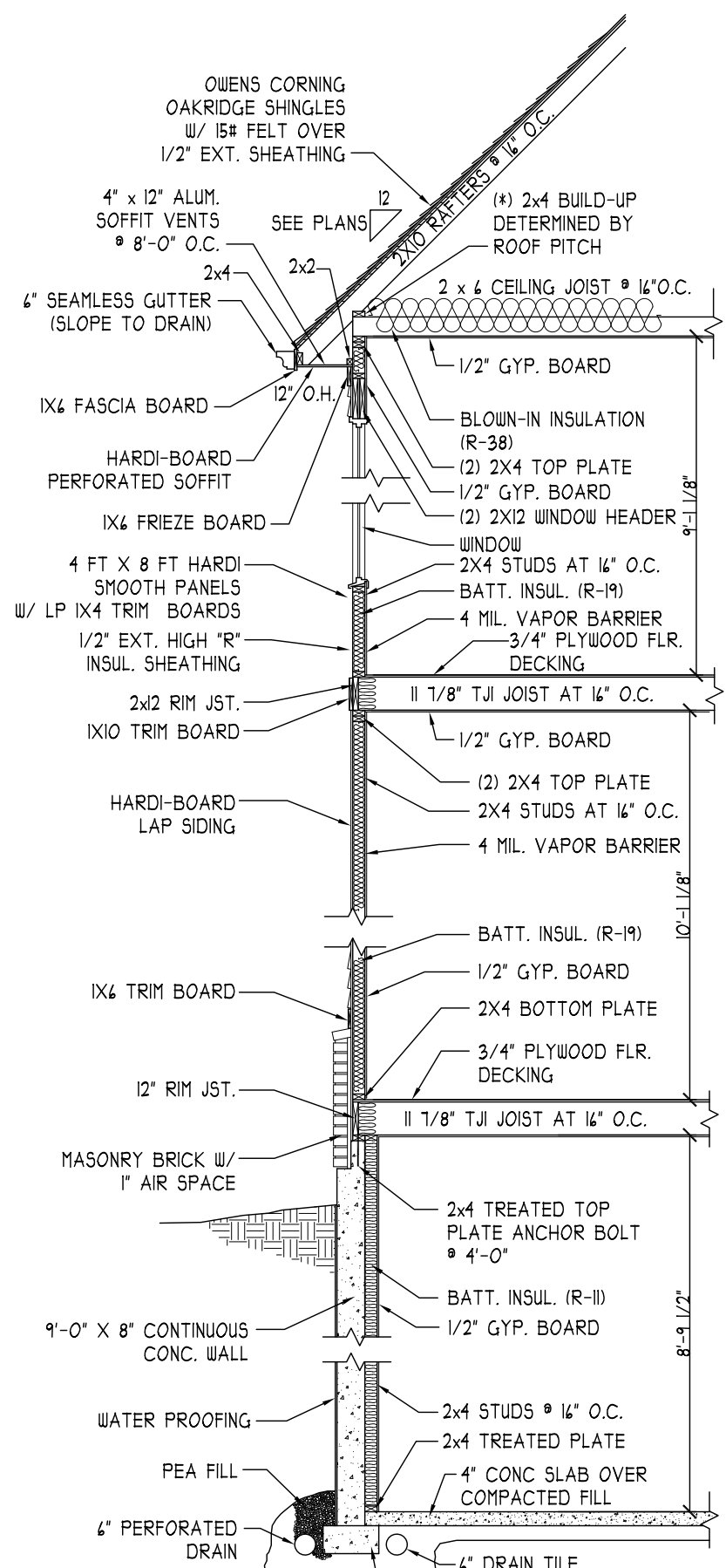
1. VERIFY ALL TYPES AND SIZES OF WINDOW UNITS AND DOORS WITH BUILDER. NOTIFY BUILDER OF ANY DISCREPANCIES.
2. VERIFY LOCATIONS, TYPES AND SIZES OF VENTS AND EXTERIOR TRIM WITH BUILDER.
3. ALL ROOF, CHIMNEY AND WALL INTERSECTIONS SHALL BE FLASHED WITH ALUMINUM OR BETTER MATERIAL.

SQUARE FOOTAGE TABLE

| FOUNDATION                  |         |
|-----------------------------|---------|
| TOTAL SQUARE FOOTAGE        | 1256 SF |
| FINISHED SQUARE FOOTAGE     | 947 SF  |
| MECH/STORAGE SQUARE FOOTAGE | 309 SF  |
| CRAWL SPACE                 | 0 SF    |
| FIRST FLOOR                 |         |
| FINISHED SQUARE FOOTAGE     | 1344 SF |
| GARAGE SQUARE FOOTAGE       | 0 SF    |
| SCREEN PORCH SQUARE FOOTAGE | 0 SF    |
| FRONT PORCH SQUARE FOOTAGE  | 191 SF  |
| SECOND FLOOR                |         |
| FINISHED SQUARE FOOTAGE     | 1322 SF |
| UNFINISHED SQUARE FOOTAGE   | 0 SF    |
| TOTAL FINISH SQ. FT.        | 3613 SF |
| TOTAL SQUARE FOOTAGE        | 3922 SF |

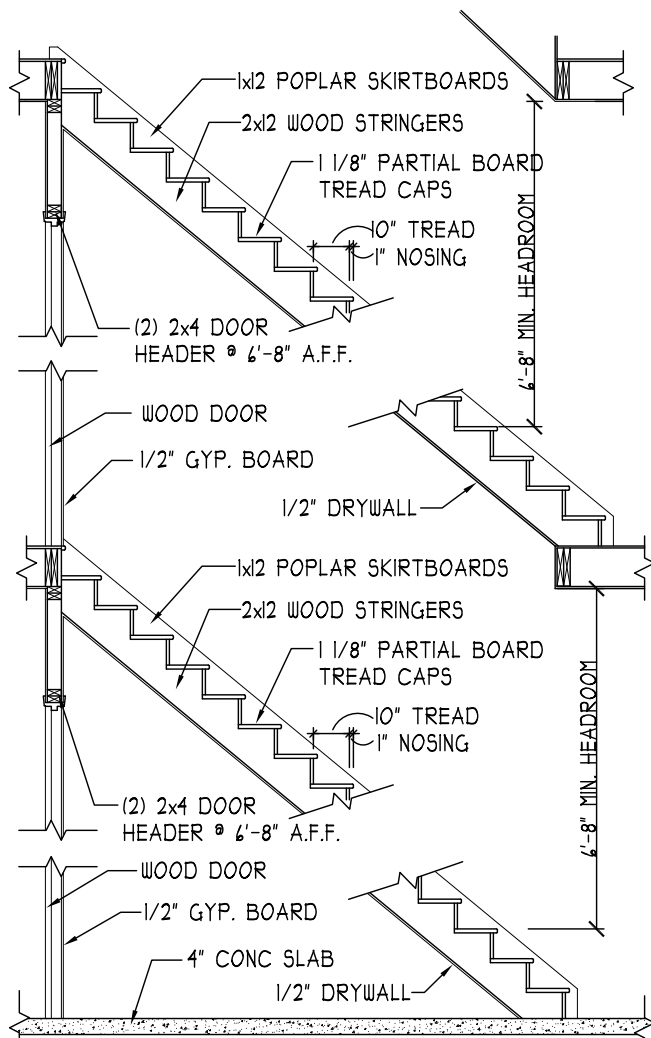
\*\*\*NOTE\*\*\*

IT IS THE BUILDER/ OWNERS RESPONSIBILITY TO VERIFY THE PROPER AIR SPACE BETWEEN ALL BRICK AND WOOD WALLS WITH HOUSE WRAP. TO PREVENT WATER INFILTRATION. BUILDER/ OWNER SHOULD SEEK THE ASSISTANCE OF A QUALIFIED ENGINEER FOR THE PROPER SIZING OF ALL STRUCTURAL HEADERS, RAFTERS, SUPPORT BEAMS, LAMINATED BEAMS, JOISTS, FOOTINGS, ETC. IT IS THE BUILDER/ OWNER RESPONSIBILITY TO VERIFY ALL DIMENSIONS & DESIGN OF THESE DOCUMENTS FOR ACCURACY.



WALL SECTION

SCALE: 1/4"=1'-0"



WEST - FRONT ELEVATION

SCALE: 1/4"=1'-0"

9'-1 1/8" 2ND FLOOR PLATE HEIGHT

4'-0" WINDOW HEADER HEIGHT

SECOND FLOOR HEIGHT  
11 1/8" TJI JOISTS  
10'-1 1/8" 1ST FLOOR PLATE HEIGHT

8'-0" WINDOW HEADER HEIGHT

0'-0" FIRST FLOOR HEIGHT  
11 1/8" TJI JOISTS  
TOP OF FOUNDATION WALL

1'-4" WINDOW HEADER HEIGHT

JELDWIN 2500 ALUMINUM  
DOUBLEHUNG CLAD WINDOWS.  
BLACK COLOR.

4 FT X 8 FT HARDI SMOOTH  
PANELS W/  
LP IX4 TRIM BOARDS

HARDI-BOARD LAP SIDING

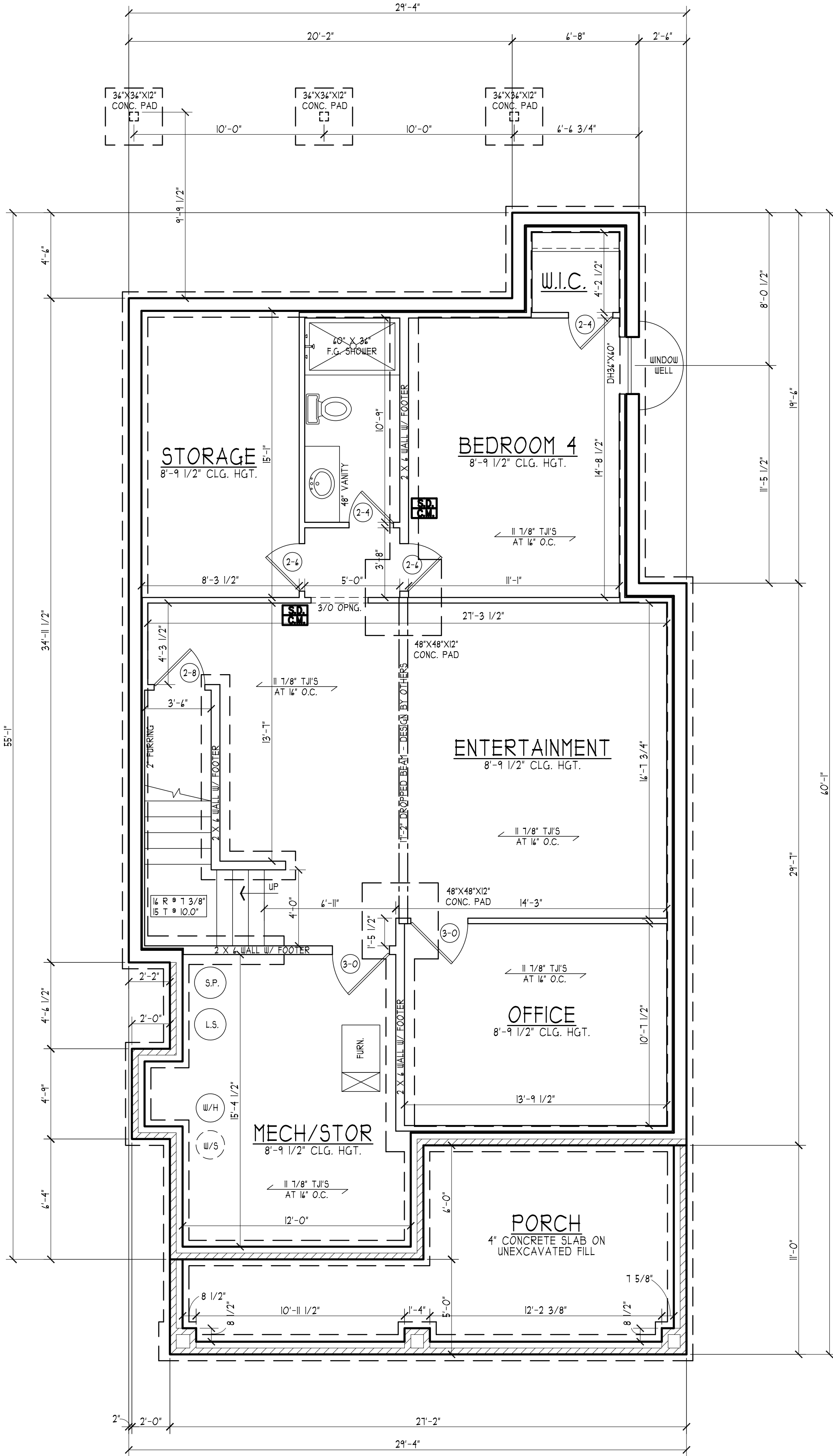
IHPC APPROVED COLORS

OWENS CORNING OAKRIDGE  
SHINGLES

SEAMLESS GUTTERS

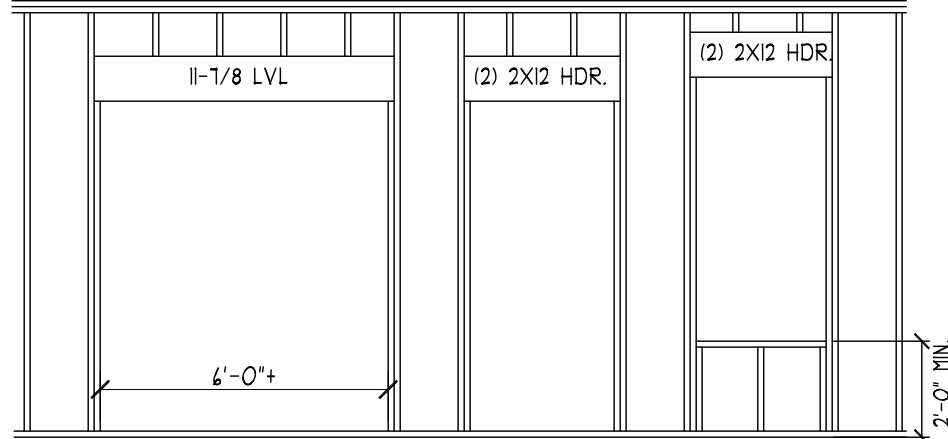
FOUNDATION PLAN

SCALE: 1/4"=1'-0"



GENERAL FOUNDATION PLAN NOTES:

1. ALL FOOTINGS SHALL BE BELOW FROST LINE MINIMUM SIZE SHALL BE AS PER LOCAL CODE.
2. FOUNDATION WALLS SHALL BE 8" THICK OR MINIMUM SIZE AS PER LOCAL CODE.
3. ALL FOUNDATION ANCHORS SHALL BE 4'-0" ON CENTER AND 2 PER CORNER.
4. GRADE ALL SOIL AWAY FROM DWELLING TO PROVIDE POSITIVE DRAINAGE. MAINTAIN 4" SPACE BETWEEN GRADE AND ANY WOOD TRIM.
5. ALL WORK IS TO BE PERFORMED AND PROVIDED, TO MEET OR EXCEED LOCAL BUILDING CODES.
6. VERIFY ALL MASONRY LINTEL SIZES AND TYPES WITH BUILDER PRIOR TO PERFORMING WORK.
7. IN UNFINISHED AREAS ALL DIMENSIONS ARE TO THE FACE OF THE FOUNDATION WALL.
8. IN FINISHED AREAS ALL DIMENSIONS ARE TO THE FACE OF THE FRAMED WALL.
9. FACE OF FRAMED WALLS TO BE 4" OR 4 1/2" OUT FROM FACE OF FOUNDATION WALL.



WINDOW & DOOR FRAMING DTL.

SCALE: 1/4"=1'-0"

JELDWIN 2500 ALUMINUM DOUBLEHUNG CLAD WINDOWS. BLACK COLOR.

4 FT X 8 FT HARDI SMOOTH PANELS W/ LP IX4 TRIM BOARDS

HARDI-BOARD LAP SIDING

IHPC APPROVED COLORS

OWENS CORNING OAKRIDGE SHINGLES

SEAMLESS GUTTERS

SD SMOKE DETECTOR  
CD CARBON MONOXIDE DETECTOR

| SQUARE FOOTAGE TABLE        |         |
|-----------------------------|---------|
| FOUNDATION                  |         |
| TOTAL SQUARE FOOTAGE        | 1256 SF |
| FINISHED SQUARE FOOTAGE     | 947 SF  |
| MECH/STORAGE SQUARE FOOTAGE | 309 SF  |
| CRAWL SPACE                 | 0 SF    |
| FIRST FLOOR                 |         |
| FINISHED SQUARE FOOTAGE     | 1344 SF |
| GARAGE SQUARE FOOTAGE       | 0 SF    |
| SCREEN PORCH SQUARE FOOTAGE | 0 SF    |
| FRONT PORCH SQUARE FOOTAGE  | 191 SF  |
| SECOND FLOOR                |         |
| FINISHED SQUARE FOOTAGE     | 1322 SF |
| UNFINISHED SQUARE FOOTAGE   | 0 SF    |
| TOTAL FINISH SQ. FT.        | 3613 SF |
| TOTAL SQUARE FOOTAGE        | 3922 SF |

IT IS THE BUILDER/ OWNERS RESPONSIBILITY TO VERIFY THE PROPER AIR SPACE BETWEEN ALL BRICK AND WOOD WALLS WITH HOUSE WRAP. TO PREVENT WATER INFILTRATION. BUILDER/ OWNER SHOULD SEEK THE ASSISTANCE OF A QUALIFIED ENGINEER FOR THE PROPER SIZING OF ALL STRUCTURAL HEADERS, RAFTERS, SUPPORT BEAMS, LAMINATED BEAMS, JOISTS, FOOTINGS, ETC. IT IS THE BUILDER/ OWNER RESPONSIBILITY TO VERIFY ALL DIMENSIONS & DESIGN OF THESE DOCUMENTS FOR ACCURACY.

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|----------|------------|
| SCALE    | 1/4"=1'-0" |
| DRAWN BY | MUS        |
| CHECKED  | MUS        |

| DATE | REVISIONS |
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|             |                            |
|-------------|----------------------------|
| PROJECT     | 1821 N PENNSYLVANIA STREET |
| DEFPOINTS   |                            |
| SHEET TITLE | FOUNDATION PLAN            |

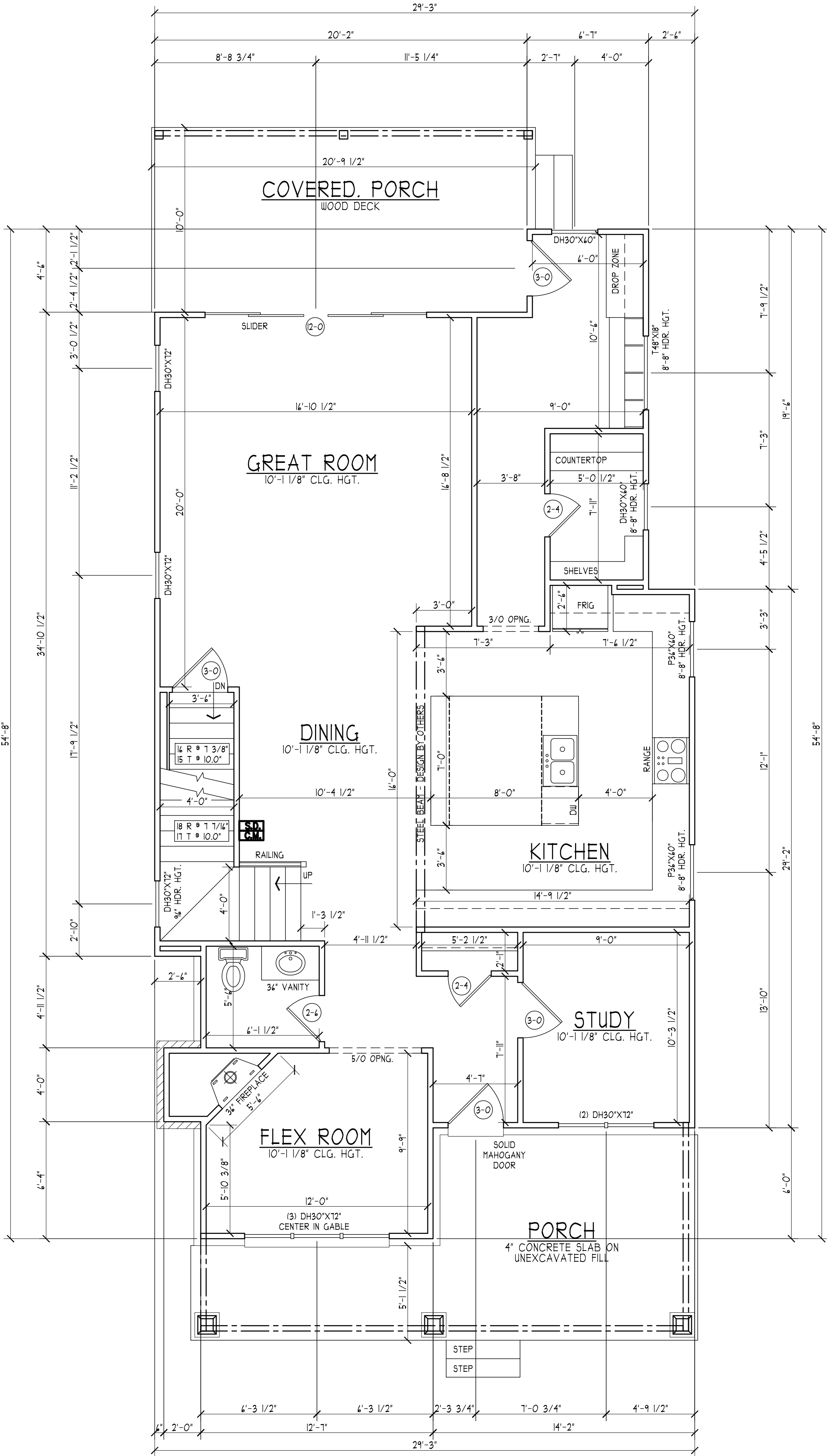
|                    |                |
|--------------------|----------------|
| CLIENT INFORMATION | GEM HOMES, LLC |
|--------------------|----------------|

|                |                                |
|----------------|--------------------------------|
| SHAWCAD DESIGN | WHERE DRAFTING MEETS DESIGN    |
|                | NORLEESVILLE, INDIANA 46060    |
|                | EMAIL: SHAWCADDESIGN@GMAIL.COM |

|          |         |
|----------|---------|
| SHEET NO | A-2     |
| OF       | 5       |
| DATE     | 4/21/25 |
| DWN NO   | 9       |

FIRST FLOOR PLAN

SCALE: 1/4"=1'-0" WALL HEIGHT - 10'-1 1/8"



GENERAL FLOOR PLAN NOTES:

- ALL INTERIOR WALLS ARE 2X4 OR 2X4 AS SHOWN. EXTERIOR WALLS ARE 2X4 OR 2X4 W/ ONE LAYER OF 1/2" SHEATHING. ALIGN EXTERIOR OF SHEATHING WITH FOUNDATION WALL. ALL ANGLED WALLS ARE 45 DEGREES FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
- CONFIRM ALL HEADER HEIGHTS AND SIZES PRIOR TO START OF FRAMING. ALL OPENINGS ARE TO BE 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- VERIFY ALL TYPES AND SIZES OF WINDOW UNITS AND DOORS WITH OWNER/BUILDER. NOTIFY BUILDER OF ANY DISCREPANCIES.
- VERIFY LOCATION, TYPES AND SIZES OF VENTS AND EXTERIOR TRIM WITH OWNER/BUILDER.
- INSULATE HIDDEN AREAS OR ASSEMBLIES BEFORE COVERING.
- BUILDER/LUMBER SUPPLIER SHALL SPECIFY SIZES OF DIMENSIONAL LUMBER FOR FLOOR AND ROOF SYSTEMS. NOTIFY BUILDER/LUMBER SUPPLIER IMMEDIATELY OF ANY DISCREPANCIES.
- STEEL LINTELS OR WOOD BEARING AREAS, PROPERLY SIZED, ARE TO BE PROVIDED OVER ALL OPENINGS TO SUPPORT MASONRY VENEER.
- ALL ROOF AND WALL INTERSECTIONS SHALL BE FLASHED WITH ALUMINUM OR BETTER MATERIAL.
- ALL BEDROOM EGRESS WINDOWS TO MEET MIN. CLEAR OPENING OF 5.7 FT2 UNLESS NOTED OTHERWISE. ONE WINDOW MINIMUM NEEDED PER BEDROOM.

JELDWIN 2500 ALUMINUM  
DOUBLEHUNG CLAD WINDOWS.  
BLACK COLOR.

4 FT X 8 FT HARDI SMOOTH  
PANELS W/  
LP IX4 TRIM BOARDS

HARDI-BOARD LAP SIDING

IHPC APPROVED COLORS

OWENS CORNING OAKRIDGE  
SHINGLES

SEAMLESS GUTTERS

**ESD** SMOKE DETECTOR  
**CM** CARBON MONOXIDE DETECTOR

\*\*8'-0" TALL DOORS  
ON FIRST FLOOR\*\*

| SQUARE FOOTAGE TABLE        |         |
|-----------------------------|---------|
| FOUNDATION                  |         |
| TOTAL SQUARE FOOTAGE        | 1256 SF |
| FINISHED SQUARE FOOTAGE     | 947 SF  |
| MECH/STORAGE SQUARE FOOTAGE | 309 SF  |
| CRAWL SPACE                 | 0 SF    |
| FIRST FLOOR                 |         |
| FINISHED SQUARE FOOTAGE     | 1344 SF |
| GARAGE SQUARE FOOTAGE       | 0 SF    |
| SCREEN PORCH SQUARE FOOTAGE | 0 SF    |
| FRONT PORCH SQUARE FOOTAGE  | 191 SF  |
| SECOND FLOOR                |         |
| FINISHED SQUARE FOOTAGE     | 1322 SF |
| UNFINISHED SQUARE FOOTAGE   | 0 SF    |
| TOTAL FINISH SQ. FT.        | 3613 SF |
| TOTAL SQUARE FOOTAGE        | 3922 SF |

**NOTE**  
IT IS THE BUILDER/ OWNERS RESPONSIBILITY TO VERIFY THE PROPER AIR SPACE BETWEEN ALL BRICK AND WOOD WALLS WITH HOUSE WRAP. TO PREVENT WATER INFILTRATION. BUILDER/ OWNER SHOULD SEEK THE ASSISTANCE OF A QUALIFIED ENGINEER FOR THE PROPER SIZING OF ALL STRUCTURAL HEADERS, RAFTERS, SUPPORT BEAMS, LAMINATED BEAMS, JOISTS, FOOTINGS, ETC. IT IS THE BUILDER/ OWNER RESPONSIBILITY TO VERIFY ALL DIMENSIONS & DESIGN OF THESE DOCUMENTS FOR ACCURACY.

|          |            |
|----------|------------|
| SCALE    | 1/4"=1'-0" |
| DRAWN BY | MUS        |
| CHECKED  | MUS        |

| DATE | REVISIONS |
|------|-----------|
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|-------------|----------------------------|
| PROJECT     | 1821 N PENNSYLVANIA STREET |
| DEFPONTS    |                            |
| SHEET TITLE | FIRST FLOOR PLAN           |

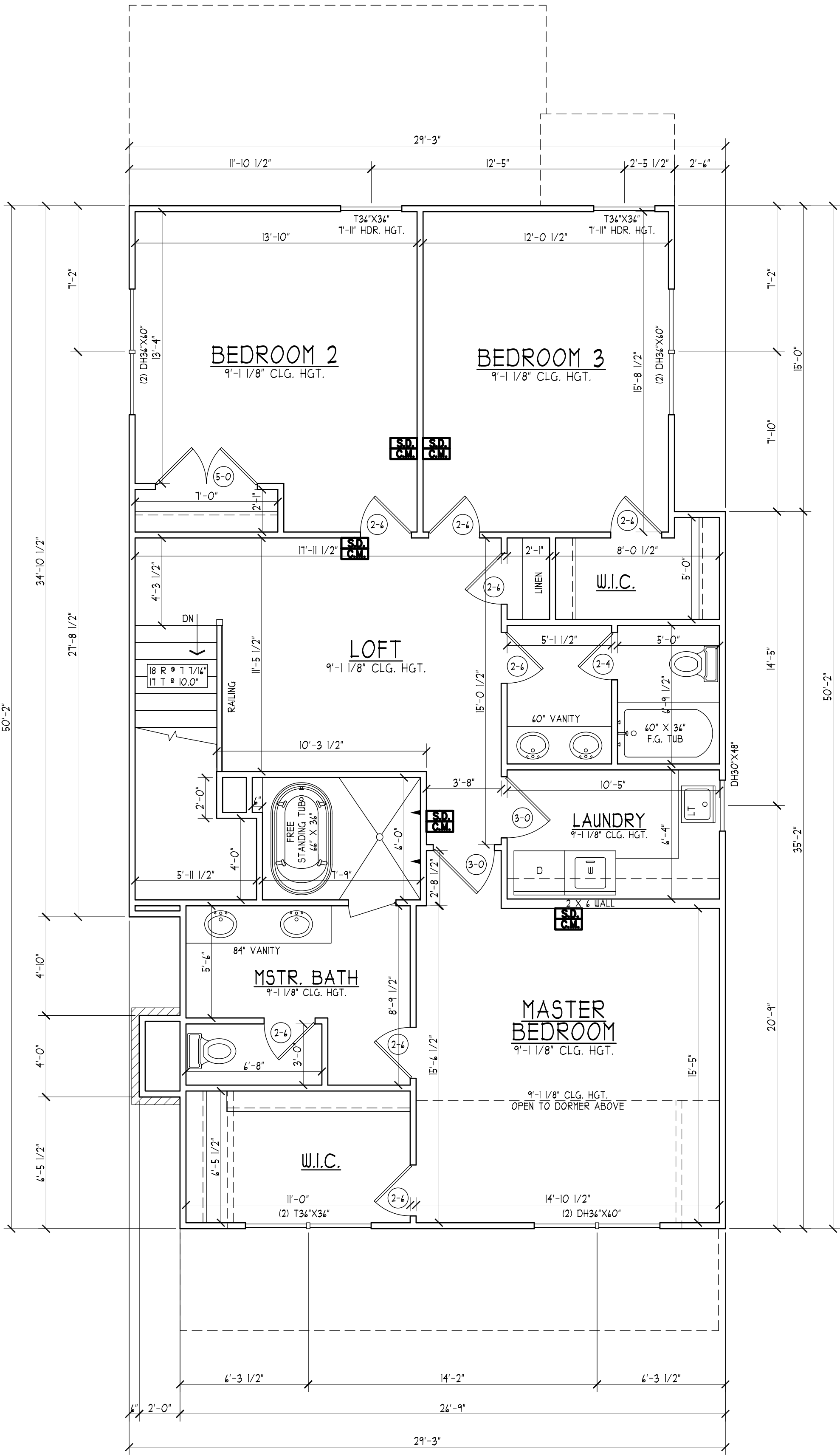
|                    |                |
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| CLIENT INFORMATION | GEM HOMES, LLC |
|--------------------|----------------|

|                                |                             |
|--------------------------------|-----------------------------|
| SHAWCAD DESIGN                 | WHERE DRAFTING MEETS DESIGN |
| NORLEESVILLE, INDIANA 46060    |                             |
| EMAIL: SHAWCADDESIGN@GMAIL.COM |                             |

|          |         |
|----------|---------|
| SHEET NO | A-3     |
| OF       | 5       |
| DATE     | 4/21/25 |
| DWN NO   | 9       |

SECOND FLOOR PLAN

SCALE: 1/4"=1'-0" WALL HEIGHT - 9'-1 1/8"



GENERAL FLOOR PLAN NOTES:

- ALL INTERIOR WALLS ARE 2X4 OR 2X4 AS SHOWN. EXTERIOR WALLS ARE 2X4 OR 2X4 W/ ONE LAYER OF 1/2" SHEATHING. ALIGN EXTERIOR OF SHEATHING WITH FOUNDATION WALL. ALL ANGLED WALLS ARE 45 DEGREES FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
- CONFIRM ALL HEADER HEIGHTS AND SIZES PRIOR TO START OF FRAMING. ALL OPENINGS ARE TO BE 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- VERIFY ALL TYPES AND SIZES OF WINDOW UNITS AND DOORS WITH OWNER/BUILDER. NOTIFY BUILDER OF ANY DISCREPANCIES.
- VERIFY LOCATION, TYPES AND SIZES OF VENTS AND EXTERIOR TRIM WITH OWNER/BUILDER.
- INSULATE HIDDEN AREAS OR ASSEMBLIES BEFORE COVERING.
- BUILDER/LUMBER SUPPLIER SHALL SPECIFY SIZES OF DIMENSIONAL LUMBER FOR FLOOR AND ROOF SYSTEMS. NOTIFY BUILDER/LUMBER SUPPLIER IMMEDIATELY OF ANY DISCREPANCIES.
- STEEL LINTELS OR WOOD BEARING AREAS, PROPERLY SIZED, ARE TO BE PROVIDED OVER ALL OPENINGS TO SUPPORT MASONRY VENEER.
- ALL ROOF AND WALL INTERSECTIONS SHALL BE FLASHED WITH ALUMINUM OR BETTER MATERIAL.
- ALL BEDROOM EGRESS WINDOWS TO MEET MIN. CLEAR OPENING OF 5.7 FT2 UNLESS NOTED OTHERWISE. ONE WINDOW MINIMUM NEEDED PER BEDROOM.

JELDWIN 2500 ALUMINUM  
DOUBLEHUNG CLAD WINDOWS.  
BLACK COLOR.

4 FT X 8 FT HARDI SMOOTH  
PANELS W/  
LP IX4 TRIM BOARDS

HARDI-BOARD LAP SIDING

IHPC APPROVED COLORS

OWENS CORNING OAKRIDGE  
SHINGLES

SEAMLESS GUTTERS

**ESD** SMOKE DETECTOR  
**CM** CARBON MONOXIDE DETECTOR

| SQUARE FOOTAGE TABLE        |         |
|-----------------------------|---------|
| FOUNDATION                  |         |
| TOTAL SQUARE FOOTAGE        | 1256 SF |
| FINISHED SQUARE FOOTAGE     | 947 SF  |
| MECH/STORAGE SQUARE FOOTAGE | 309 SF  |
| CRAWL SPACE                 | 0 SF    |
| FIRST FLOOR                 |         |
| FINISHED SQUARE FOOTAGE     | 1344 SF |
| GARAGE SQUARE FOOTAGE       | 0 SF    |
| SCREEN PORCH SQUARE FOOTAGE | 0 SF    |
| FRONT PORCH SQUARE FOOTAGE  | 191 SF  |
| SECOND FLOOR                |         |
| FINISHED SQUARE FOOTAGE     | 1322 SF |
| UNFINISHED SQUARE FOOTAGE   | 0 SF    |
| TOTAL FINISH SQ. FT.        | 3613 SF |
| TOTAL SQUARE FOOTAGE        | 3922 SF |

IT IS THE BUILDER/ OWNERS RESPONSIBILITY TO VERIFY THE PROPER AIR SPACE BETWEEN ALL BRICK AND WOOD WALLS WITH HOUSE WRAP. TO PREVENT WATER INFILTRATION. BUILDER/ OWNER SHOULD SEEK THE ASSISTANCE OF A QUALIFIED ENGINEER FOR THE PROPER SIZING OF ALL STRUCTURAL HEADERS, RAFTERS, SUPPORT BEAMS, LAMINATED BEAMS, JOISTS, FOOTINGS, ETC. IT IS THE BUILDER/ OWNER RESPONSIBILITY TO VERIFY ALL DIMENSIONS & DESIGN OF THESE DOCUMENTS FOR ACCURACY.

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| SCALE    | 1/4"=1'-0" |
| DRAWN BY | MUS        |
| CHECKED  | MUS        |

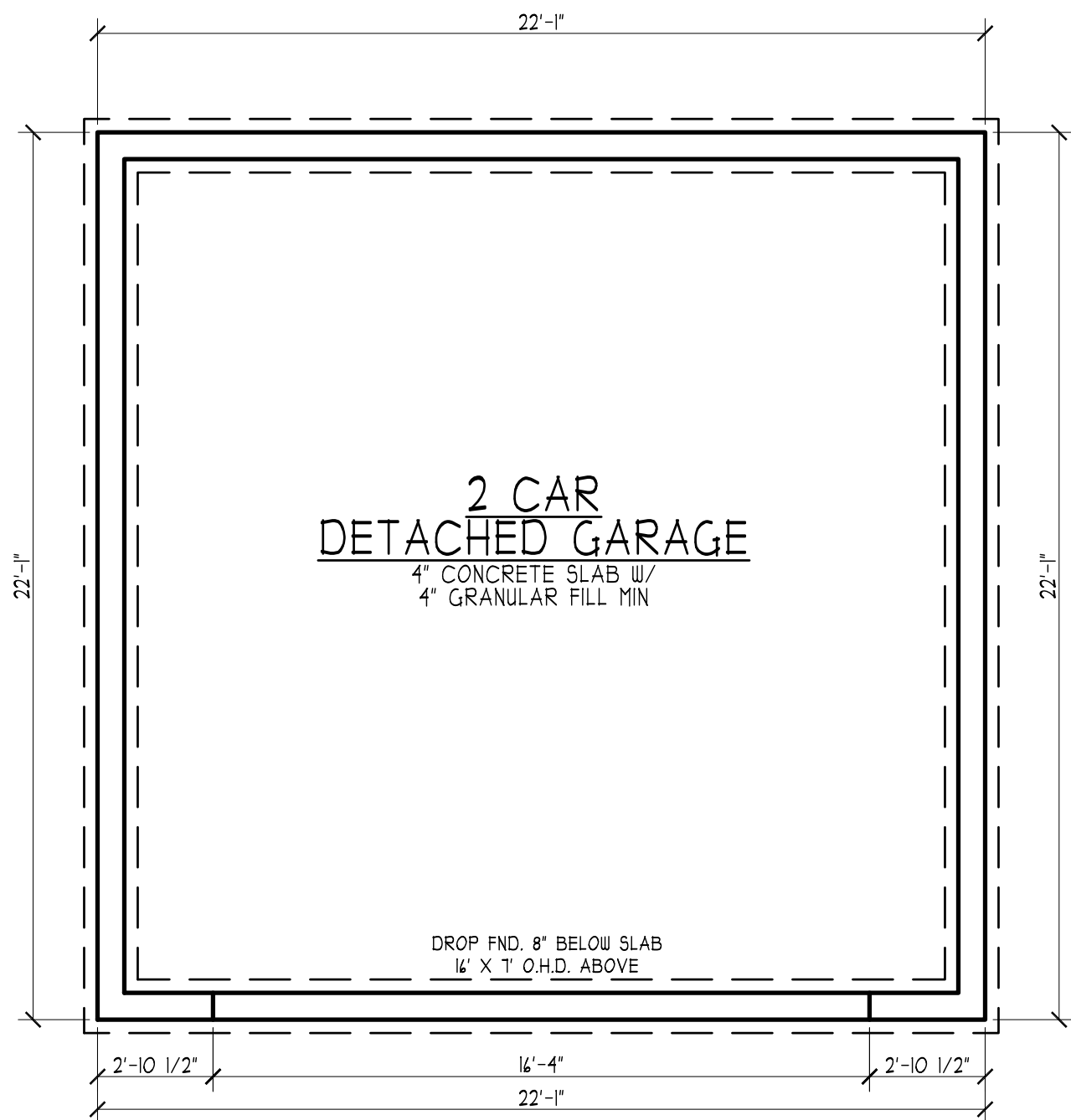
| DATE | REVISIONS |
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| PROJECT     | 1821 N PENNSYLVANIA STREET |
| DEFPPOINTS  |                            |
| SHEET TITLE | SECOND FLOOR PLAN          |

|                    |                |
|--------------------|----------------|
| CLIENT INFORMATION | GEM HOMES, LLC |
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|                                |
|--------------------------------|
| SHAWCAD DESIGN                 |
| WHERE DRAFTING MEETS DESIGN    |
| NORFOLK, INDIANA 46060         |
| EMAIL: SHAWCADDESIGN@GMAIL.COM |

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|----------|---------|
| SHEET NO | A-4     |
| OF       | 5       |
| DATE     | 4/21/25 |
| DWN NO   | 9       |



## FOUNDATION PLAN

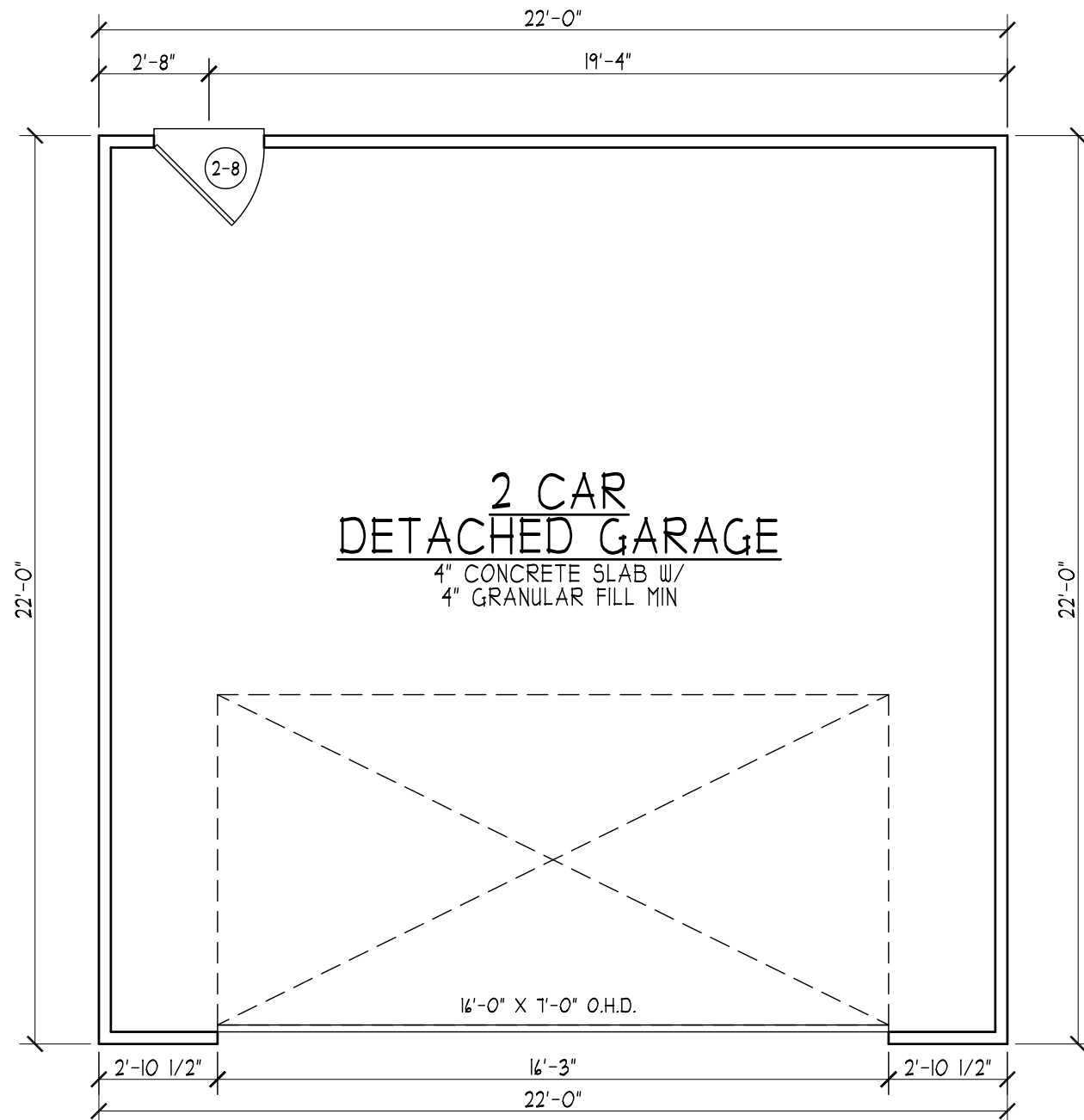
SCALE: 1/8"=1'-0"

### GENERAL FOUNDATION PLAN NOTES:

- ALL FOOTINGS SHALL BE BELOW FROST LINE MINIMUM SIZE SHALL BE AS PER LOCAL CODE.
- FOUNDATION WALLS SHALL BE 8" THICK OR MINIMUM SIZE AS PER LOCAL CODE.
- ALL FOUNDATION ANCHORS SHALL BE 4'-0" ON CENTER AND 2 PER CORNER.
- GRADE ALL SOIL AWAY FROM DWELLING TO PROVIDE POSITIVE DRAINAGE. MAINTAIN 4" SPACE BETWEEN GRADE AND ANY WOOD TRIM.
- ALL WORK IS TO BE PERFORMED AND PROVIDED, TO MEET OR EXCEED LOCAL BUILDING CODES.

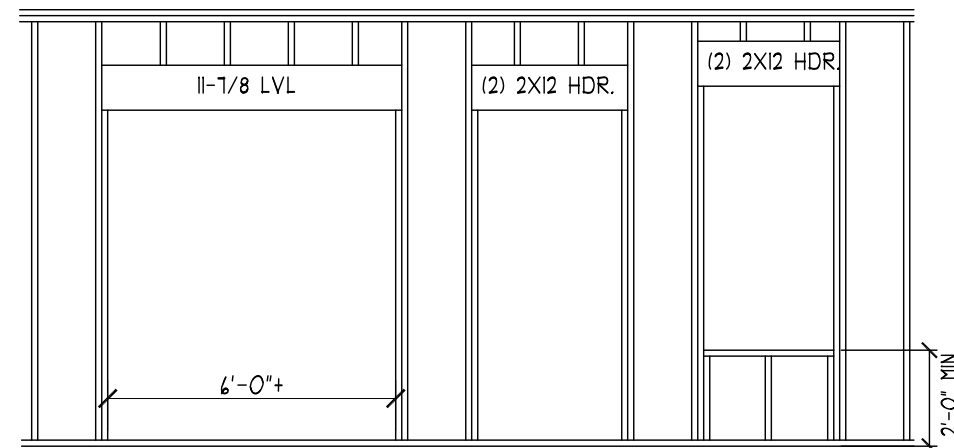
### GENERAL FLOOR PLAN NOTES:

- ALL INTERIOR WALLS ARE 2X4 OR AS SHOWN. EXTERIOR WALLS ARE 2X4 OR 3/4" ONE LAYER OF 1/2" SHEATHING. ALIGN EXTERIOR OF SHEATHING WITH FOUNDATION WALL. ALL ANGLED WALLS ARE 45 DEGREES FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
- CONFIRM ALL HEADER HEIGHTS AND SIZES PRIOR TO START OF FRAMING. ALL OPENINGS ARE TO BE 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- VERIFY ALL TYPES AND SIZES OF WINDOW UNITS AND DOORS WITH OWNER/BUILDER. NOTIFY BUILDER OF ANY DISCREPANCIES.
- VERIFY LOCATION, TYPES AND SIZES OF VENTS AND EXTERIOR TRIM WITH OWNER/BUILDER.
- INSULATE HIDDEN AREAS OR ASSEMBLIES BEFORE COVERING.
- BUILDER/LUMBER SUPPLIER SHALL SPECIFY SIZES OF DIMENSIONAL LUMBER FOR FLOOR AND ROOF SYSTEMS. NOTIFY BUILDER/LUMBER SUPPLIER IMMEDIATELY OF ANY DISCREPANCIES.
- STEEL LINTELS OR WOOD BEARING AREAS, PROPERLY SIZED, ARE TO BE PROVIDED OVER ALL OPENINGS TO SUPPORT MASONRY VENEER.
- ALL ROOF AND WALL INTERSECTIONS SHALL BE FLASHED WITH ALUMINUM OR BETTER MATERIAL.



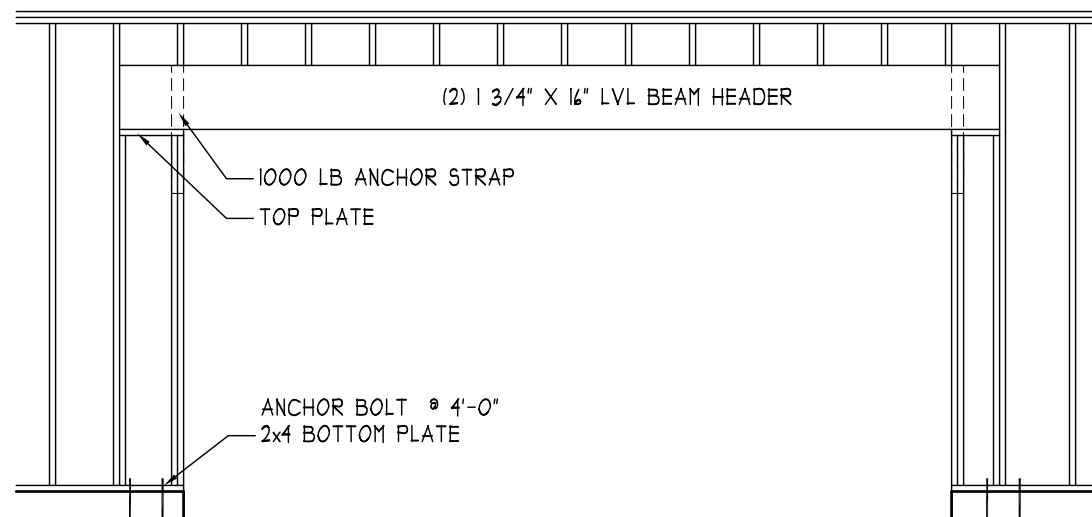
## FLOOR PLAN

SCALE: 1/8"=1'-0"



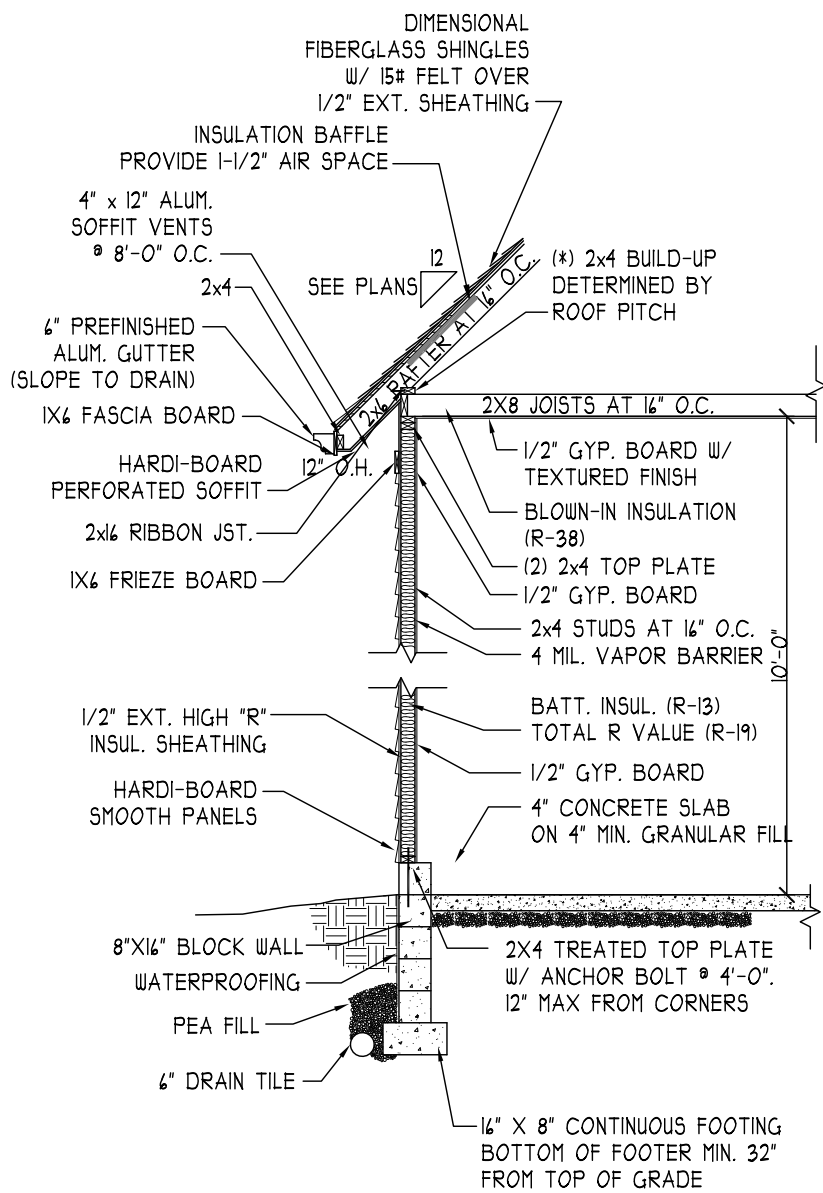
## WINDOW & DOOR FRAMING DTL.

SCALE: 1/4"=1'-0"



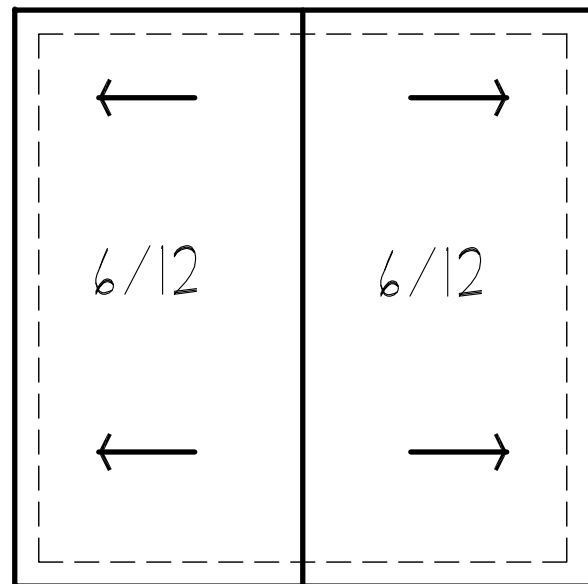
## GARAGE DOOR FRAMING DETAIL

SCALE: 1/8"=1'-0"



## WALL SECTION

SCALE: 1/4"=1'-0"

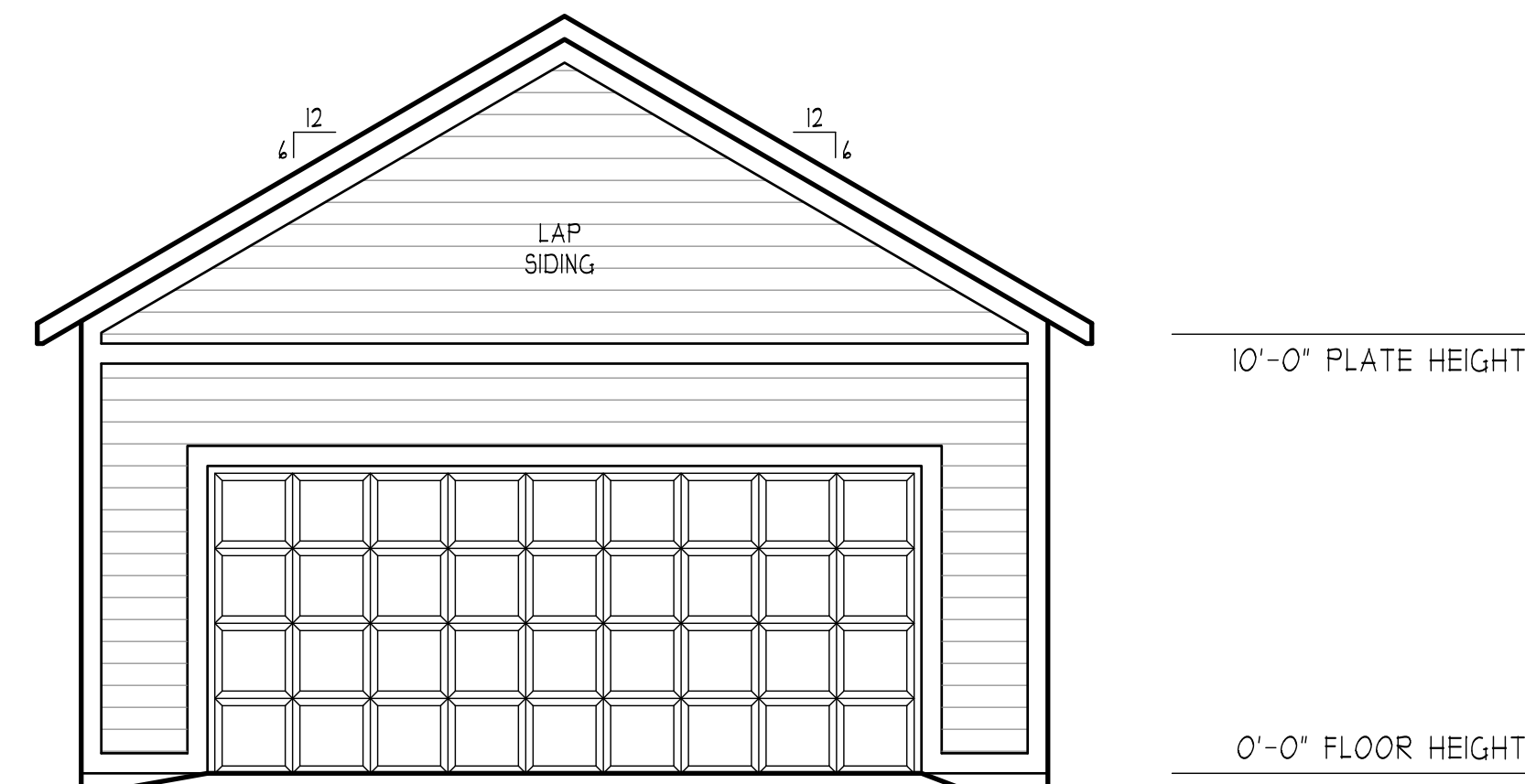


## ROOF PLAN

SCALE: 1/8"=1'-0"

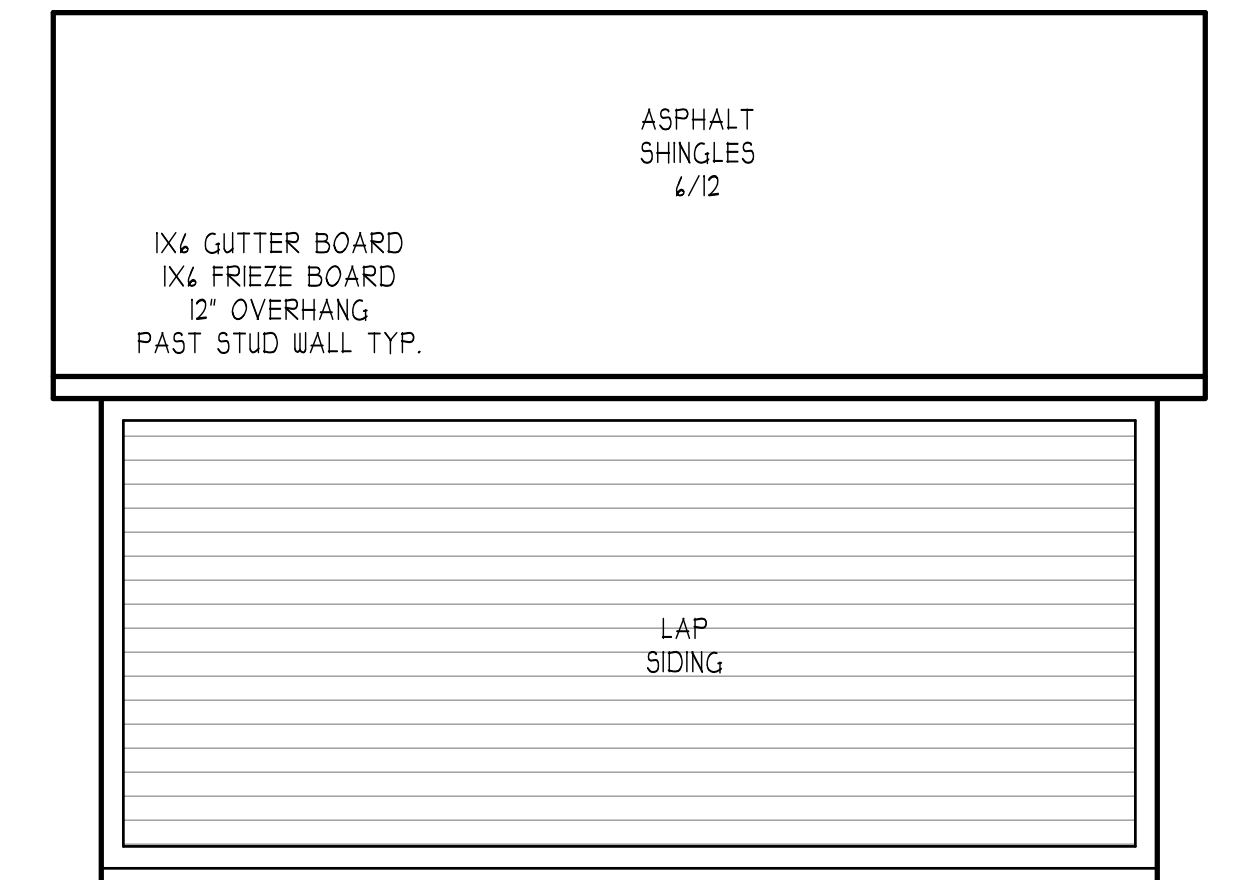
### NOTES

IT IS THE BUILDER/ OWNERS RESPONSIBILITY TO VERIFY THE PROPER AIR SPACE BETWEEN ALL BRICK AND WOOD WALLS WITH HOUSE WRAP. TO PREVENT WATER INFILTRATION. BUILDER/ OWNER SHOULD SEEK THE ASSISTANCE OF A QUALIFIED ENGINEER FOR THE PROPER SIZING OF ALL STRUCTURAL HEADERS, RAFTERS, SUPPORT BEAMS, LAMINATED BEAMS, JOISTS, FOOTINGS, ETC. IT IS THE BUILDER/ OWNER RESPONSIBILITY TO VERIFY ALL DIMENSIONS & DESIGN OF THESE DOCUMENTS FOR ACCURACY.



## EAST-FRONT ELEVATION

SCALE: 1/4"=1'-0"



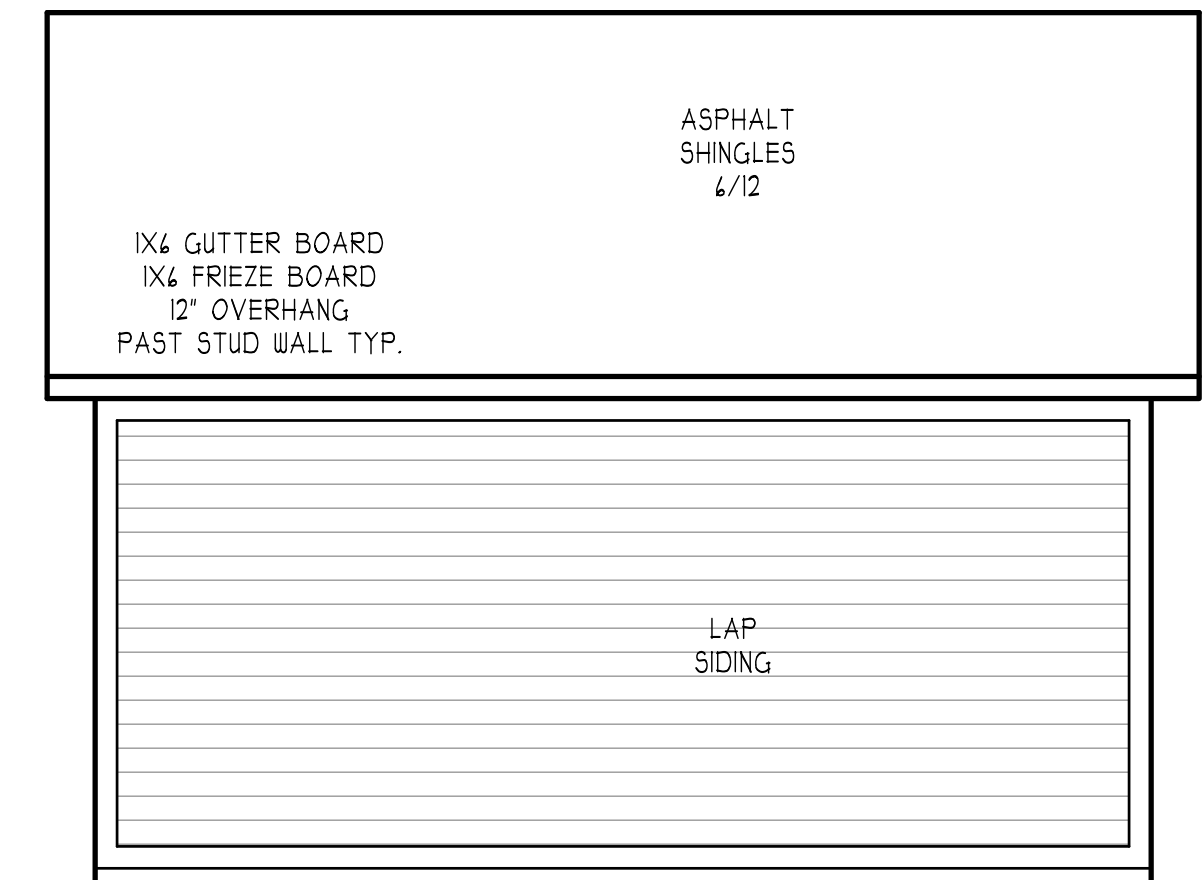
## NORTH-RIGHT ELEVATION

SCALE: 1/4"=1'-0"



## WEST-REAR ELEVATION

SCALE: 1/4"=1'-0"



## SOUTH-LEFT ELEVATION

SCALE: 1/4"=1'-0"

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| SCALE    | 1/4"=1'-0" |
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| DATE | REVISIONS |
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|----------------------------------------------|-----------------------|
| PROJECT                                      | SHEET TITLE           |
| DETACHED GARAGE                              | DETACHED GARAGE PLANS |
| 1821 N PENNSYLVANIA STREET, INDIANAPOLIS, IN |                       |

|                    |                |
|--------------------|----------------|
| CLIENT INFORMATION | GEM HOMES, LLC |
|--------------------|----------------|

|                |                                |
|----------------|--------------------------------|
| SHAWCAD DESIGN | WHERE DRAFTING MEETS DESIGN    |
|                | NORFOLK, INDIANA 46060         |
|                | EMAIL: SHAWCADDESIGN@GMAIL.COM |

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|----------|--------|
| SHEET NO | A-5    |
| OF       | 5      |
| DATE     | 4/8/25 |
| DWN NO   | 2      |