



Indianapolis Historic Preservation Commission (IHPC)  
**HEARING AGENDA**

Wednesday, April 2, 2025, 5:30 P.M.  
2nd Floor, Public Assembly Room, City-County Building  
200 East Washington Street, Indianapolis, Indiana

**BUSINESS**

**I. CALL TO ORDER**

**II. APPROVAL OF MINUTES**

**MARCH 5, 2025 IHPC HEARING MINUTES**

**III. OLD BUSINESS – NO PUBLIC HEARING**

**NONE**

**IV. NEW BUSINESS – NO PUBLIC HEARING**

**NONE**

**PUBLIC HEARING**

**V. REQUEST TO WITHDRAW OR CONTINUE APPLICATIONS**

**NONE**

**VI. EXPEDITED CASES**

**2025-COA-051 (IRV) &  
2025-VHP-002**

**407 SOUTH AUDUBON ROAD  
HEATHER SULLIVAN**

Construct rear addition and addition on garage for secondary dwelling unit and a Variance of Development Standards to exceed the maximum square footage of an allowed secondary dwelling unit.

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Submittals  
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**VII. APPLICATIONS TO BE HEARD (CONTINUED)**

**2024-COA-406 (LS)**

**544 NORTH PARK AVENUE  
MICHAEL MERCHO**

Amend previously approved plans.

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Submittals  
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**VIII. APPLICATIONS TO BE HEARD (NEW)**

**NONE**

**IX. PRELIMINARY REVIEW**

**NONE**

**X. APPLICATIONS TO BE HEARD – WORK STARTED WITHOUT APPROVAL**

**2024-COA-353 (FS) &  
2024-VHP-010**

**1126 PROSPECT STREET  
ALEX OSTROVSKY**

Variance of Development Standards for less first story transparency than required.

*Page 25*

**2024-COA-446 (ONS) &  
2024-VHP-013**

**1565 NORTH PARK AVENUE  
ANTON TSINTSARSKI**

Maintain fencing and wall installed in clear sight triangle and a Variance of Development Standards for clear sight triangle Encroachment.

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Submittals  
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**XI. OLD BUSINESS – TO BE HEARD**

**NONE**

**XII. CLOSING BUSINESS**

**NONE**



## Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

### IHPC STAFF REPORT SUMMARY

<b>Hearing Date:</b>	<b>April 2, 2025</b>
<b>Case Type:</b>	<b>EXPEDITED</b>
<b>Continued From:</b>	
<b>Case Number:</b>	<b>2025-COA-051 (IRV) &amp; 2025-VHP-002</b>
<b>Property Address:</b>	<b>407 S. Audubon Road</b>
<b>Historic Area:</b>	<b>Irvington</b>
<b>Township:</b>	<b>Warren</b>
<b>Council District:</b>	<b>14</b>
<b>Applicant:</b>	<b>Heather Sullivan</b>
<b>Owner:</b>	<b>Jeremy &amp; Cassandra Crutchfield</b>
<b>Request:</b>	<b>Construct rear addition; construct addition on garage; variance of development standards to exceed the maximum square footage of an allowed secondary dwelling unit</b>
<b>Staff Recommendation:</b>	<b>Approval</b>
<b>Staff Reviewer:</b>	<b>Emily Jarzen</b>
<b>Case At-A-Glance:</b>	<b>This request is to construct a small rear addition on the house, construct a 1-story addition on the existing garage, and for a variance of development standards. Staff is recommending approval of the application.</b>

### BACKGROUND OF PROPERTY

This residential property appears on the 1916 Baist Atlas map. There are not Sanborns available for the property. The building is a late-19<sup>th</sup> century residence, but it has been highly modified. This includes added siding, large roof additions, and modified/added porches. The property has two accessory buildings. The southern garage was built 1993-1995. The northern garage, subject to the addition request, dates to the 1930s-1940s. The subject garage has some original double-drop siding but has also been modified with T-111 siding and vinyl windows. This garage has a woodworking shop that will be altered and combined into the new living space. All changes to the house and garage were done by previous owners.

### REQUEST

1. The house has two rear additions on it already. The shorter and shallower north addition will be extended to align with the existing south addition. Smooth-finish fiber-cement lap siding will be used, along with aluminum clad wood windows.

2. The existing northern garage will have a 1-story addition constructed, providing an accessory dwelling unit intended to be used by a family member. The addition will have smooth-finish fiber-cement lap siding and aluminum clad wood windows. Casement windows are proposed due to low top plates and the need for egress. The siding will have a lap reveal with the intention to blend into the horizontally oriented T-111.
3. The application includes a variance of development standards to exceed the maximum square footage of an allowed secondary dwelling unit. The maximum permitted is 720 sf, and the owner is requesting 937.

### HISTORIC AREA PLAN RECOMMENDATION

#### Additions and Accessory Buildings

- *Additions should be located at the rear, away from the front façade.*
- *The scale, height, size, and mass of an addition should relate to the existing building and not overpower it. The mass and form of the original building should be discernable, even after an addition has been constructed.*
- *Additions and accessory buildings should be discernible as a product of their own time.*

### STAFF RECOMMENDATION

Staff is recommending approval of the application. The additions are straightforward and respectful of the property and the district. The square footage in excess of the maximum is minimal on this large lot.

### STAFF RECOMMENDED MOTION

#### COA #2025-COA-051 (IRV):

**To approve a Certificate of Appropriateness to construct a rear addition on the house, an addition on the northern accessory building, and for a Variance of Development Standards, per the submitted documentation and subject to the following stipulations:**

**DBNS: PERMITS MAY NOT BE ISSUED until stipulations number 1, 2, and 3 are fulfilled.**

1. Construction must not commence prior to approval by the IHPC staff of final construction drawings. *Approved \_\_\_\_\_ Date \_\_\_\_\_*
2. A pre-construction meeting with IHPC staff, the owner, and the contractor/construction manager must be held prior to the commencement of any construction. *Approved \_\_\_\_\_ Date \_\_\_\_\_*
3. The site shall be field staked with no offsets and approved by IHPC staff prior to construction. *Approved \_\_\_\_\_ Date \_\_\_\_\_*
4. Boxed soffits (“bird boxes”) are not permitted. Rafter tails may be left exposed or sheathed with sloping soffit board parallel to pitch of roof.
5. Trim and siding shall be wood or fiber-cement, and shall have a smooth texture and be free of major imperfections. **Rough-sawn finishes are not permitted.** Siding reveal must match approved drawings.
6. Work on exterior finishes and details must not commence prior to the approval by IHPC staff of each. These may include, but are not limited to: doors, windows, foundations, exterior light fixtures, railings, roof shingles, etc.
7. Any changes to the proposed design must be approved by IHPC staff prior to commencement of work.

**NOTE: Owner is responsible for complying with all applicable codes.**

#### VHP #2025-VHP-025:

**To approve a Variance of Development Standards to exceed the maximum square footage of an allowed secondary dwelling unit.**

EXHIBITS



Location of subject property



Subject property as seen from Audubon Rd with subject garage visible at the rear



Subject property looking at the south elevation from Rawles Ave.



Backyard, with subject outbuilding at the rear. (with yellow door on it)



Rear of the house as visible from Rawles



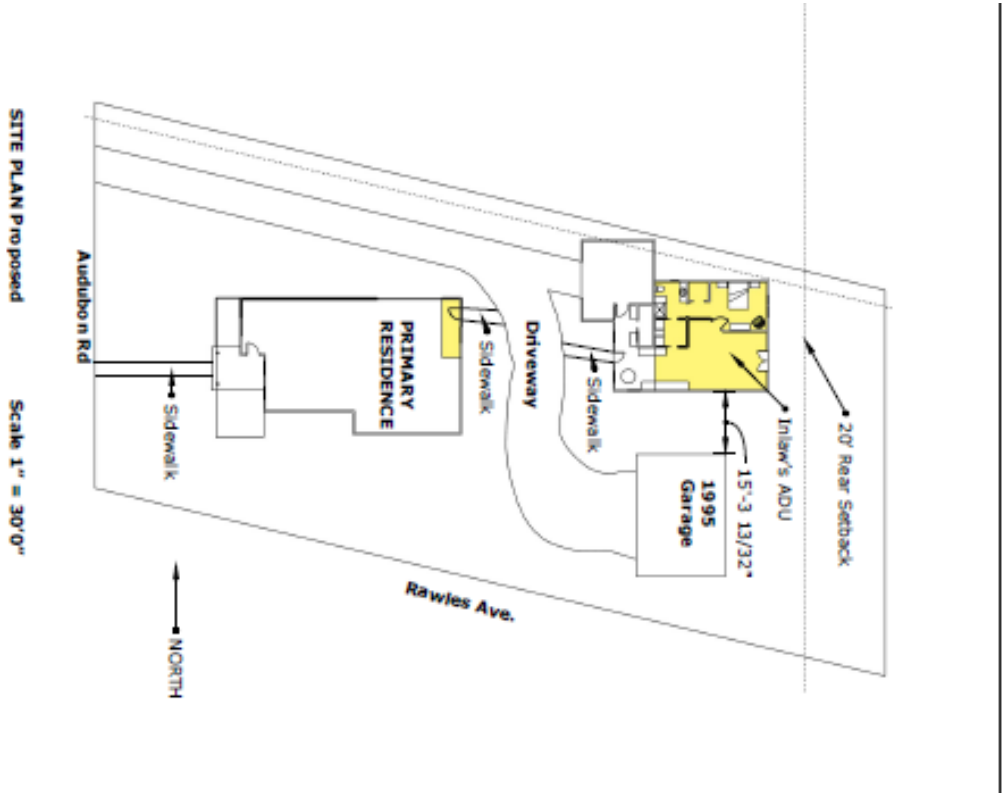
Aerial view of subject property



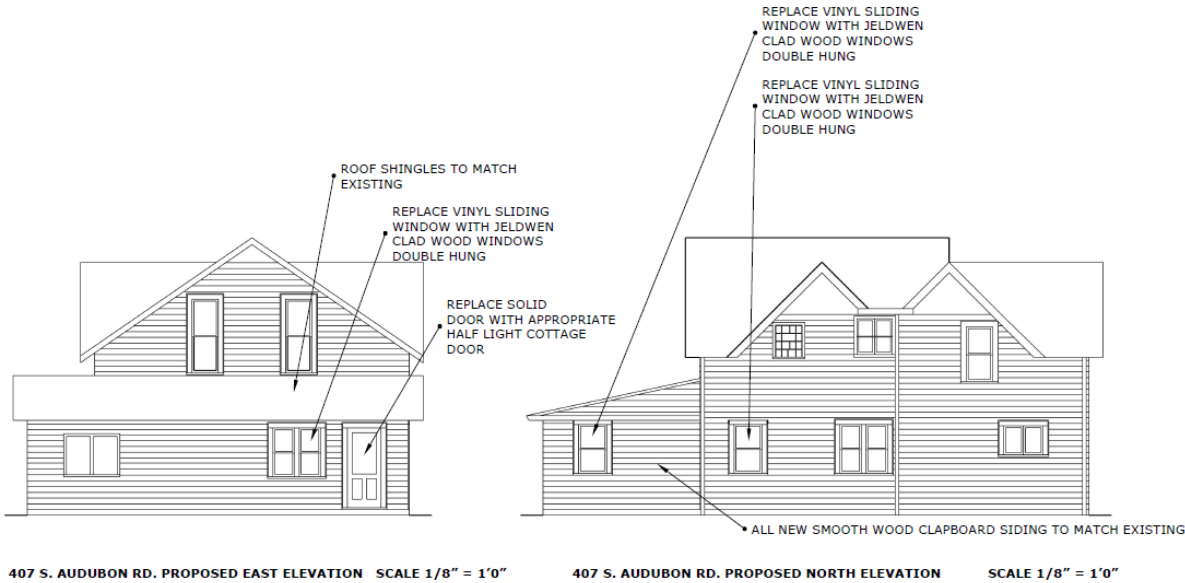
Aerial view showing rear facades



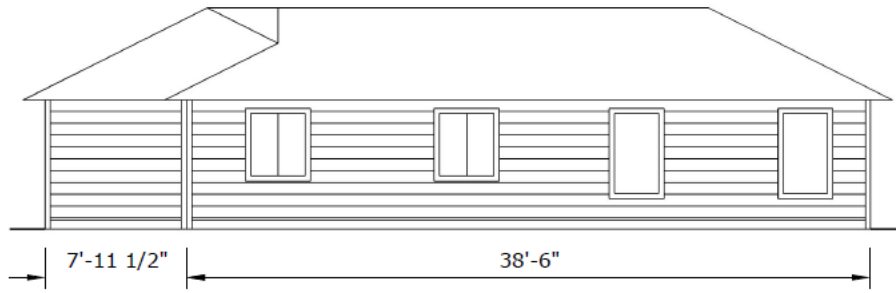
Proposed Plans  
(Additional Drawings in Submittal Packet)



Proposed site plan

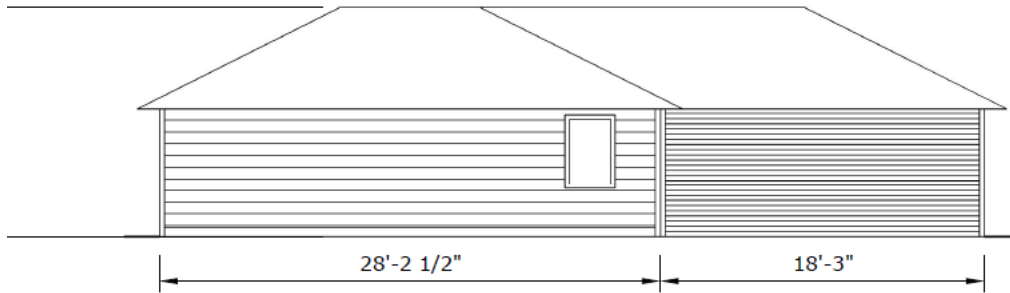


House Addition proposal



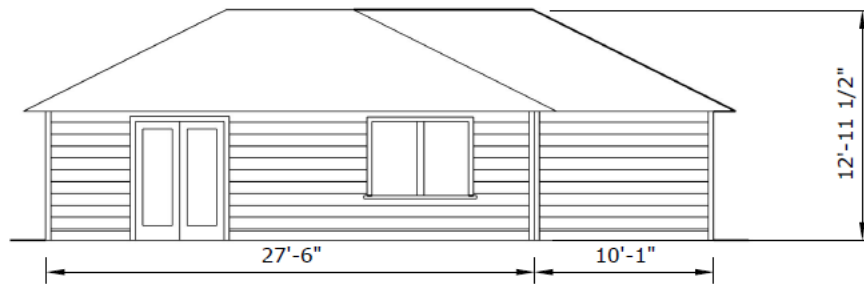
407 S. Audubon Rd. ADU South Elevation

SCALE 1/8" = 1'0"



407 S. Audubon Rd. ADU North Elevation

SCALE 1/8" = 1'0"



407 S. Audubon Rd. ADU East Elevation

SCALE 1/8" = 1'0"

### Garage Addition Proposal

Proposed Findings of Fact

**1. The grant will not be injurious to the public health, safety, morals, and general welfare of the community because:**

Due to change of use the space will no longer be a woodworkers shop but that of an inlaws quarters. It will be improved aesthetically through repair and adhering to guidelines set forth by IHPC. The environmental impact will also improve as it will be insulated for efficiency and quieter for those living adjacent to the property.

**2. The use or value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner because:**

Being used as an inlaw's esidence there will be no adverse effects as the space will be occupied by the same family member consistently. There will be no additional parking required. Changing the use from workshop to residential will result in a quieter environment for neighbors.

**3. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property because:**

The home Owner is exceeding the allowable square footage for an ADU by 187 sq. ft. The allowable per their zoning is 720 sq. ft. The residential unit consists of 741 sq. ft. being added to 196 square feet of workshop being converted to living space. The new owners/Crutchfield family would like to have this space to use for a family member to live adjacent and has no use for the 1940s structure being used to date as a wood shop. Therefore it will sit unused in its current state

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## Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

### IHPC STAFF REPORT SUMMARY

<b>Hearing Date:</b>	<b>April 2, 2025</b>
<b>Case Type:</b>	<b>Continued</b>
<b>Previously Heard:</b>	<b>December 4, 2024, January 8, 2025, February 5, 2025, March 5, 2025</b>
<b>Case Number:</b>	<b>2024-COA-406 (LS), originally part of 2017-COA-535 (LS)</b>
<b>Property Address:</b>	<b>544 N. Park, part of Liberty Place project</b>
<b>Historic Area:</b>	<b>Lockerbie Square</b>
<b>Township:</b>	<b>Center</b>
<b>Council District:</b>	<b>13</b>
<b>Applicant:</b>	<b>Michael Mercho</b>
<b>Owner:</b>	<b>SIG LLC</b>
<b>Request:</b>	<b>Amend previously approved plans</b>
<b>Staff Recommendation:</b>	<b>Approval</b>
<b>Staff Reviewer:</b>	<b>Emily Jarzen</b>
<b>Case At-A-Glance:</b>	<b>This request is to amend previously approved plans. The original plans were brought through by another developer. The applicant has made design and material changes since March. Staff is recommending approval of the amended design.</b>

### DECEMBER HEARING

Revised plans were reviewed at the December 4, 2024, January 8, 2025, and March 5, 2025 IHPC hearings. The applicant continued in February to work on the plans. Comments by commission members in March included:

- This design is not moving in the right direction/is less successful than the previous ones presented.
- Entrances are too diminutive.
- Canopy is flimsy looking and too low.
- Make windows the same size on every floor.
- Bay is too shallow, with only 11" articulation.
- After seeing the vertical siding material as executed on the first building, not sure you want to use it again.
- The siding is an issue, look at a second color of brick instead?
- Pilasters don't have caps like they should.
- The downspouts and gutters need to be shown.

## BACKGROUND OF PROPERTY

This project has a long history, with more than one owner, multiple extensions, and multiple amendments:

### *2017-2018*

Brought through for approval by Litz + Eaton and approved in January 2018.

### *August 2019*

First Amendment: 2017-COA-535 (Amended) was reviewed and approved. This changed the design of the 537 Leon Street building.

### *2019*

Construction started (foundation holes dug) but stopped during legal disputes.

### *2020*

First Extension: The ownership was transferred to the current owner, who still intended to build the project. A 2-year extension was granted to the new owner in May.

### *2020-2022*

The owner ran into unanticipated delays. These included:

- The drawings done by the previous developer were incorrect and needed to be redone.
- Code changes.
- Significant delays in structural and drainage permit review. The drainage permit was finally issued on 4/20/22, and the structural permit issued on 4/29/22.
- Due to the North Split work, there was a 3-month delay to get a right-of-way permit for E. North Street utility work.

### *June 2022*

Second Extension: A two-year extension was granted.

### *May 2023*

Amended plans for 527 E. North Street approved by IHPC.

Only one building (527-539 E. North Street) has been completed so far.

## REQUEST

The owner is requesting design changes from the 2018 design. The reasoning for the changes:

- Desire not to use stucco, since it is not well-suited to Indiana's climate.
- Floor plan driven: there were items that required variances from state code in the building already constructed (based on the previous developer's plans). The originally designed narrow stairs and hallways are problematic from a code and buyer perspective.

The primary materials are brick and fiber-cement architectural panels. The roof will be dark metal.

CHANGES from March 5, 2025:

- The vertical siding (NewTechWood) has been eliminated. Fiber-cement architectural panels have been substituted.
- The north façade bay has been deepened.
- The siding that was shown on the front façade projecting bays has been eliminated, and those bays are now brick.

## PRESERVATION PLAN

New construction should reflect the design trends and concepts of the period in which it is created. New structures should be in harmony with the old and at the same time be distinguishable from the old so the evolution of Lockerbie Square can be interpreted properly.

## STAFF RECOMMENDATION

Staff finds the revised design a significant improvement from the March submission. The enlarged projecting north façade bay helps provide depth. The use of paintable architectural panels as opposed to the NewTech product is more consistent with other new construction in the area, as does the additional use of masonry added back to the front façade. The front façade panel insets with ganged windows relate to the north bay, tying together the architecture of the building.

Staff is recommending approval of the design.

## STAFF RECOMMENDED MOTION

**2024-COA-406 (LS):**

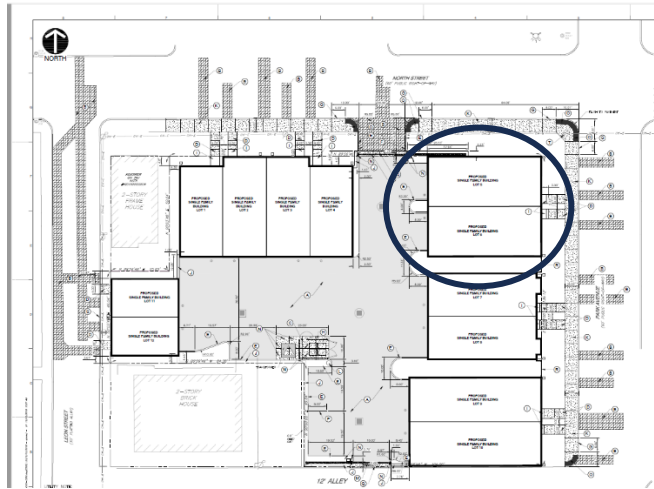
**To approve** amendments to previously approved plans (544 N. Park Avenue Building only), per the submitted plans and subject to the following stipulations:

**BNS: Stipulation numbers 1, 2 & 3 must be fulfilled prior to issuance of permits.**

1. Construction must not commence prior to approval by the IHPC staff of final construction drawings, including any changes directed by the commission at the April 2, 2025 IHPC hearing. *Approved* \_\_\_\_\_  
*Date* \_\_\_\_\_
2. A pre-construction meeting with IHPC staff, the owner, and the contractor/construction manager must be held prior to the commencement of any construction. *Approved* \_\_\_\_\_ *Date* \_\_\_\_\_
3. The building shall be field-staked with no offsets, and approved by IHPC staff prior to construction.  
*Approved:* \_\_\_\_\_ *Date:* \_\_\_\_\_
4. Boxed soffits (“bird boxes”) are not permitted. Rafter tails may be left exposed or sheathed with sloping soffit board parallel to pitch of roof.
5. A durable marker indicating the date of construction must be incorporated into the front foundation of the house (not the porch).
6. All utility wires and cables must be located underground. No installation of utilities or meter and mechanical placement shall commence prior to IHPC staff approval.
7. Work on exterior finishes and details must not commence prior to the approval by IHPC staff of each. These may include, but are not limited to: doors, windows, foundations, exterior light fixtures, railings, roof shingles, etc.
8. Foundation shall be smooth concrete, or finished with an approved masonry veneer. Stamped concrete is not approved under this certificate.
9. Any changes to the proposed design must be approved by IHPC staff prior to commencement of work.
10. The COA shall expire on December 3, 2029 (per 2017coa535 Extension).

**NOTE:** Owner is responsible for complying with all applicable codes.

## EXHIBITS

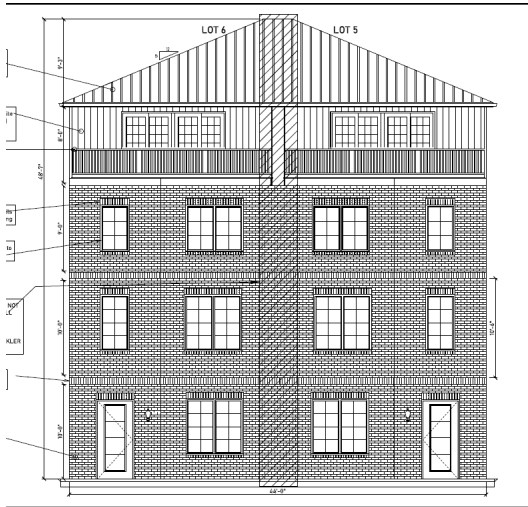


Site plan for project with subject building circled.

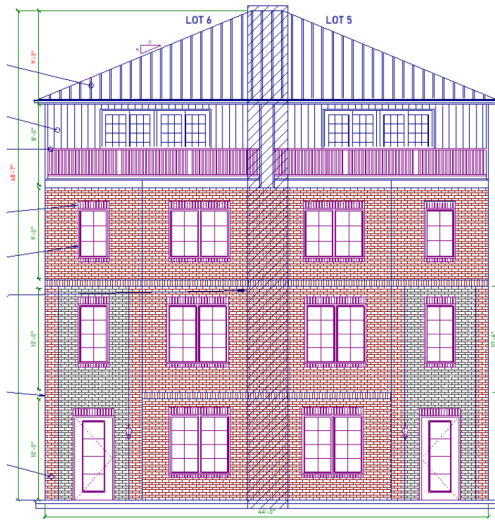


Photos of subject site

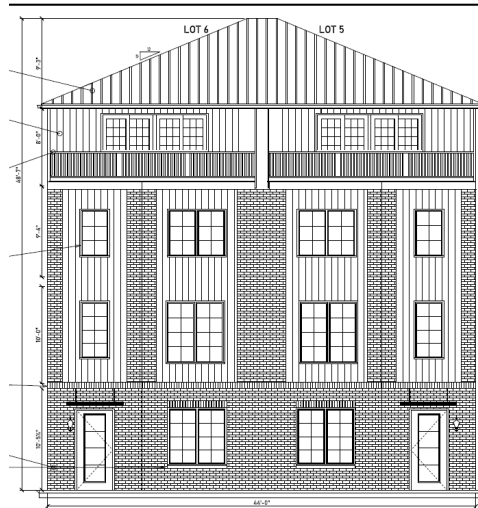




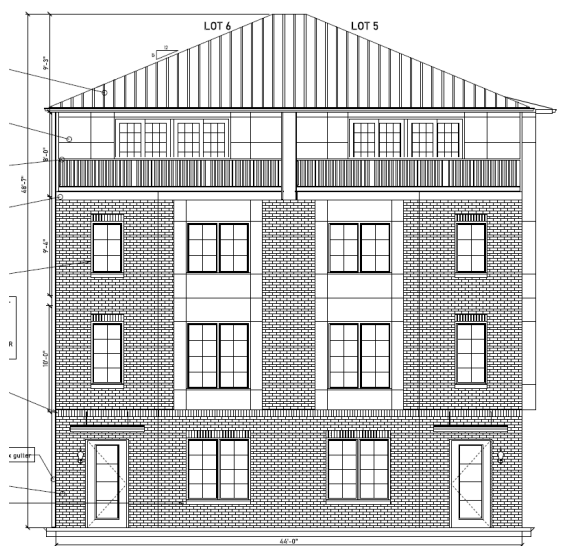
Front (East) Elevation, December 2024



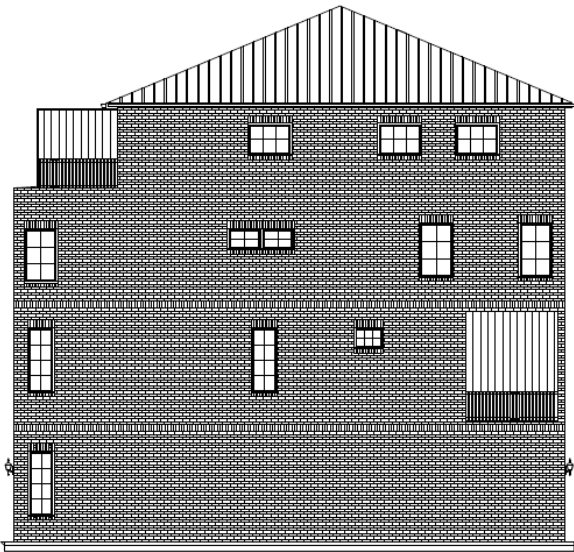
Front (East) Elevation, January 2025



March 2025



April 2025 Revision



North Elevation, December 2024



January 2025



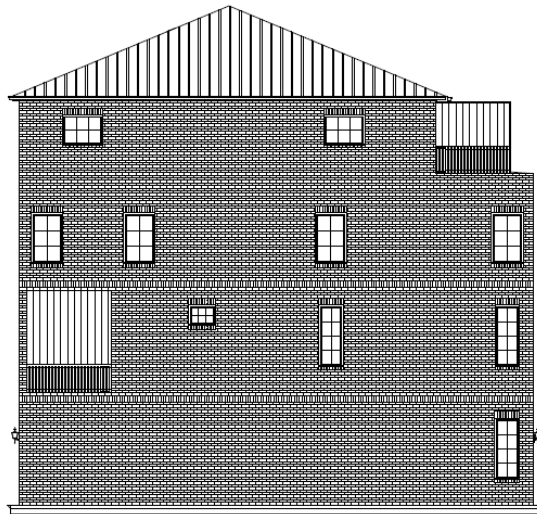
NORTH

March 2025



NORTH

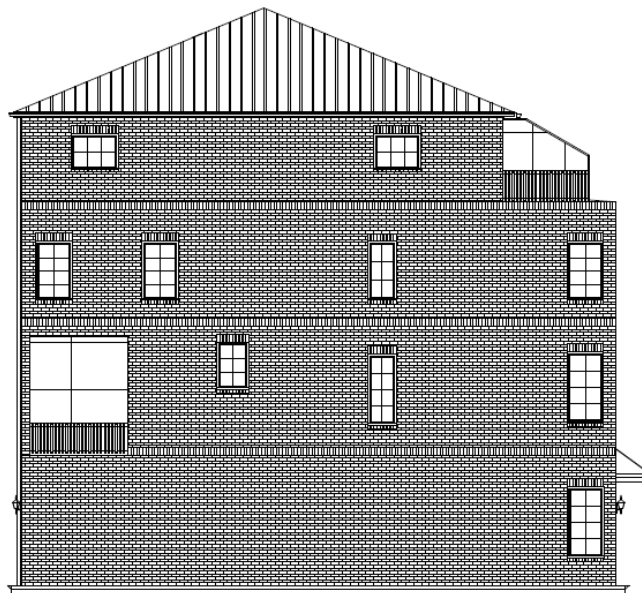
April 2025 Revision



**SOUTH**  
SCALE: 1/8" = 1'-0"

South Elevation – December 2024, January & March 2025

exterior string on north elevation  
added to garage  
south elevation



**SOUTH**  
SCALE: 1/8" = 1'-0"

April 2025 Revised



Rear (West) Elevation – December 2024



January & March 2025



April 2025 Revised



**December 2024 Rendering**



**January 2025 Rendering**



**March 2025 Rendering**



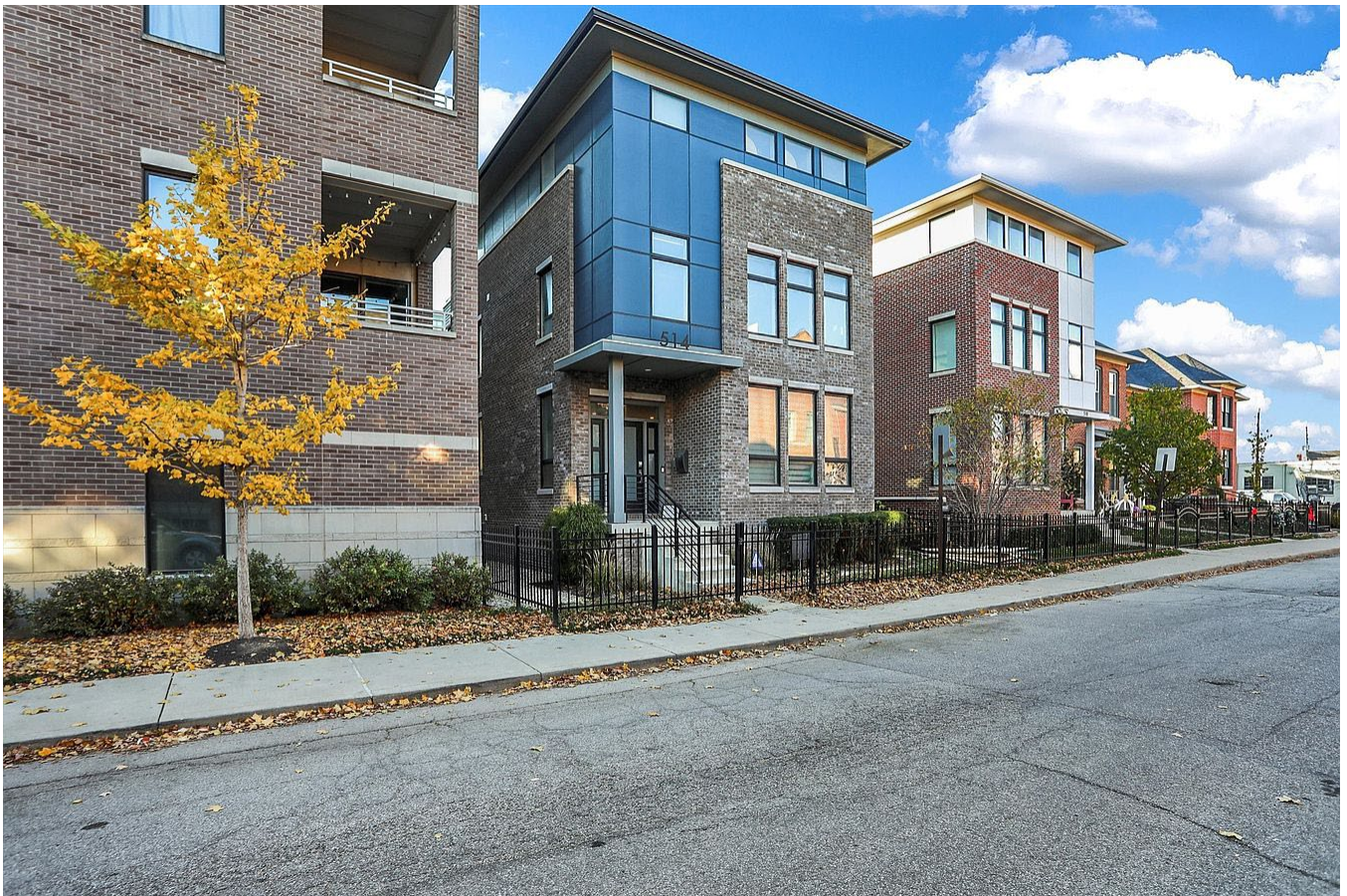
**April 2025 Rendering**



**Material examples – brick, NewTechWood (eliminated), cast stone**



**Roof**



Neighboring properties on Park Ave with fiber-cement panel and brick treatments.





## Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

### IHPC STAFF REPORT SUMMARY

<b>Hearing Date:</b>	<b>April 2, 2025</b>
<b>Case Type:</b>	<b>Work Started Without Approval</b>
<b>Continued From:</b>	<b>November 6, 2024, December 4, 2024, February 5, 2025</b>
<b>Case Number:</b>	<b>2024-COA-353 (FS) &amp; 2024-VHP-010</b>
<b>Property Address:</b>	<b>1126 Prospect Street</b>
<b>Historic Area:</b>	<b>Fountain Square</b>
<b>Township:</b>	<b>Center</b>
<b>Council District:</b>	<b>18</b>
<b>Applicant:</b>	<b>Alex Ostrovsky</b>
<b>Owner:</b>	<b>Higher Grade LLC</b>
<b>Request:</b>	<b>Variance of Development Standards to allow first story transparency than required.</b>
<b>Staff Recommendation:</b>	<b>DENIAL</b>
<b>Staff Reviewer:</b>	<b>Shelbi Long</b>
<b>Case At-A-Glance:</b>	<b>This is a variance only request as the IHPC doesn't have jurisdiction over the interior and the film that is the subject of this request was applied on the interior of the glass. Staff does not find that the petition meets the test of the Findings and is recommending denial.</b>

### BACKGROUND OF PROPERTY

The subject property is a commercial structure that was historically used as an office, warehouse and machine shop. It was constructed in the mid 1920's.

### REQUEST

The owners are requesting approval of a Variance of Development Standards to allow less window transparency than required. A window film has been installed the south side storefront windows. The film has been installed on the interior of the glass and therefore does not require IHPC approval of a Certificate of Appropriateness for the installation. However, the film is too opaque per the zoning code and therefore requires a variance which triggers the need for IHPC review. In other words, the owner could have installed a film that complies with the zoning ordinance and not need a COA.

The subject property is zoned MU-2 (Mixed Use District Two) and is classified as a Pedestrian / Urban frontage type. Per the Indianapolis-Marion County Consolidated Zoning and Subdivision Ordinance, the required first story transparency is 60%-90%. The film that has been installed has a 6% visible light

transmission (see spec sheet below). The film does have some transparency, however during the daylight hours it appears opaque from the exterior.

## HISTORIC AREA PLAN RECOMMENDATION

### Storefronts

- Avoid using “strip commercial” elements since they do not relate to the historic elements in the area.
- Incorporate the traditional elements in modern storefronts – display windows, transoms, and kickplate.
- Display Windows – the display window is used to show merchandise and provide a means of interaction between the public outside and the business inside.

### Context

The proposed findings note that the products sold at the subject property should be shielded from public view as it is a 21 and older establishment. Staff reviewed the area and found that there are at least three similar shops within the historic district boundaries. These three establishments do not have blacked out or otherwise tinted windows. These sites are zoned commercial and are located in the Transit Oriented Secondary District so they are subject to the same transparency regulations as the subject property.

The owners noted four neighboring businesses with windows that are blacked out or nearly blacked out. Images of these properties are included below. Staff researched each and discovered the following:

- Fountain Square Theater and Maialina – both addressed 1105 Prospect Street
  - Zoned CS – transparency requirements differ from subject property
  - Installed between 2019-2022
- Radio Radio – 1117 Prospect Street
  - Zoned C4
  - Installed prior to 2009 – transparency requirements were established in 2016
- White Rabbit – 1116 Prospect Street
  - Zoned MU2 (same as subject property)
  - Installed prior to 2011 – transparency requirements were established in 2016

## STAFF RECOMMENDATION

*If the Commission finds a request to be inappropriate, a Certificate of Authorization could be granted, but only if the request meets one of the following criteria:*

1. *Denial would result in substantial hardship,*
2. *Denial would deprive the owner of all reasonable use and benefit of the subject property, or*
3. *The effect of approval upon the historic area would be insubstantial.*

Staff finds this request to be inappropriate and does not believe it qualifies for a Certificate of Authorization for the following reasons:

1. No evidence of a financial hardship has been presented. Any hardship in this situation was self-imposed by the owner’s failure to seek the necessary approvals prior to the commencement of work.
2. Denial will not deprive the owner of the use of the property.
3. The effect on the historic area would be substantial as the request negatively impacts public safety and welfare by impeding visual transparency of the openings.

The IHPC doesn’t review the film installation from a Certificate of Appropriateness perspective as it is an interior application. However, staff believes a film of this opacity is inconsistent with the guidance in the historic district plan. The plan states that storefront display windows provide a means of interaction between the public outside and the business inside, which is prevented by a film of this opacity.

This petition does not meet the test of the Variance of Development Standards Findings of Fact for the following reasons:

- Window transparency regulations were established for safety reasons and so by its very nature, the request negatively impacts the safety and general welfare of the community. The ability to see in and out of a building increases safety for those inside and out.
- The strict application of the zoning code does not prevent the use of or create a practical difficulty in the use of the property as there are a variety of other options to provide sun shading and privacy. These include blinds or shades, both of which come in a variety of styles and opacity levels. An example of this can be seen at the Bottleworks District in the Chatham Arch-Massachusetts Avenue Historic District (an image is provided below). Interior blinds or shades would not require IHPC approval or a land use petition. The owners could also consider a window film of a more transparent nature to meet the zoning code requirement.
- There is nothing unique about the property making a variance from the zoning code requirement necessary.
- The applicants Findings state that a reasoning for the film is related to the products sold. This zoning code regulation is not use or product specific, it is required for the entire zoning classification.

For these reasons, staff is recommending the Commission deny this request.

**STAFF RECOMMENDED MOTION**

**2024-COA-353 (FS):**

**To deny** Certificate of Appropriateness or Authorization for a Variance of Development Standards to allow less window transparency than required.

**Removal of the film shall be completed no later than JUNE 4, 2025. Once completed, owner must contact IHPC staff for an inspection. Failure to comply will result in this case being forwarded to the City Prosecutor for enforcement.**

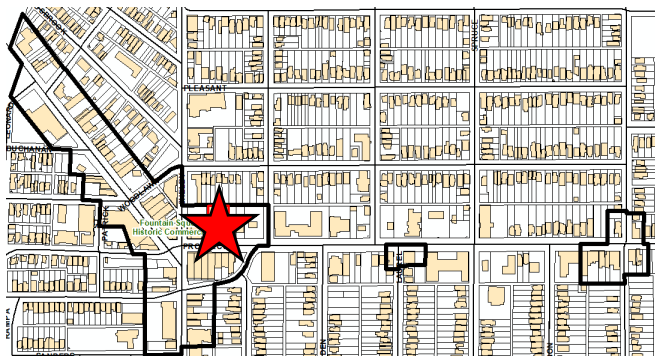
*Final Inspection \_\_\_\_\_ Date \_\_\_\_\_*

**2024-VHP-010:**

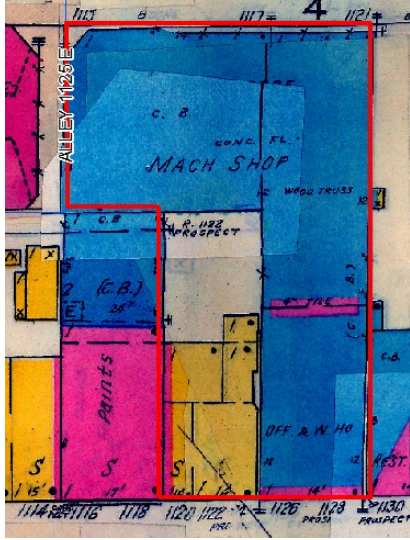
No action is required.

**EXHIBITS**

**LOCATION OF SUBJECT PROPERTY**



**SANBORN MAP & BEFORE IMAGE**



**1915 Sanborn Map**



**Subject property in August 2023 prior to film install**

**SUBJECT PROPERTY EXISTING CONDITIONS**



**CONTEXT – properties along Prospect neighboring the subject property**



**Subject Property –  
1126 Prospect**



**White Rabbit –  
1116 Prospect Street**



**Maialina –  
1105 Prospect Street**




**Fountain Square  
Theater –  
1105 Prospect Street**





Radio Radio - 1117 Prospect Street

**FILM SPEC INFORMATION**  
*Premium Dyed Films*

Type: Non-reflective	AT 05 GR SR HPR
% Visible Light Transmission (at 550 nm).....	6
% Total Solar Energy Rejection .....	44
% Visible Light Reflection .....	8
% Ultra-Violet Light Rejection.....	99
<b>CLEARLY THE BEST. GUARANTEED.</b>	
 Automotive Window Film with HPR™ Adhesive	

**EXAMPLE OF INTERIOR SHADES IN AN IHPC DISTRICT**



**Bottleworks District in the Chatham Arch-Massachusetts Avenue Historic District**

## FINDINGS OF FACT

1. The grant will not be injurious to the public health, safety, morals, and general welfare of the community because:

The proposed variance allows for the proper storage and display of products which are intended for adult-only use and which are located in a facility intended only for access by those 21 and older. The use of tinting is appropriate for this purpose in an area which promotes mixed use pedestrian activity by all ages and for a location which has direct access to pedestrian right of way. The use of tinting on the windows also preserves the life of products provided in the petitioner's legally permitted use, decreasing unnecessary waste. The use of tint and other theft deterrent measures also decreases the likelihood of afterhours unwanted behavior by not making the store's contents readily visible to those offsite, thus decreasing the likelihood of break-in attempts. The tinting does not negatively impact employee or customer safety within the store as the store layout preserves appropriate lines of site in and out of the store for safe ingress and egress by customers and employees.

2. The use or value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner because:

the use of window tint in the nearby vicinity is common for uses which cater to age restricted crowds. The owner and operator have invested heavily in the restoration and improvements for the property, inclusive of the large windows adjacent to the pedestrian right of way. The ability to have a safe and responsibly operated business on the property benefits adjoining property owners and the neighborhood at large. Using alternative window coverings on site would have a negative impact on the aesthetics of this pedestrian corridor.

3. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property because:

The ordinance does not provide for differentiation on window tinting by uses which are intended to serve only 21 and older customers. Accomplishing the same goal of appropriately shielding views from the pedestrian right of way with alternative mechanisms (drapes, shelving, displays, etc.) while permitted, would promote a less aesthetically pleasing view for both passers by and customers and employees, while not accomplishing the goals of the ordinance.

## LETTER OF SUPPORT

### Indianapolis Historic Preservation Commission

Department of Metropolitan Development | City of Indianapolis  
200 E. Washington Street, Suite 1842  
Indianapolis, IN 46204

November 21, 2024

RE: 2024-COA-353 (FS) & 2024-VHP-010

To Whom It May Concern:

Our business is located on Prospect Street – near Higher Grade’s location at 1126 Prospect Street. We understand they have petitioned for a variance due to the transparency of their tinted windows.

We do not think their tinted windows interfere with the current cosmetic landscape of Fountain Square and we support their Petition.

Most Sincerely,

Jan Adams - Upland  
Alyssa Pate - Glass House Salon  
M. P. - Hero House  
M. P. - Wild Fyre Tap & Wildeye Cannabis  
Scott Hughes - Wild Fyre Tap & Wildeye Cannabis  
D. Dardam - REVOLUTION  
Hali Martin - KUMAS





## Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

### IHPC STAFF REPORT SUMMARY

<b>Hearing Date:</b>	<b>April 2, 2025</b>
<b>Case Type:</b>	<b>Work Started Without Approval</b>
<b>Continued From:</b>	<b>March 5, 2025</b>
<b>Case Number:</b>	<b>2024-COA-446 (ONS) &amp; 2024-VHP-013</b>
<b>Property Address:</b>	<b>1565 North Park Avenue</b>
<b>Historic Area:</b>	<b>Old Northside</b>
<b>Township:</b>	<b>Center</b>
<b>Council District:</b>	<b>13</b>
<b>Applicant:</b>	<b>Anton Tsintsarski</b>
<b>Owner:</b>	<b>Anton Tsintsarski</b>
<b>Request:</b>	<b>Maintain fencing and landscape wall erected without approval, and a Variance of Development Standards for clear sight triangle encroachment.</b>
<b>Staff Recommendation:</b>	<b>DENIAL</b>
<b>Staff Reviewer:</b>	<b>Shelbi Long</b>
<b>Case At-A-Glance:</b>	<b>This request is to maintain fencing and a landscape wall installed without approval. The fencing and wall impedes into the clear sight triangle. Staff does not find that the petition meets the tests of the Findings and is recommending denial.</b>

### BACKGROUND OF PROPERTY

The subject property is a new construction single family dwelling. The house was approved by the Commission in November 2021 (2021-COA-446). As part of the new construction request, the owner was granted approval for construction in the required clear sight triangle and for less open space than required (2021-VHP-024). Approval was granted to permit the northwest corner of the house, the corner of the front porch and a fence on top of a landscaping wall to project into the required clear sight triangle (see approved site plan below).

In October 2024 staff received reports about the installation of fencing at the subject property that blocked views at the intersections of 16th Street and Park Avenue and 16th Street and the alley behind the house. Upon review it was determined the following was in violation:

1. the rear yard fencing was not installed per the approved plans and was installed in the clear sight triangle.
2. front yard fencing had been installed without approval and in the clear sight triangle.

3. the approved landscape wall was not constructed in compliance with the COA and variance, and further impacted the clear sight triangle (approved: 16" tall wall with a 32" tall fence, totaling 48" / 4 feet tall; constructed: 24" tall wall with a 48" tall fence on top of it, totaling 72" / 6 feet).

The owner was notified, and the rear yard fence violation was corrected. The owner is requesting approval to maintain the fence and wall installations as is on the front / west end of the property.

## REQUEST

The owner is requesting approval of a Variance of Development Standards to permit additional encroachment into the required clear sight triangle. Obstructions to the clear sight triangle are anything between the heights of 2.5 feet and 8 feet above grade. 16th Street is an arterial roadway which requires a 120-foot setback. Park Avenue is a local street which requires a 75-foot setback. Both 16th Street and Park Avenue are two-way streets. As proposed the further encroachment into the clear sight triangle would include the 4-foot-tall front yard fence and the 4-foot-tall fence on top of the 24" tall landscape wall (totaling 72" / 6 feet).

*The applicant has noted neighboring properties at Broadway and 16th Street that have fences in the clear sight triangle. Staff researched each and discovered the following:*

- 1564 Broadway Street - fencing was installed between 2016 and 2017, is 42" tall, approved under 2016-COA-490 by Commission, variance for taller fencing than permitted was approved. No variance for clear sight triangle encroachment was sought.
- 1567 Broadway Street - fencing has been on site since at least 2007, prior to current standards that came into effect with Indy Rezone.

## HISTORIC AREA PLAN RECOMMENDATION

Use new plant materials, fencing, walkways, and street furniture which are compatible with the character of the neighborhood in size, scale, material and color.

## STAFF RECOMMENDATION

*If the Commission finds a request to be inappropriate, a Certificate of Authorization could be granted, but only if the request meets one of the following criteria:*

1. Denial would result in substantial hardship,
2. Denial would deprive the owner of all reasonable use and benefit of the subject property, or
3. The effect of approval upon the historic area would be insubstantial.

Staff finds this request to be inappropriate and does not believe it qualifies for a Certificate of Authorization for the following reasons:

1. No evidence of a financial hardship has been presented. Any hardship in this situation was self-imposed by the owner's failure to seek the necessary approvals prior to the commencement of work.
2. Denial will not deprive the owner of the use of the property.
3. The effect on the historic area would be substantial as the request negatively impacts public safety and welfare by impeding visibility at the intersection in question.

Staff sympathizes with the owner and their concerns. However, the clear sight triangle was created to ensure that intersections of the public right-of-way could be safely navigated by both motor vehicle operators and pedestrians. 16th Street is an arterial roadway where traffic is heavily and fast moving. Given the street and traffic type, longer viewsheds are an important factor for vehicle and pedestrian safety. Staff believes this petition does not meet the test of the findings as the request negatively impacts public safety and welfare by impeding visibility at the intersection. Staff has not found anything unique to this site that makes it impossible to comply with the zoning code. Staff does not find that there are any

practical difficulties by the strict application of the zoning code as the lack of fencing does not prevent use of the property.

The applicant has provided videos and images of activities taking place around the subject property. Those are included with the Commission hearing packet. While these visuals show safety concerns in the neighborhood, staff does not find that they address the appropriateness of the request or support the Findings of Fact for encroachment into clear sight triangle.

The clear sight triangle was established to ensure visibility of roadways is maintained for safe usage for all. A minor encroachment, as was previously approved for the site, may be acceptable in some cases. However, staff believes that increasing that impact by installing additional and taller elements is not advisable, especially in this location, and therefore we recommend denial. The owner will need to remove the fencing from the front yard and complete one of the following:

1. Wall and fence: reduce the wall height and fence on top of it to the heights originally approved under 2021-COA-446 and 2021-VHP-024.
2. Wall only: remove the fence from the top of the wall, maintaining only the existing wall as is (wall will need approval to be maintained at existing height).
3. Remove the wall and fence.

**STAFF RECOMMENDED MOTION**

**2024-COA-446 (ONS):**

**To deny** a Certificate of Appropriateness or Authorization to maintain fencing and wall erected without approval, and a Variance of Development Standards for clear sight triangle encroachment.

**Removal and any correction work shall be completed no later than JUNE 4, 2025. Once completed, owner must contact IHPC staff for an inspection. Failure to comply will result in this case being forwarded to the City Prosecutor for enforcement.**

*Final Inspection \_\_\_\_\_ Date \_\_\_\_\_*

**2024-VHP-013:**

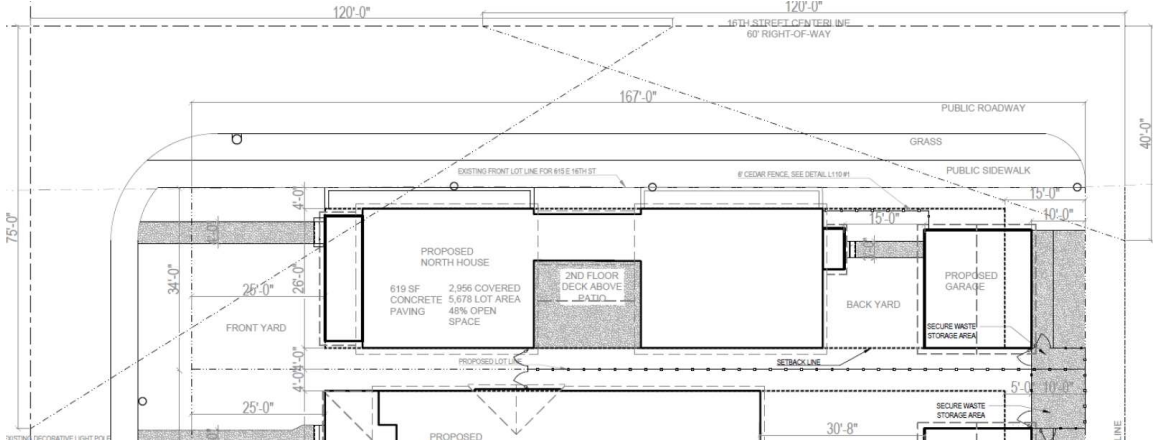
No action is required.

**EXHIBITS**

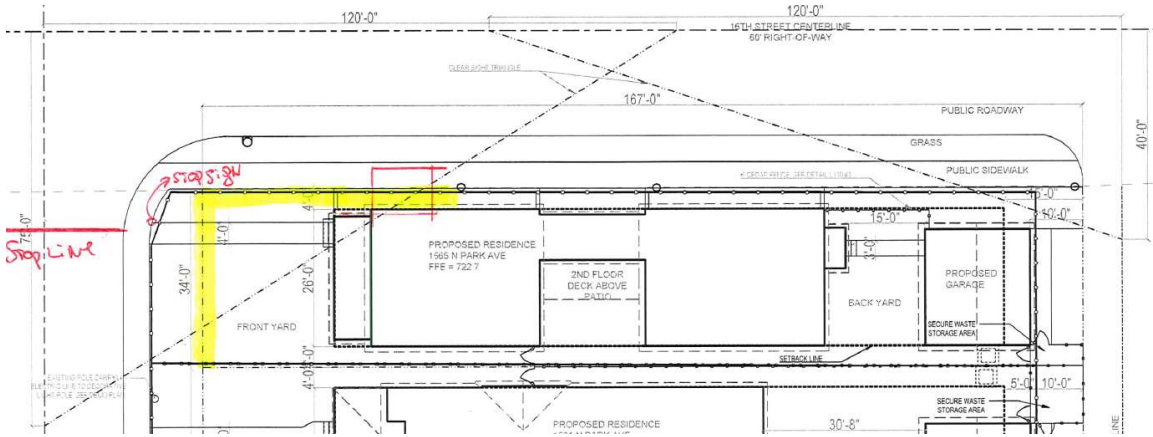
**LOCATION OF SUBJECT PROPERTY**



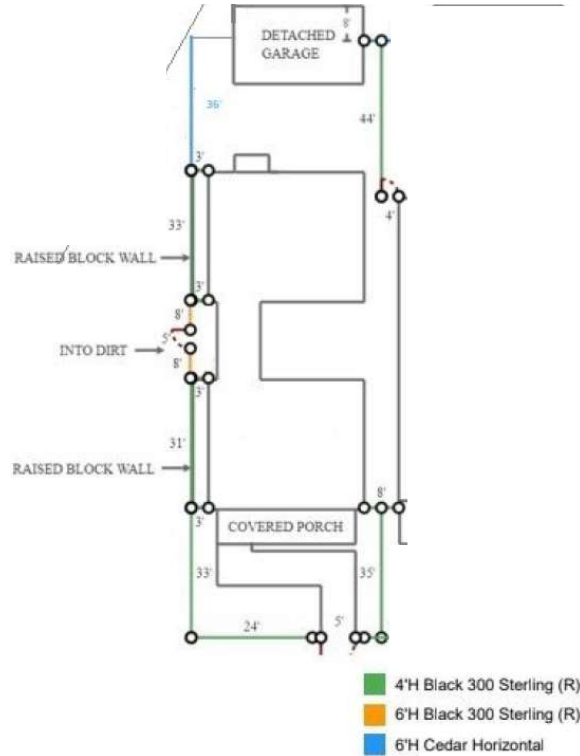
# APPROVED SITE PLAN REVIEWED BY COMMISSION



# EXISTING SITE PLAN



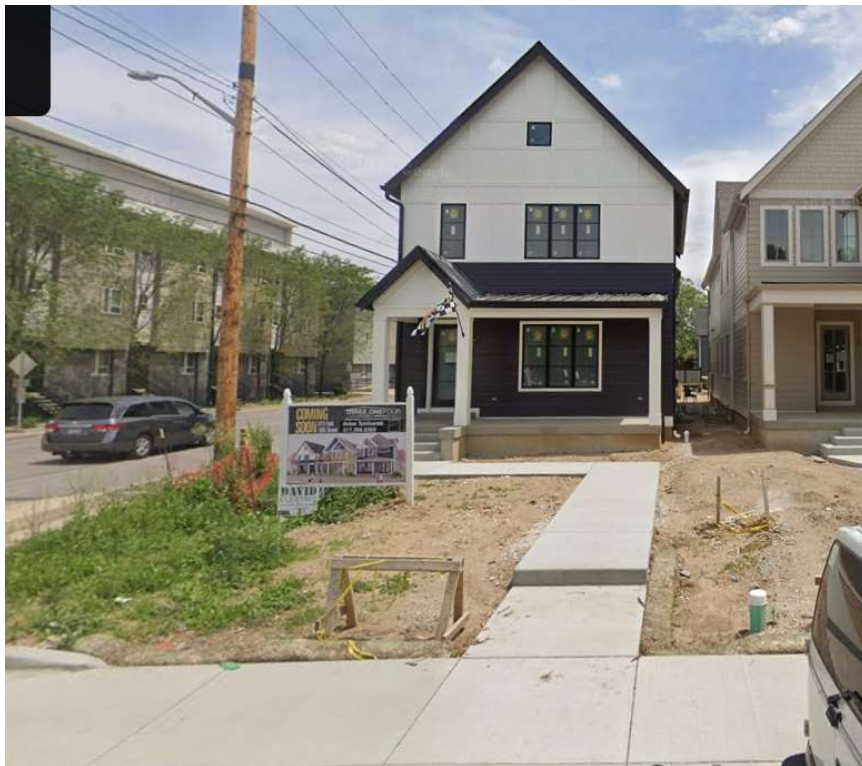
# EXISTING FENCE DIAGRAM



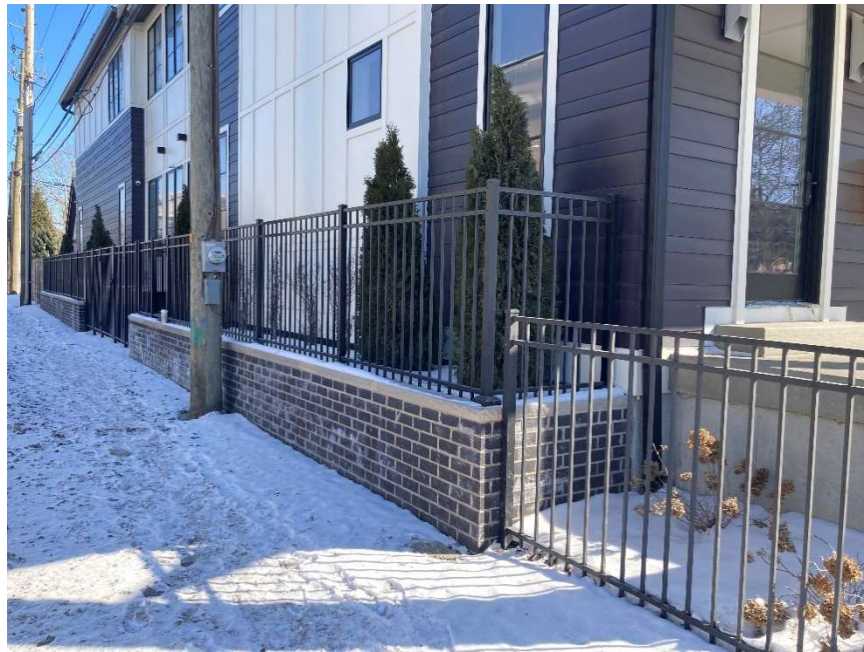
**SUBJECT PROPERTY**



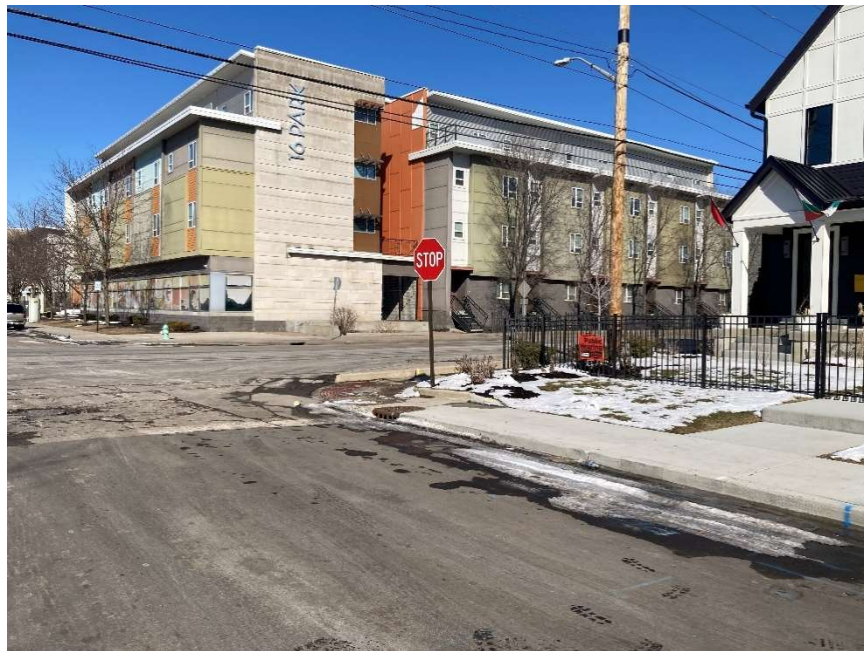
**Existing front / west elevation – showing front yard fence and 16<sup>th</sup> Street**



**Front / west elevation prior to fence installation**



**4' tall front yard fencing installed (right of image) and 24" tall landscape wall with a 4' tall fence on top of it (left of image)**



**View from Park Avenue looking northeast at 16<sup>th</sup> Street intersection and impacted clear sight triangle**



**View from Park Avenue looking northeast at 16<sup>th</sup> Street intersection and impacted clear sight triangle**



**View from Park Avenue stop line, looking northeast at the intersection and impacted clear sight triangle**



**View from Park Avenue stop line, looking northeast at the intersection and impacted clear sight triangle**

### FINDINGS OF FACT

1. The grant will not be injurious to the public health, safety, morals, and general welfare of the community because:

The clear sight triangle is minimally affected, with only approximately 2 feet at the edge of the area impacted by the 24-inch flower bed wall topped by a 4-foot fence. Additionally, the 4-foot privacy fence in the front yard does not significantly obstruct the view to the east of 16th St. The stop sign line is located 43 feet from the centerline of 16th Street, ensuring a clear and unobstructed view to the east. Lastly, the front fence complements neighboring properties, creating a more consistent and aesthetically pleasing streetscape for the community

2. The use or value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner because:

The fence is an integral part of the Park 1 development, which includes three new homes. The fence matches the style and height of the neighboring properties within the development, ensuring consistency in appearance and maintaining the overall aesthetic appeal of the community. This uniformity contributes positively to property values and aligns with the character of the surrounding area.

3. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property because:

it is a corner lot located on a very busy arterial roadway. Additionally, there is a bus stop directly across the street, which results in individuals frequently seeking shade on my porch during the summer months posing safety concerns for me and my family. The high traffic generated by the grocery store across the street further exacerbates these unsafe conditions and contributes to significant amounts of trash accumulating in the front of my property every day. Installing the proposed fence would help address these issues by providing a barrier for privacy, safety and preventing the daily intrusion of trash. The property is located in close proximity to a public sidewalk and a high-traffic street where speeding is a frequent issue.





## Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

### IHPC STAFF REPORT SUMMARY

**Hearing Date:** April 2, 2025  
**Case Type:** Work Started Without Approval  
**Continued From:**  
**Case Number:** 2025-COA-039  
**Property Address:** 711 E. Vermont Street  
**Historic Area:** Lockerbie Square  
**Township:** Center  
**Council District:** 13  
**Applicant:** Brian Buehler  
**Owner:** AlSCO Inc.  
**Request:** Temporarily retain chain link fencing installed without approval  
**Staff Recommendation:** **Certificate of Authorization**

**Staff Reviewer:** Emily Jarzen

**Case At-A-Glance:** This application is to retain chain link fencing installed without approval roughly 10 years ago. The applicant will be vacating the site and would like to keep the fencing for security for a temporary amount of time. Staff is recommending a Certificate of Authorization, with a hard removal deadline.

### BACKGROUND OF PROPERTY

This site was formerly known as the Mechanics Laundry site, and it occupies the entire area from College to Davidson and New York to Vermont Streets. The business started as the Overall Cleaning Company in 1929 in an old bakery building at the southwest corner of Fulton & Vermont Streets. It later became Mechanics Laundry and expanded with new buildings on College Avenue. The original College Avenue portion appears to be the section with the arched roof and parapet, which was built between 1941 and 1954. Prior to construction of the laundry, the block was filled with residences. It is now the AlSCO site.

In August 2011 the IHPC approved a Certificate of Authorization to demolish the NE most section of buildings, under the address 310 N. Davidson. The buildings were demolished to permit remediation of contaminants in the soil and groundwater. The corner where the buildings came down is the location of the chain link fencing. In 2011, there were stipulations that the black metal fencing be extended to encompass the demolition site, and the parking lot and landscape buffer built to meet minimum zoning code standards. A new COA application was expected to be submitted for those scopes of work, but were not.

## REQUEST

The request is to retain the 6' tall chain link construction fencing installed around the parking lot. This fence is not anchored into the ground. The applicant has agreed to relocate the fencing back onto their own property, so it is out of the right-of-way. They will remove the fencing before they vacate the site for their new location close to the airport.

## HISTORIC AREA PLAN RECOMMENDATION

- *Recommended: Front yard fences, if desired, should be open in style and relatively low (usually not in excess of 42"). Picket, wrought-iron, or other ornamental fence may be appropriate.*
- *Not Recommended: Avoid inappropriate fence types such as chain link, basket weave, shadow box, split rail, stockade and louvered.*

## STAFF RECOMMENDATION

The State statute reads: "... the Commission shall issue a certificate of authorization... [if it] finds an application to be inappropriate, but that its denial would result in substantial hardship or deprive the owner of all reasonable use and benefit of the subject property, or that its effect upon the historic area would be insubstantial."

### **Reasons to Approve a Certificate of Authorization:**

Staff believes that the continued retention of the temporary fence, for a limited amount of time, would be an insubstantial effect, since it is not permanent and will have a required end date for removal. The owner is willing to pull the fence out of the ROW. This is a safety hazard since these are individual panels that can and have fallen over.

In 2011, as part of the demolition approval, there were stipulations that landscaping and fencing be completed. No site plan or other details were submitted during that demolition, nor were there sign-offs or deadlines included in the authorization, as would typically be expected.

## STAFF RECOMMENDED MOTION

**COA #2025-COA-039 (LS):**

**To approve a Certificate of Authorization to retain the chain link fencing, relocated out of the right-of-way, for a set period of time, per submitted documentation and subject to the following stipulations:**

1. **Fencing must be removed from the right-of-way and installed on the owner's property, per the submitted site plan included in this staff report. Fencing must be relocated no later than April 30, 2025. Approved: \_\_\_\_\_ Date: \_\_\_\_\_**
2. **Fencing must be removed from the site no later than December 31, 2025 or when Alsco vacates the site, whichever comes first. Approved: \_\_\_\_\_ Date: \_\_\_\_\_**

EXHIBITS



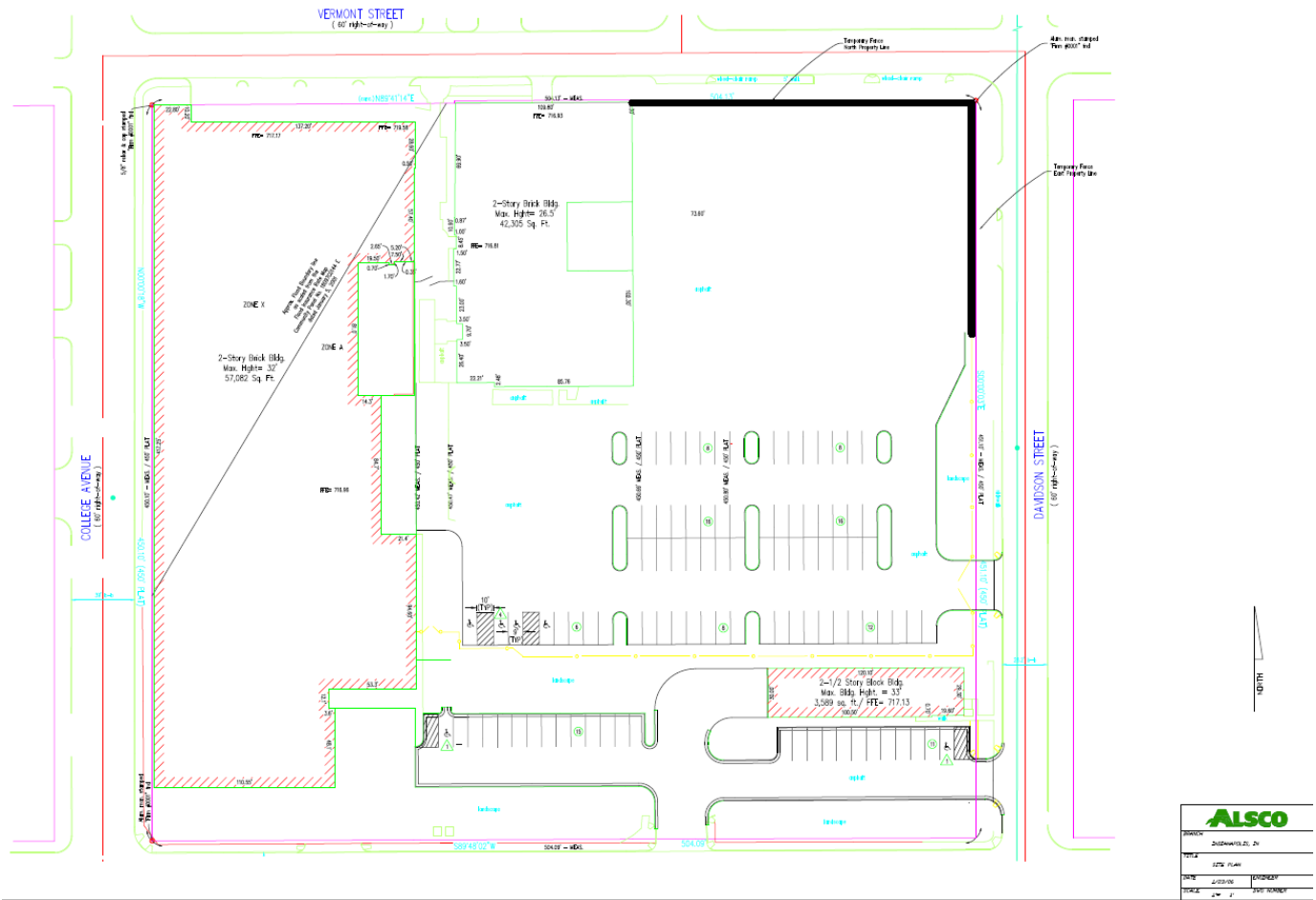
Location of subject property



August 2024 Google Street View



October 2011 Google Street View, prior to building demolition



Submitted site plan with relocated fence out of the right-of-way

<b>ALSCO</b>	
PROJECT:	2024040101_24
DATE:	2/27/2024
SCALE:	1" = 10'
DESIGNED BY:	2024040101_24
CHECKED BY:	2024040101_24

INDIANAPOLIS HISTORIC PRESERVATION COMMISSION

CERTIFICATE OF AUTHORIZATION

This certificate should be displayed in a location visible from the street.

APPROVED

AUG 03 2011

INDIANAPOLIS HISTORIC PRESERVATION COMMISSION

FILE NUMBER: 2011COA244 DATE APPROVED: August 03, 2011 HISTORIC AREA: Lockerbie Square

FOR WORK TO BE DONE AT: 310 N. DAVIDSON ST (AKA 338 N. DAVIDSON)
APPLICANT: ALSICO INC
ADDRESS: 505 E SOUTH TEMPLE CITY/STATE: SALT LAKE CITY, UT ZIP CODE: 841021004

TYPE OF WORK APPROVED UNDER THIS CERTIFICATE:

Approval of a Certificate of Authorization to demolish the northeast-most section of buildings as indicated on submitted site maps, per submitted documentation and subject to the following stipulations:

- 1. The demolition must be undertaken and the site cleared in accordance to the regulations set forth in the Revised Code of the Consolidated City and County.
2. The applicant shall submit a separate COA application for approval of a site plan for the vacant lot.
3. Black iron/steel fencing matching existing shall be extended to encompass the demolition site.
4. The parking lot and buffer shall be built to meet at least minimum standards set forth in the zoning code and Lockerbie Square Plan.

NOTE 1: All necessary permits to complete this work must be obtained from the Department of Code Enforcement before work begins.
NOTE 2: Any future development of the site must be approved by the IHPC before construction.

General Note: Permits are required for some work. Please contact the Permits office at 1200 Madison Ave, (317) 327-8700, to acquire all applicable permits prior to starting any project.

BY: [Signature]
Diana M. H. Brenner, FAIA, IHPC Secretary

[X] IHPC HEARING [ ] ADMINISTRATIVE HEARING [ ] STAFF APPROVAL

NOTICE: THIS CERTIFICATE WILL BECOME VOID AFTER: 8/3/2012. CONTACT THE IHPC OFFICE IF AN EXTENSION OF THE EXPIRATION DATE IS NEEDED.

THIS CERTIFICATE IS A PREREQUISITE TO THE ISSUANCE OF ANY BUILDING OR DEMOLITION PERMITS, IMPROVEMENT LOCATION PERMITS, WHEN REQUIRED, AND TO THE GRANTING OF ANY USE VARIANCES OR REZONINGS IN ALL DESIGNATED HISTORIC AREAS OF MARION COUNTY, INDIANA.

INDIANA CODE 36-7 CHAPTER 11.1

THIS CERTIFICATE IS NOT IN AND OF ITSELF PROOF THAT THE MATERIALS AND DOCUMENTS PRESENTED TO OBTAIN A BUILDING, DEMOLITION, IMPROVEMENT LOCATION, OR OTHER PERMITS REFLECT THE SCOPE OF WORK APPROVED BY THE IHPC, UNLESS SAID MATERIALS OR DOCUMENTS BEAR AN APPROVAL STAMP AND DATE FROM THE INDIANAPOLIS HISTORIC PRESERVATION COMMISSION.

[ ] RECORDS [ ] BUILDING FILE [X] APPLICANT

2011 COA for demolition

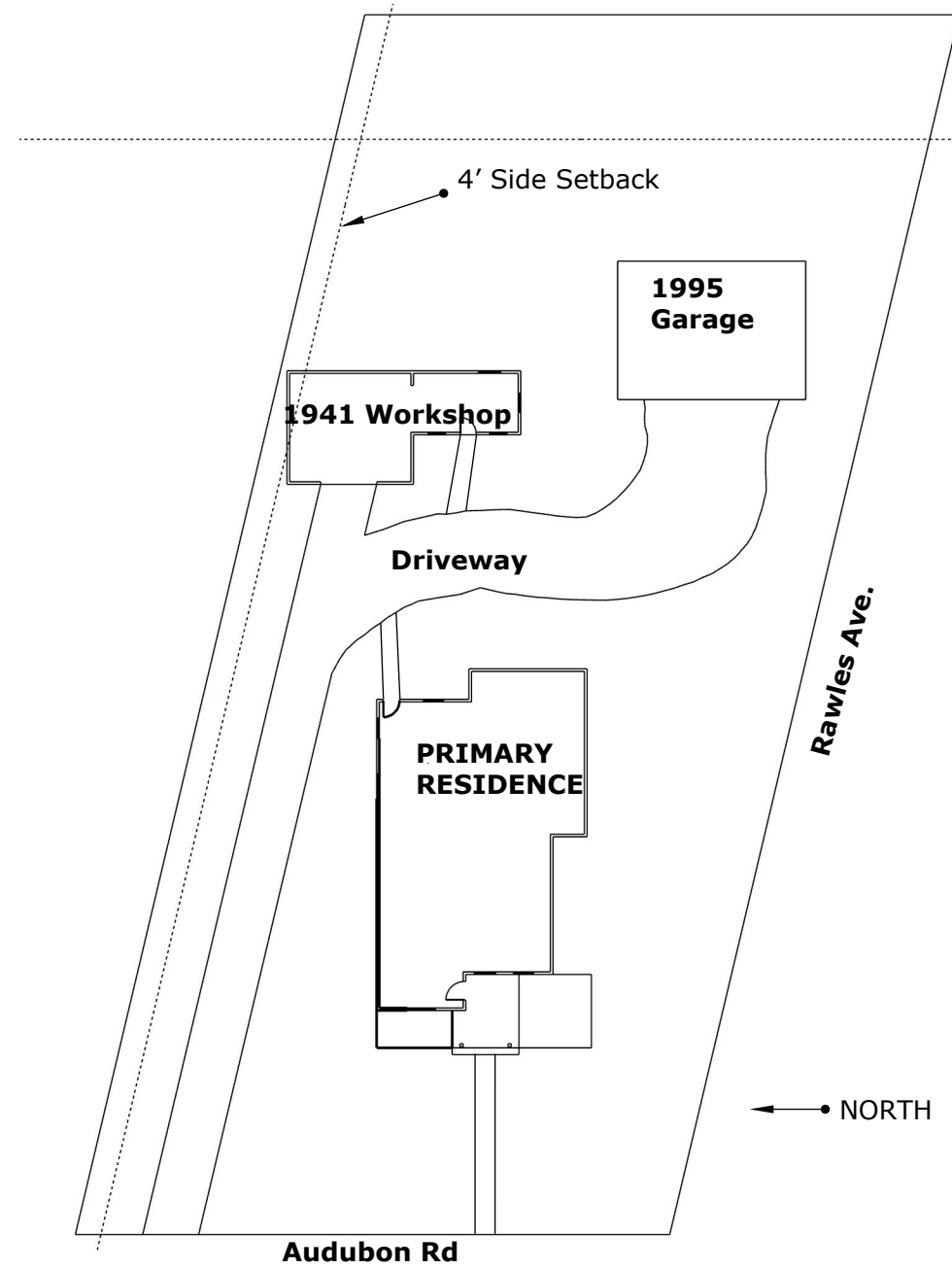


**APRIL 2, 2025  
IHPC HEARING SUBMITTALS**



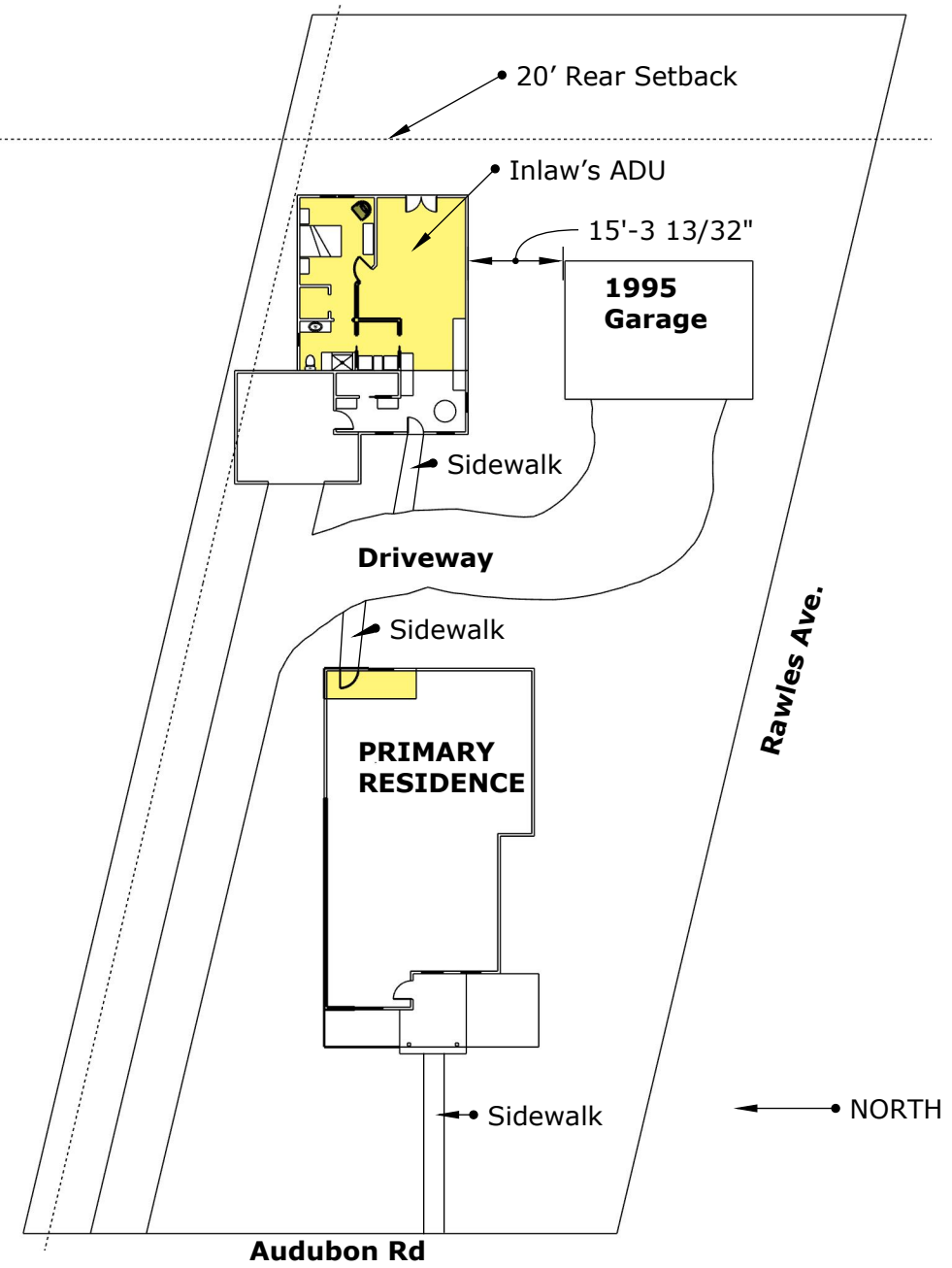
# **2025-COA-051 (IRV) & 2025-VHP-002**

## **407 SOUTH AUDUBON ROAD**



SITE PLAN As-Built

Scale 1" = 30'0"



SITE PLAN Proposed

Scale 1" = 30'0"



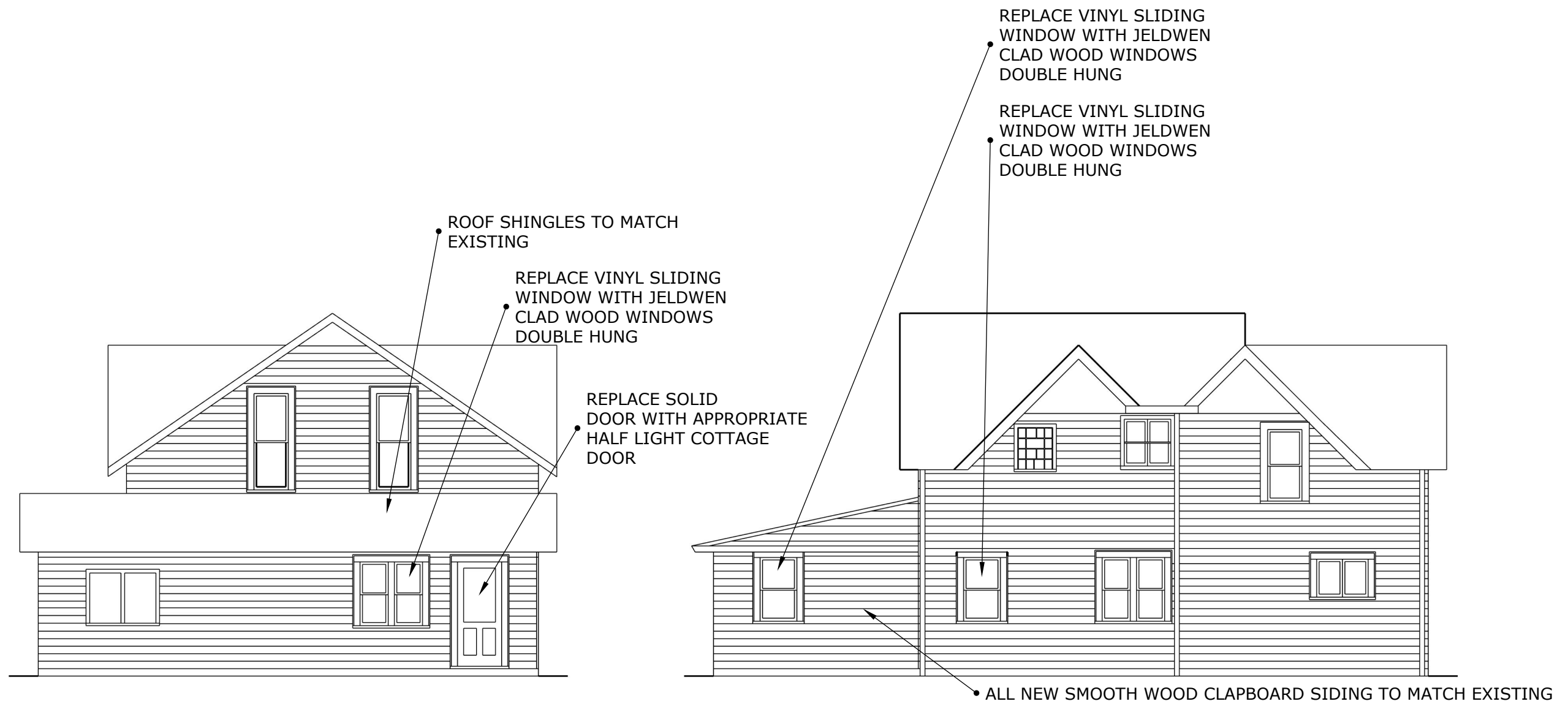
Heather Sullivan  
 Graydon Renovation  
 1114 East 9th Street  
 Indianapolis, IN 46202  
 619-316-5130  
 317-459-8016

**407 S. AUDUBON RD.**

**INDIANAPOLIS, IN 40219**

**A1**





407 S. AUDUBON RD. PROPOSED EAST ELEVATION SCALE 1/8" = 1'0"

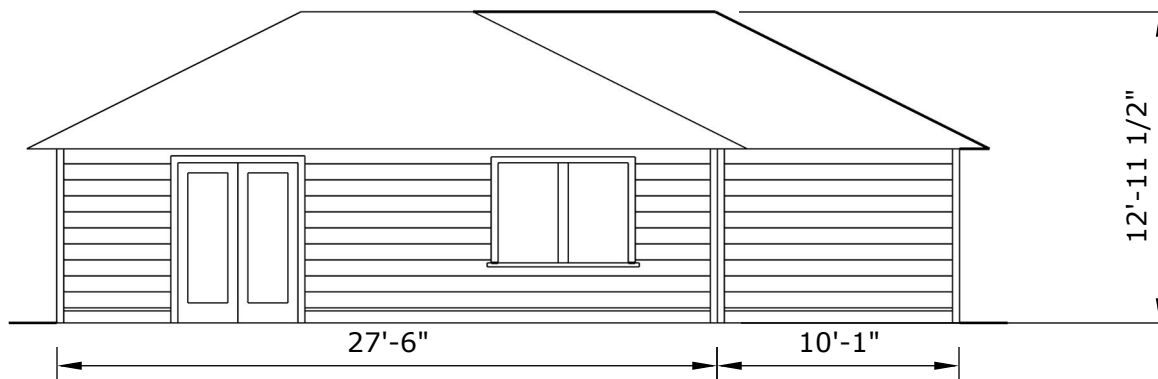
407 S. AUDUBON RD. PROPOSED NORTH ELEVATION SCALE 1/8" = 1'0"



Heather Sullivan  
 Graydon Renovation  
 1114 East 9th Street  
 Indianapolis, IN 46202  
 619-316-5130  
 317-459-8016

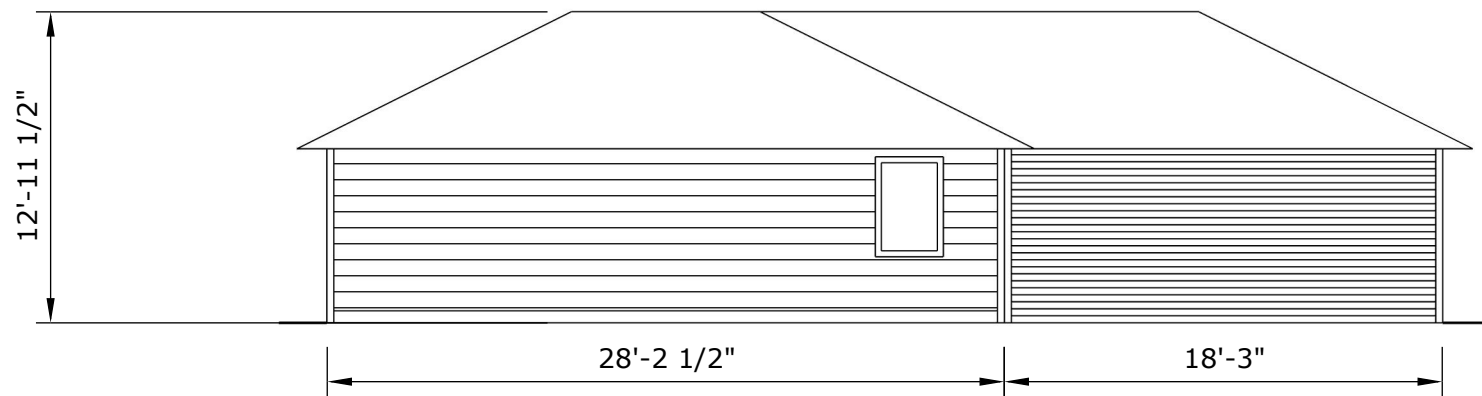
**407 S. AUDUBON RD.**  
**INDIANAPOLIS, IN 40219**

**A4**



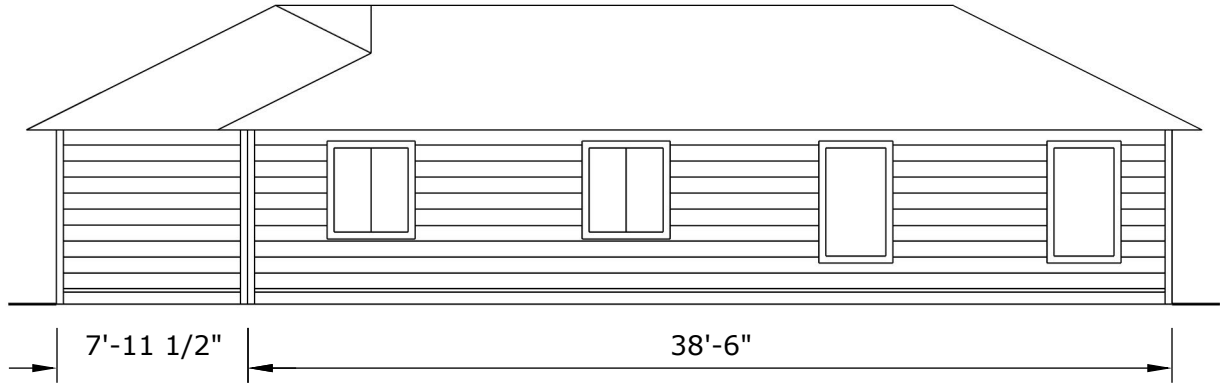
407 S. Audubon Rd. ADU East Elevation

SCALE 1/8" - 1'0"



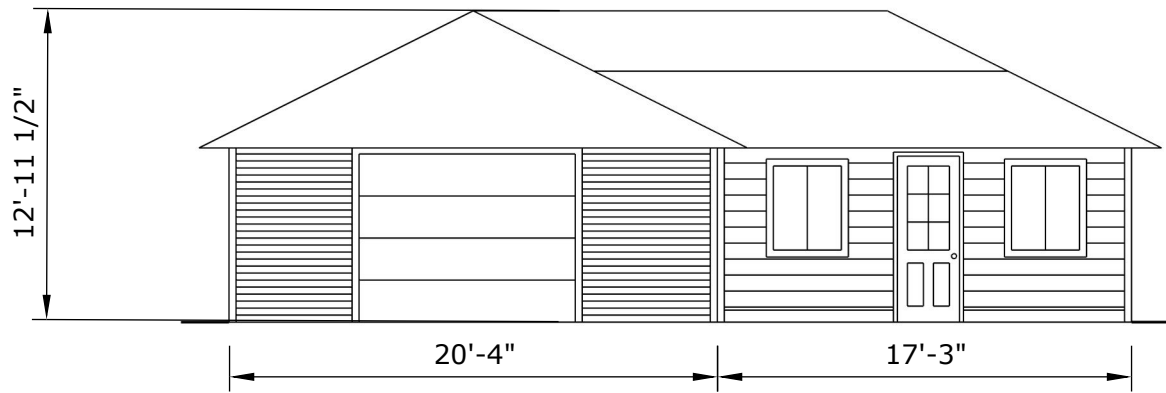
407 S. Audubon Rd. ADU North Elevation

SCALE 1/8" = 1'0"



407 S. Audubon Rd. ADU South Elevation

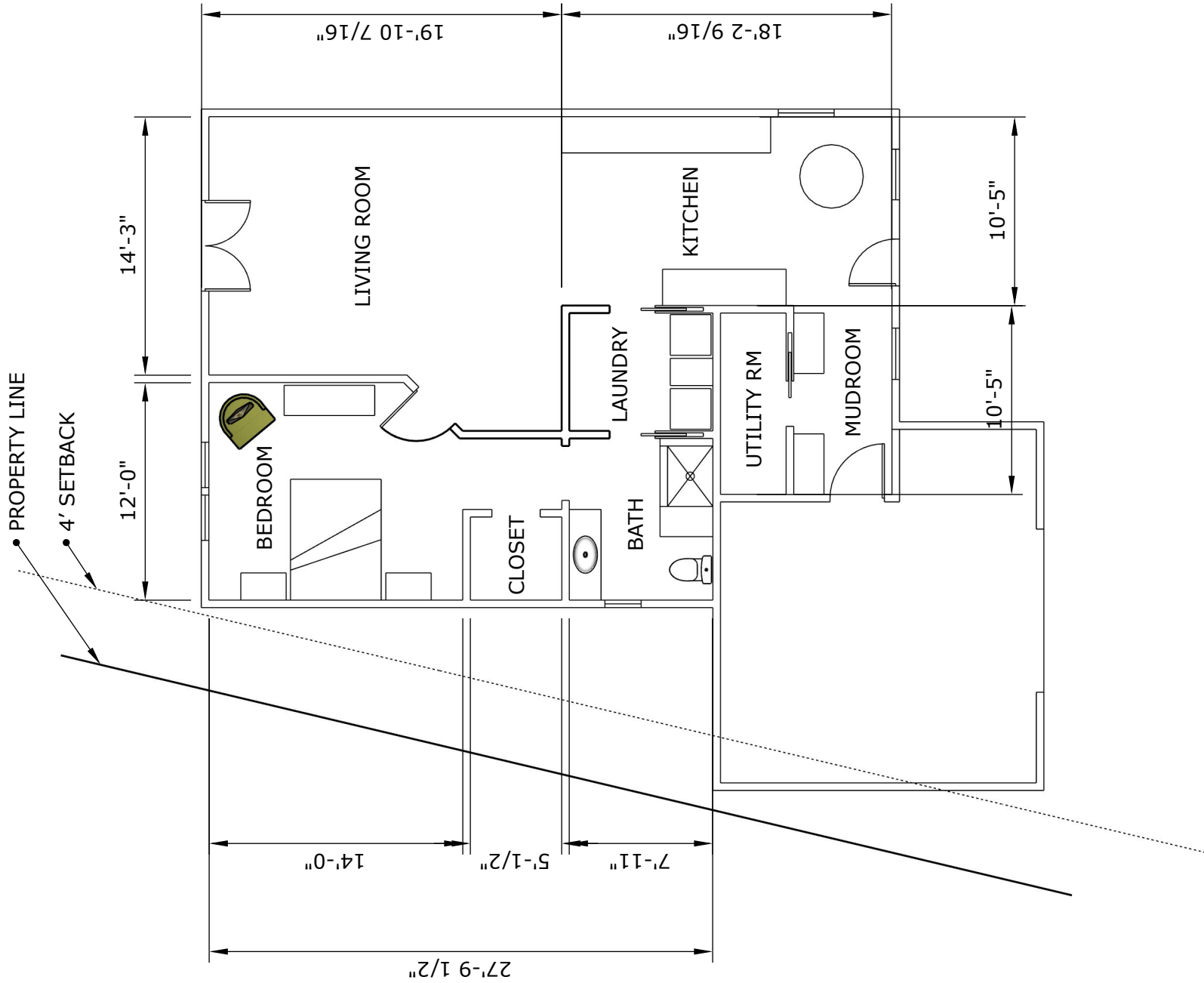
SCALE 1/8" = 1'0"



407 S. Audubon Rd.

SCALE 1/8" = 1'0"

Existing - No Changes

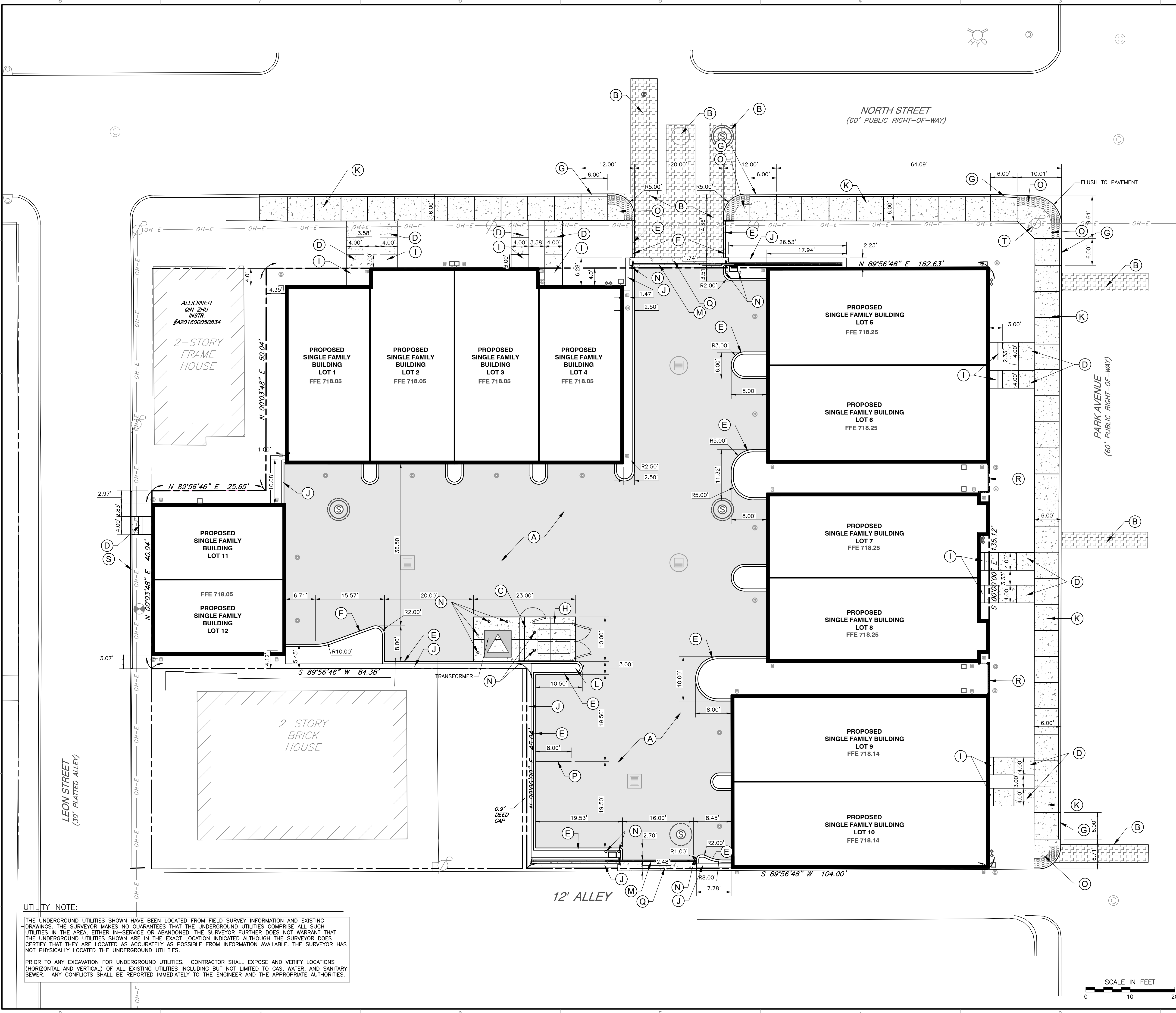




**2024-COA-406 (LS)**  
**544 NORTH PARK AVENUE**







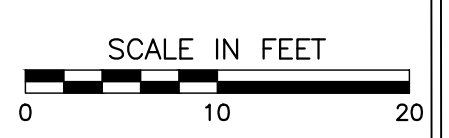
**SITE LEGEND:**

	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED RIGHT-OF-WAY PAVEMENT
	PROPOSED ADA PARKING SYMBOL, PARKING BUMPER, SIGN, DETECTABLE WARNING STRIP

- SITE KEY NOTES:**
- (A) ASPHALT PAVEMENT; SEE DETAIL ON SHEET C800
  - (B) RIGHT-OF-WAY PAVEMENT; SEE DETAIL ON SHEET C800
  - (C) CONCRETE PAVEMENT; MEDIUM BROOM FINISH; SCORING PATTERN AS SHOWN; SEE DETAIL ON SHEET C800
  - (D) CONCRETE WALK; MEDIUM BROOM FINISH SEE DETAIL ON SHEET C800
  - (E) STRAIGHT 6" CONCRETE CURB; SEE DETAIL 4 ON SHEET C800
  - (F) TAPER LAST 2' OF CURB
  - (G) TRANSITIONAL CURB
  - (H) DUMPSTER ENCLOSURE; SEE DETAIL ON SHEET C800
  - (I) CAST-IN-PLACE CONCRETE STEP(S); SEE DETAIL ON SHEET C800.
  - (J) 6' HT. PRIVACY WALL; FREESTANDING WALL MATERIALS AND FINISHES TO MATCH ARCHITECTURE.
  - (K) COMBINED CURB AND WALK; SEE DETAIL ON SHEET C800.
  - (L) AREA LIGHT POLE FOUNDATION; POLE AND FIXTURE TO BE SELECTED BY OWNER; SEE DETAIL ON SHEET C800.
  - (M) SLIDE GATE AND EQUIPMENT TO BE SELECTED BY OWNER.
  - (N) PIPE BOLLARD; SEE DETAIL ON SHEET C800.
  - (O) SIDEWALK CURB RAMP TYPE 'H'; SEE DETAIL ON SHEET C800
  - (P) 4" WHITE PAINTED LINE
  - (Q) CONCRETE RIBBON CURB; SEE DETAIL ON SHEET C800.
  - (R) 6' HEIGHT METAL PICKET FENCE; TO BE SELECTED BY OWNER.
  - (S) DOLIMITIC LIMESTONE CURB TO MATCH EXISTING CURB
  - (T) PROVIDE EXPANSION JOINT MATERIAL BETWEEN EX. POWER POLE NEW CONCRETE WALK

- GENERAL SITE LAYOUT NOTES:**
1. THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND INVERTS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
  2. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, INCLUDING IRRIGATION LINES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. RELOCATE EXISTING UTILITIES AS INDICATED.
  3. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES, INCLUDING IRRIGATION SLEEVING, PRIOR TO INSTALLATION OF PAVED SURFACES.
  4. SITE WORK CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH TO ALL SURFACES. SITE WORK CONCRETE SHALL BE CLASS A (4,000 PSI @ 28 DAYS) UNLESS OTHERWISE NOTED.
  5. ALL DAMAGE TO EXISTING PAVEMENT TO REMAIN WHICH RESULTS FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO REPAIR EXISTING PUBLIC STREETS TO MEET OR EXCEED PRE-DEVELOPMENT CONDITIONS INCLUDING SOUTHEASTERN AVENUE AND WASHINGTON STREET. CONTRACTOR TO VERIFY PRE-CONSTRUCTION CONDITIONS WITH PHOTOGRAPHS PRIOR TO THE START OF CONSTRUCTION.
  6. SITE DIMENSIONS SHOWN ARE TO THE FACE OF CURB, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  7. CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT / RECORD DRAWINGS ON THE JOB SITE DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.
  8. REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS AND LOCATIONS OF UTILITY SERVICE ENTRY LOCATIONS AND PRECISE BUILDING DIMENSIONS.
  9. THIS SITE LAYOUT IS SPECIFIC TO THE APPROVALS NECESSARY FOR THE CONSTRUCTION IN ACCORDANCE WITH THE CITY OF INDIANAPOLIS. NO CHANGES TO THE SITE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER. CHANGES MADE TO THE SITE LAYOUT WITHOUT APPROVAL IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. CHANGES INCLUDE BUT ARE NOT LIMITED TO: INCREASED IMPERVIOUS PAVEMENT, ADDITION / DELETION OF PARKING SPACES, MOVEMENT OF CURB LINES, CHANGES TO DRAINAGE STRUCTURES AND PATTERNS, LANDSCAPING, ETC.

**SITE DATA:**  
 ZONING DATA:  
 EXISTING ZONING CLASSIFICATION:  
 CBD-2 - CENTRAL BUSINESS DISTRICT TWO  
 ADJACENT ZONING CLASSIFICATIONS:  
 NORTH..... CBD-2 - CENTRAL BUSINESS DISTRICT TWO  
 SOUTH..... D-8 - DWELLING DISTRICT EIGHT  
 EAST..... CBD-2 - CENTRAL BUSINESS DISTRICT TWO  
 WEST..... CBD-2 - CENTRAL BUSINESS DISTRICT TWO  
 SITE DATA:  
 SITE AREA - 0.47Acres



**UTILITY NOTE:**  
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.  
 PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES, CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, AND SANITARY SEWER. ANY CONFLICTS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER AND THE APPROPRIATE AUTHORITIES.

**REVISION RECORD**

NO.	DATE	DESCRIPTION
1	02/18/2021	FINAL CONSTRUCTION PLANS

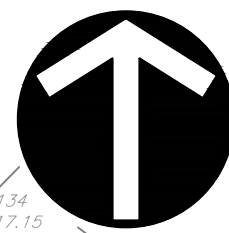
**Integra Builders, LLC**  
 LIBERTY PLACE AT LOCKERBIE SQUARE  
 528 PARK AVENUE  
 INDIANAPOLIS, INDIANA

**Civil & Environmental Consultants, Inc.**  
 550 E. Ohio Street - Suite G - Indianapolis, IN 46204  
 317-655-7777 - 877-746-0749  
 www.cechinc.com

**SITE LAYOUT PLAN**

DATE:	02/18/2021	DRAWN BY:	JCB
DWG SCALE:	1"=10'	CHECKED BY:	ACH
PROJECT NO.:	301-968	APPROVED BY:	ACH

DRAWING NO. **C200**  
 SHEET 04 OF 17



NORTH

**GRADING LEGEND:**

- 800 PROPOSED INDEX CONTOUR
- 798 PROPOSED INTERMEDIATE CONTOUR
- PROPOSED DRAINAGE SWALE
- PROPOSED GRADE BREAK
- PROPOSED STORM SEWER LINE
- PROPOSED UNDERDRAIN
- 766.90 PROPOSED SPOT ELEVATION
- 788.50 PROPOSED CURB SPOT ELEVATION; TOP OF CURB ON TOP, GUTTER ELEVATION ON BOTTOM
- 798.00

**ABBREVIATIONS:**  
 TC = TOP OF CURB  
 BC = BOTTOM OF STEP  
 ME = MATCH EXISTING

**GENERAL GRADING NOTES:**

1. CONTRACTOR SHALL STRICTLY ADHERE TO THE EROSION CONTROL MEASURES PREPARED FOR THIS PROJECT.
2. EARTHWORK SHALL INCLUDE CLEARING AND GRUBBING, STRIPPING AND STOCKPILING TOPSOIL, MASS GRADING, EXCAVATION, FILLING, UNDER CUT AND REPLACEMENT, IF REQUIRED, AND COMPACTION.
3. CONTRACTOR TO REFILL UNDERCUT AREAS WITH SUITABLE MATERIAL AND COMPACT AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
4. PLACE TOPSOIL OVER THE SUBGRADE OF UNPAVED, DISTURBED AREAS TO A DEPTH INDICATED ON THE LANDSCAPE PLANS (6" MINIMUM). PAVEMENT SLOPES ACROSS ACCESSIBLE PARKING STALLS AND ADJOINING ACCESS AISLES SHALL BE MAXIMUM 2%.
5. ALL SLOPES SHALL BE 3:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
6. ALL AREAS NOT PAVED SHALL BE STABILIZED IN ACCORDANCE WITH THE EROSION CONTROL PLAN, UNLESS NOTED OTHERWISE.
7. ALL EXCESS SOIL MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED. SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
8. DRAINAGE SYSTEMS SHALL BE INSPECTED DURING CONSTRUCTION BY A REGISTERED PROFESSIONAL ENGINEER OR LAND SURVEYOR. WITHIN 30 DAYS AFTER COMPLETION OF ON AND OFF-SITE DRAINAGE FACILITIES, THE REGISTERED PROFESSIONAL SHALL CERTIFY IN WRITING THE COMPLIANCE OF THE DRAINAGE FACILITIES PER LOCAL REQUIREMENTS.
9. CONTRACTOR SHALL PERPETUATE ALL DRAINS AND TILES ENCOUNTERED DURING CONSTRUCTION. COORDINATE WITH ENGINEER OF RECORD REGARDING THE CONNECTION TO THE PROPOSED STORM SEWER SYSTEM.
10. STORM STRUCTURES RECEIVING SUB-SURFACE DRAINS (SSD) SHALL HAVE BOTH CONNECTIONS CORE DRILLED. T OR Y BLIND CONNECTIONS ARE NOT ALLOWED.
11. REFER TO AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT BY ATC DATED JUNE 8, 2018.

**BENCHMARKS:**

UNLESS OTHERWISE NOTED, ELEVATIONS SHOWN HEREON ARE BASED UPON SAID OPUS SOLUTION AND ARE ON THE 1988 NORTH AMERICAN VERTICAL DATUM (NAVD88). THIS ORTHOMETRIC ELEVATION WAS DERIVED UTILIZING THE MOST RECENT GEODAL MODEL (GEOID12B). IT IS MY OPINION THAT THE UNCERTAINTY IN THE ELEVATION OF THE PROJECT BENCHMARK DOES NOT EXCEED 0.10 FOOT.

**BM#1:** SPINDLE IN NORTH SIDE OF POWER POLE LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF NORTH STREET AND LEON STREET. ELEV. = 717.76

**BM#2:** CUT SQUARE ON CONCRETE CURB AT P.C. LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF PARK AVENUE AND THE 12' ALLEY ALONG THE SOUTH SIDE OF THE SITE. ELEV. = 717.53

**UTILITY NOTE:**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES, CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, AND SANITARY SEWER. ANY CONFLICTS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER AND THE APPROPRIATE AUTHORITIES.

**FLOOD NOTE:**

THE PARCEL DESCRIBED AND SHOWN HEREIN LIES WITHIN ZONE "X" AS SAID PARCEL PLOTS ON COMMUNITY PANEL NUMBER 180159 0144 E (DATED JANUARY 05, 2001) OF THE FLOOD INSURANCE RATE MAPS FOR THE CITY OF INDIANAPOLIS, INDIANA. THE ACCURACY OF THIS FLOOD HAZARD STATEMENT IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP.

**REVISION RECORD**

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 LIBERTY PLACE AT LOCKERBIE SQUARE  
 528 PARK AVENUE  
 INDIANAPOLIS, INDIANA

**GRADING PLAN**

DATE:	DRAWN BY:	JCB
02/18/2021		
PROJECT NO.:	1"=10'	ACH
		301-968
APPROVED BY:		ACH

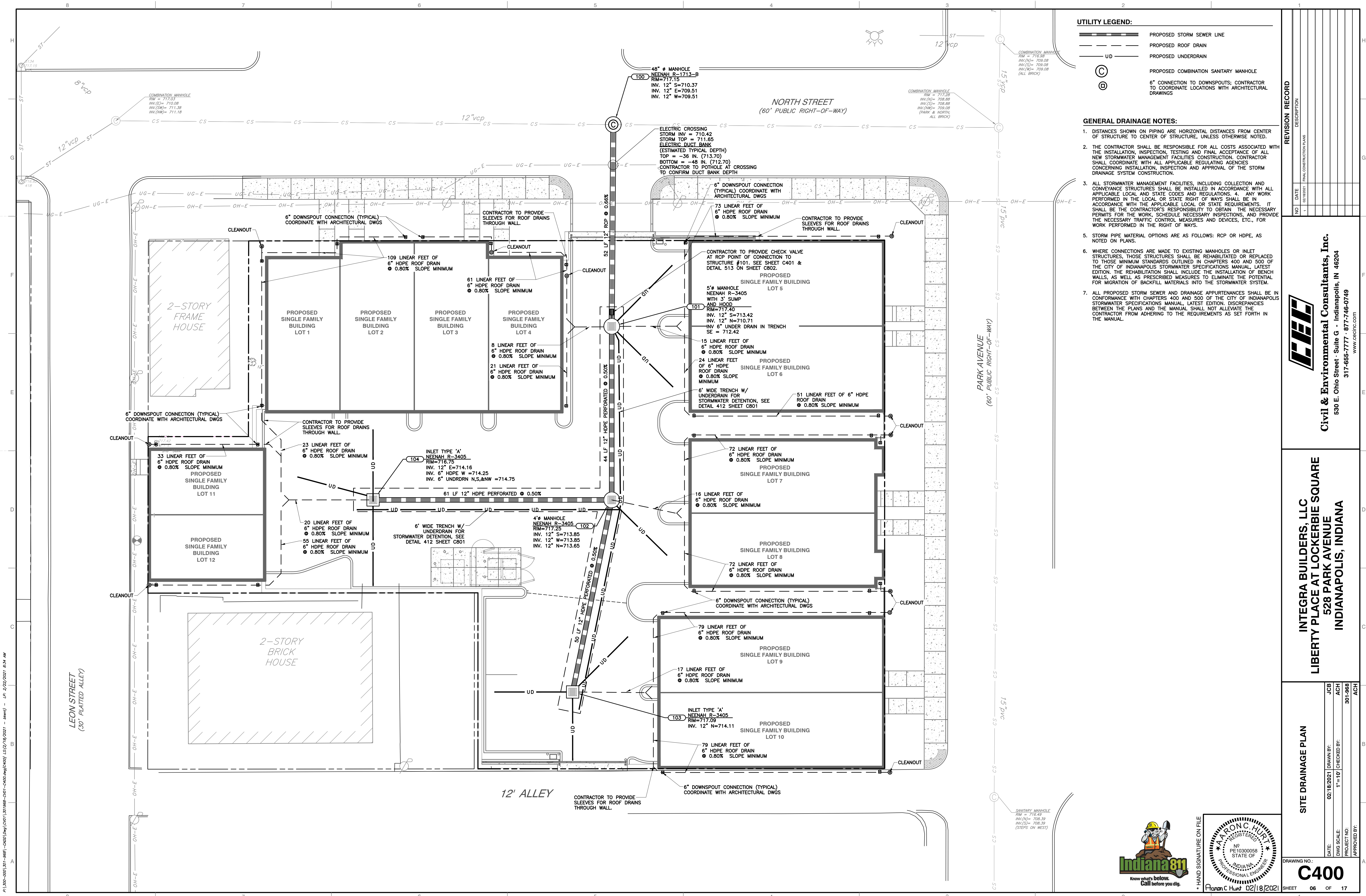
DRAWING NO. **C300**  
 SHEET 05 OF 17

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Aaron C. Hurt 02/18/2021

SCALE IN FEET  
 0 10 20



**UTILITY LEGEND:**

- PROPOSED STORM SEWER LINE
- PROPOSED ROOF DRAIN
- PROPOSED UNDERDRAIN
- PROPOSED COMBINATION SANITARY MANHOLE
- 6" CONNECTION TO DOWNSPOUTS; CONTRACTOR TO COORDINATE LOCATIONS WITH ARCHITECTURAL DRAWINGS

- GENERAL DRAINAGE NOTES:**
- DISTANCES SHOWN ON PIPING ARE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INSTALLATION, INSPECTION, TESTING AND FINAL ACCEPTANCE OF ALL NEW STORMWATER MANAGEMENT FACILITIES CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH ALL APPLICABLE REGULATING AGENCIES CONCERNING INSTALLATION, INSPECTION AND APPROVAL OF THE STORM DRAINAGE SYSTEM CONSTRUCTION.
  - ALL STORMWATER MANAGEMENT FACILITIES, INCLUDING COLLECTION AND CONVEYANCE STRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS. 4. ANY WORK PERFORMED IN THE LOCAL OR STATE RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE APPLICABLE LOCAL OR STATE REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE NECESSARY PERMITS FOR THE WORK, SCHEDULE NECESSARY INSPECTIONS, AND PROVIDE THE NECESSARY TRAFFIC CONTROL MEASURES AND DEVICES, ETC., FOR WORK PERFORMED IN THE RIGHT OF WAYS.
  - STORM PIPE MATERIAL OPTIONS ARE AS FOLLOWS: RCP OR HDPE, AS NOTED ON PLANS.
  - WHERE CONNECTIONS ARE MADE TO EXISTING MANHOLES OR INLET STRUCTURES, THOSE STRUCTURES SHALL BE REHABILITATED OR REPLACED TO THOSE MINIMUM STANDARDS OUTLINED IN CHAPTERS 400 AND 500 OF THE CITY OF INDIANAPOLIS STORMWATER SPECIFICATIONS MANUAL, LATEST EDITION. THE REHABILITATION SHALL INCLUDE THE INSTALLATION OF BENCH WALLS, AS WELL AS PRESCRIBED MEASURES TO ELIMINATE THE POTENTIAL FOR MIGRATION OF BACKFILL MATERIALS INTO THE STORMWATER SYSTEM.
  - ALL PROPOSED STORM SEWER AND DRAINAGE APPURTENANCES SHALL BE IN CONFORMANCE WITH CHAPTERS 400 AND 500 OF THE CITY OF INDIANAPOLIS STORMWATER SPECIFICATIONS MANUAL, LATEST EDITION. DISCREPANCIES BETWEEN THE PLANS AND THE MANUAL SHALL NOT ALLEVIATE THE CONTRACTOR FROM ADHERING TO THE REQUIREMENTS AS SET FORTH IN THE MANUAL.

NO.	DATE	DESCRIPTION
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**INTEGRA BUILDERS, LLC**  
 LIBERTY PLACE AT LOCKERBIE SQUARE  
 528 PARK AVENUE  
 INDIANAPOLIS, INDIANA

**SITE DRAINAGE PLAN**

DRAWING NO. **C400**

DATE: 02/18/2021 | DRAWN BY: JCB | ACH | 301-968

PROJECT NO: 1"=10' | CHECKED BY: | 301-968

APPROVED BY: | ACH |



HAND SIGNATURE ON FILE

**AARON C. HURT**  
 REGISTERED PROFESSIONAL ENGINEER  
 NO. PE10300058  
 STATE OF INDIANA

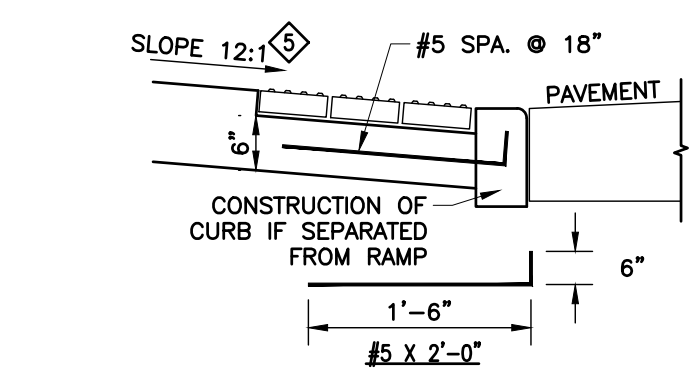
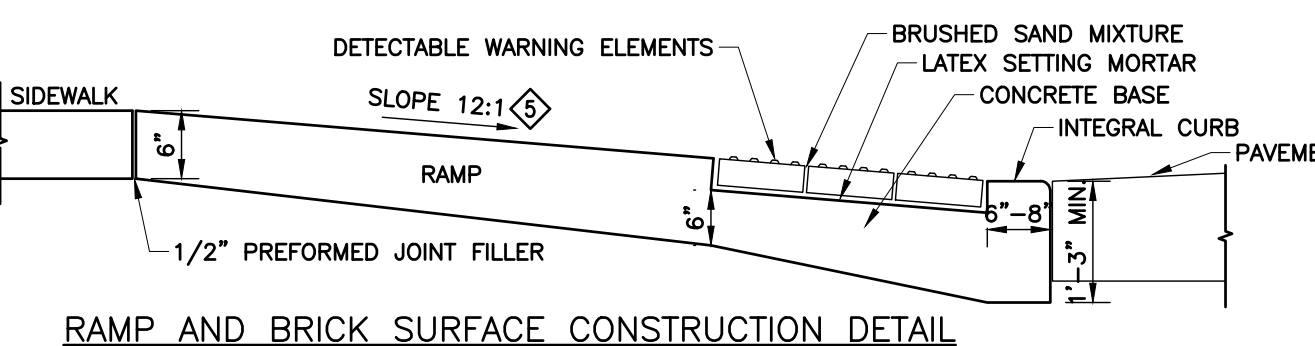
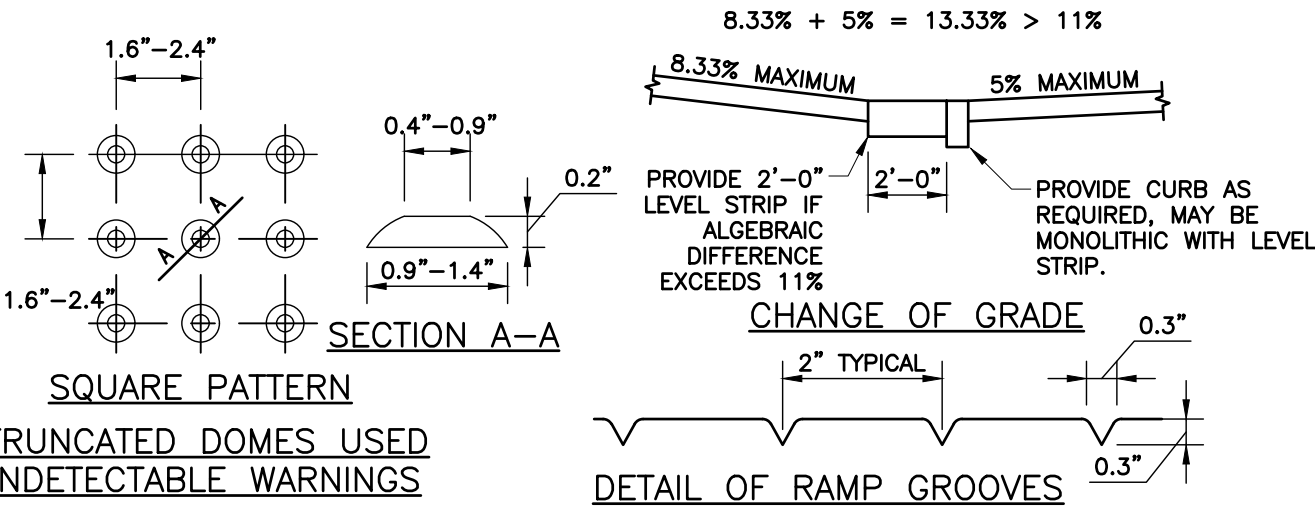
02/18/2021

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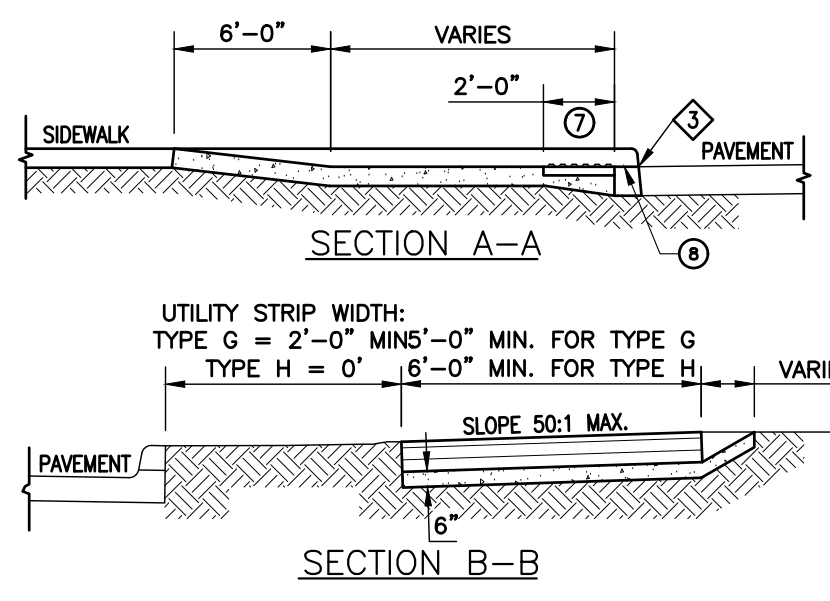
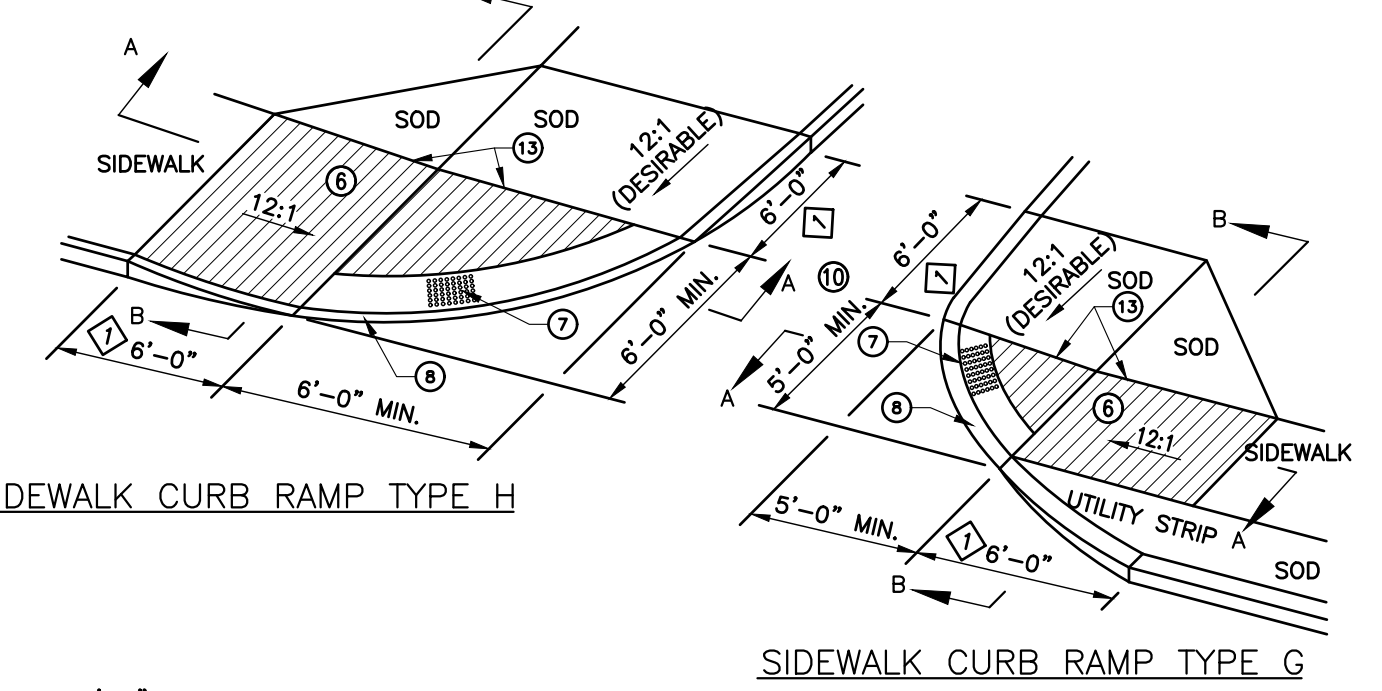




- NOTES:**
- THESE DIMENSIONS ARE BASED ON A 6 IN. CURB HEIGHT. THEY SHALL BE PROPORTIONALLY ADJUSTED FOR OTHER CURB HEIGHTS.
  - WHERE SITE INFEASIBILITY PRECLUDES CONSTRUCTION TO THE WIDTH SHOWN, SUCH WIDTH MAY BE DECREASED TO A MINIMUM OF 3'-0".
  - THE BOTTOM EDGE OF THE CURB RAMP SHALL BE FLUSH WITH THE EDGE OF ADJACENT PAVEMENT AND GUTTER LINE.
  - LANDING AREAS AT THE TOP OF CURB RAMPS SHALL HAVE MAXIMUM CROSS SLOPE OF 50:1 IN ANY DIRECTION. WHEN SITE INFEASIBILITY PRECLUDES A LANDING SLOPE OF 50:1 IN ANY DIRECTION, THE SLOPE PERPENDICULAR TO THE CURB FACE SHALL NOT EXCEED 50:1.
  - IF SITE INFEASIBILITY PRECLUDES CONSTRUCTION TO THE WIDTH SHOWN, THE LANDING WIDTH MAY BE DECREASED TO 3'-0" MINIMUM. THE RUNNING SLOPE OF THE CURB RAMP MAY BE DECREASED TO A MAXIMUM OF 10:1 FOR A MAXIMUM 6 IN. RISE.
  - DRAINAGE INLETS SHOULD BE LOCATED UPHILL FROM CURB RAMPS TO PREVENT PUDDLES AT THE PATH OF TRAVEL.
  - SEE STANDARD DRAWING E 604-SWCR-12 FOR IMPROVED ACCESS ON NARROW SIDEWALKS.
  - ALGEBRAIC DIFFERENCE IN GRADE BETWEEN THE BASE OF CURB RAMP AND THE GUTTER SHALL BE LIMITED TO LESS THAN 11%. IF IT IS NOT PRACTICAL, A 2'-0" WIDE LEVEL STRIP SHALL BE PROVIDED. SEE DETAIL SKETCH.
  - MINIMUM RECOMMENDED WIDTH OF CURB RAMP IS 4'-0".

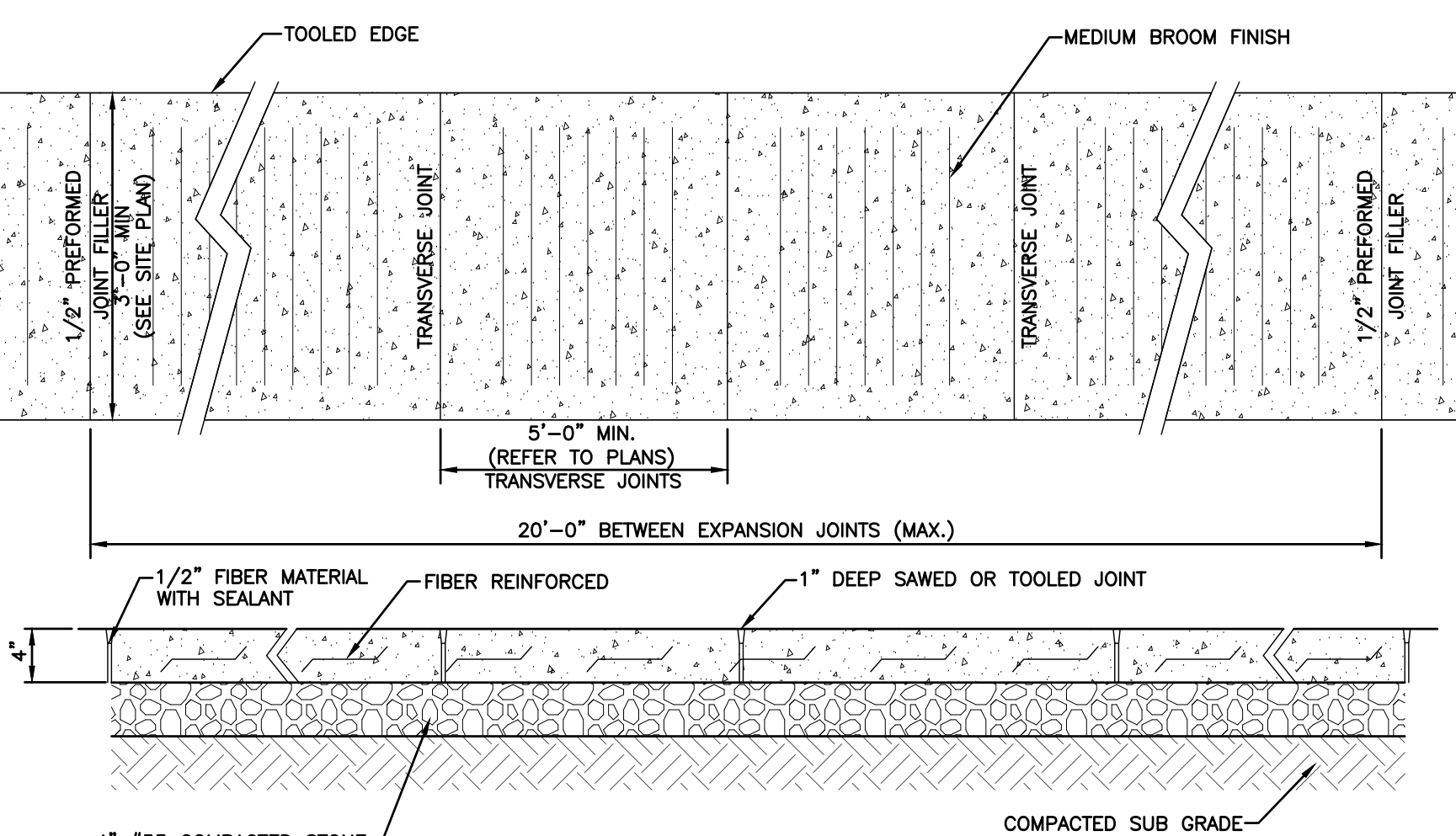


**DETAIL 211 - SIDEWALK CURB RAMPS GENERAL NOTES AND DETAILS (INDOT STANDARD DRAWING E 604-SWCR-02)**  
NOT TO SCALE

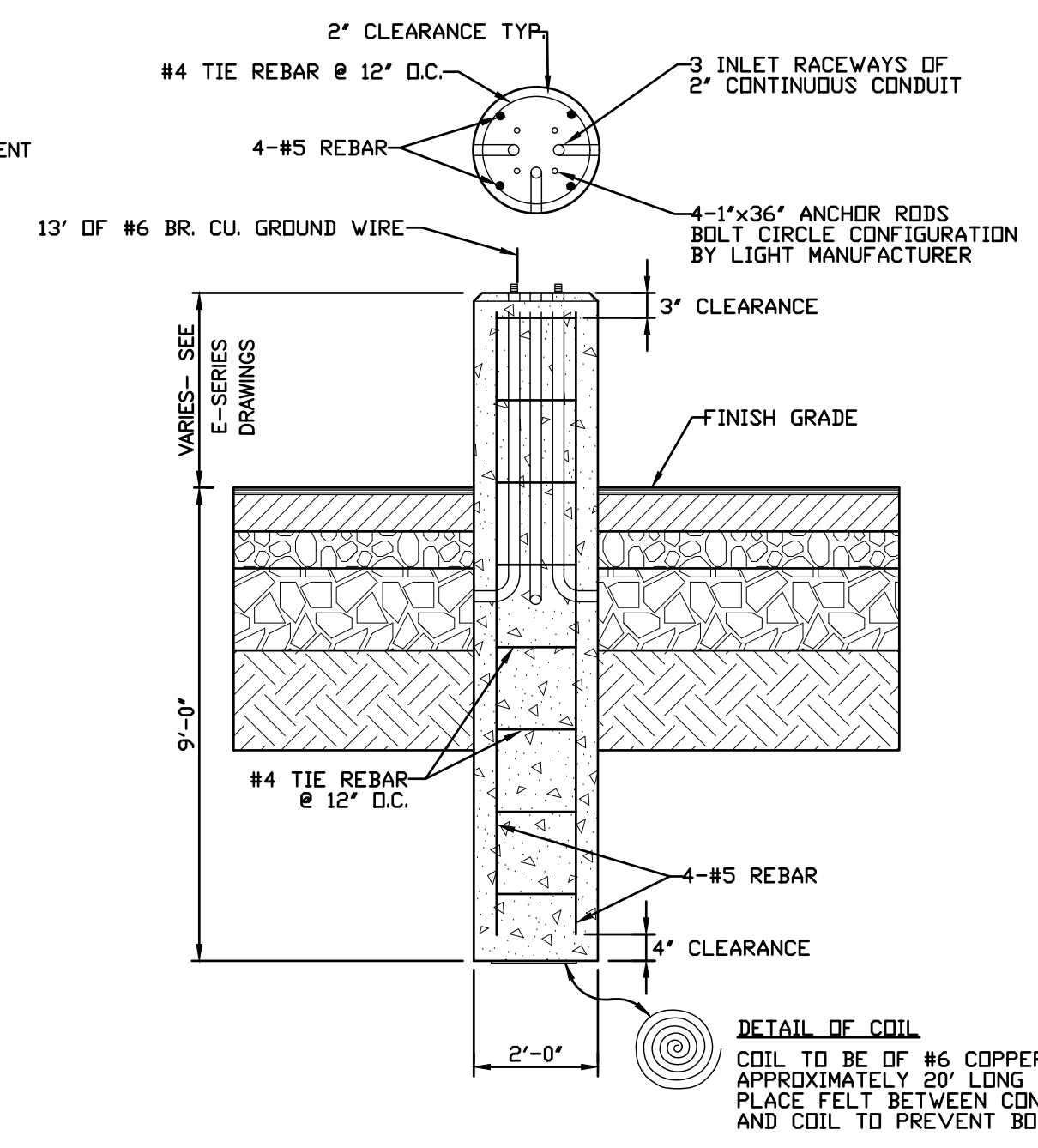


- NOTES:**
- SEE STANDARD DRAWING E 604-SWCR-02 FOR GROOVE DETAILS.
  - SEE STANDARD DRAWING E 604-SWCR-02 FOR DETAILS OF THE DETECTABLE WARNING.
  - SEE STANDARD DRAWING E 604-SWCR-02 FOR ALTERNATE CURB CONSTRUCTION.
  - SIDEWALK CROSS APPROACH SHALL BE SLOPED AT 50:1 MAXIMUM TRANSVERSELY.
  - SEE STANDARD DRAWING E 604-SWCR-02 FOR TYPICAL RAMP CONSTRUCTION DETAIL.
  - SEE STANDARD DRAWINGS E 604-SWCR-01 AND -02 FOR LOCATION PLAN AND GENERAL NOTES RESPECTIVELY.
  - VERTICAL FACE CURB OPTIONAL.

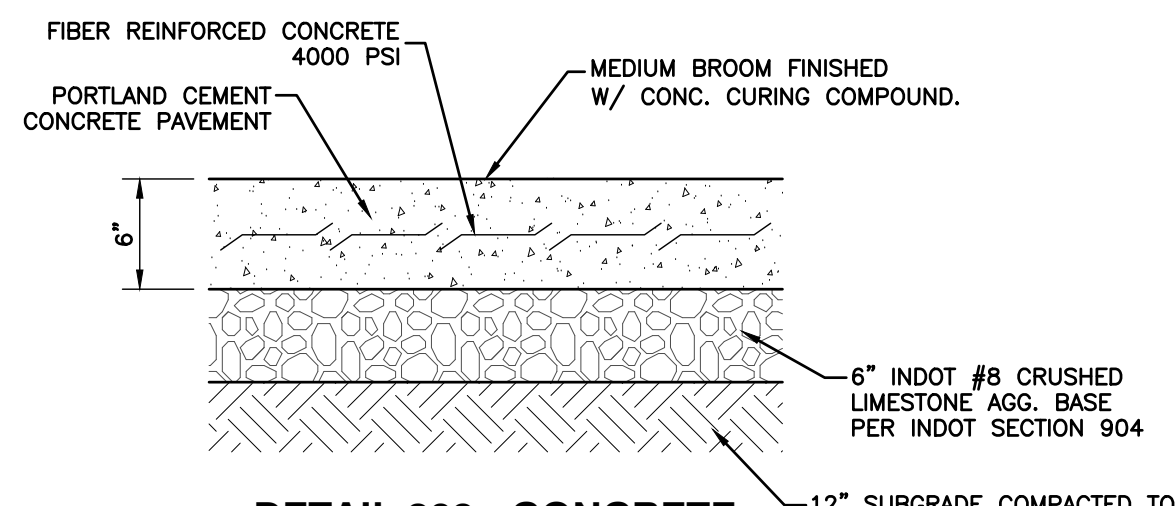
**DETAIL 212 - SIDEWALK CURB RAMPS TYPE G AND TYPE H (INDOT STANDARD DRAWING E 604-SWCR-09)**  
NOT TO SCALE



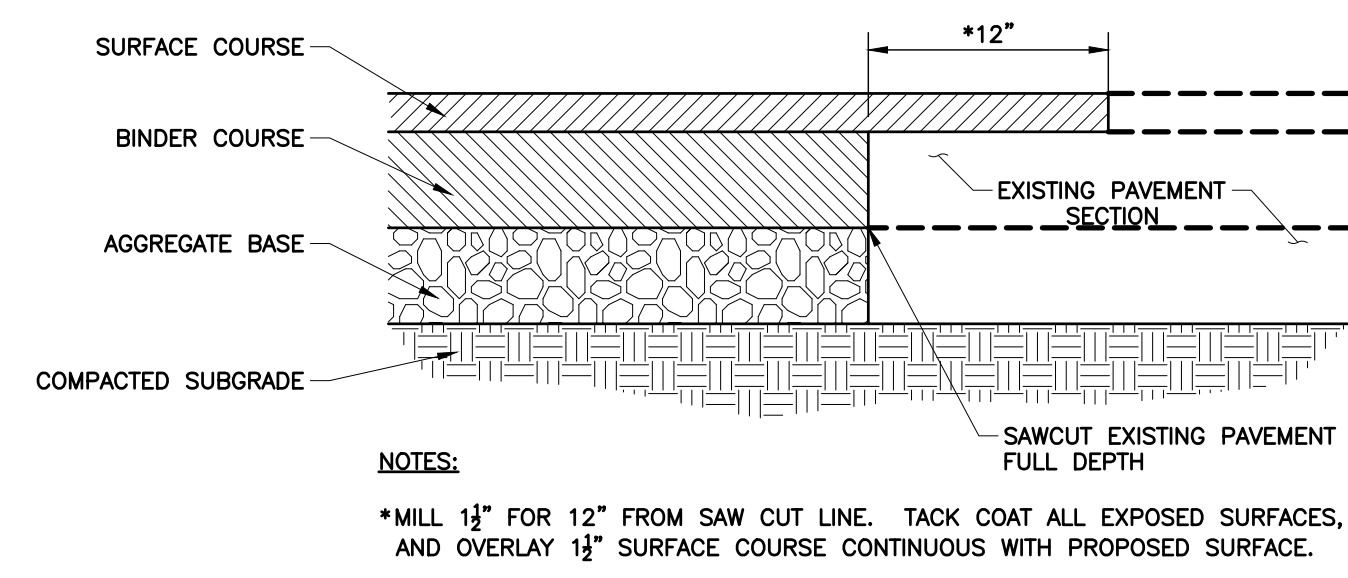
**DETAIL 213 - CONCRETE SIDEWALK**  
NOT TO SCALE



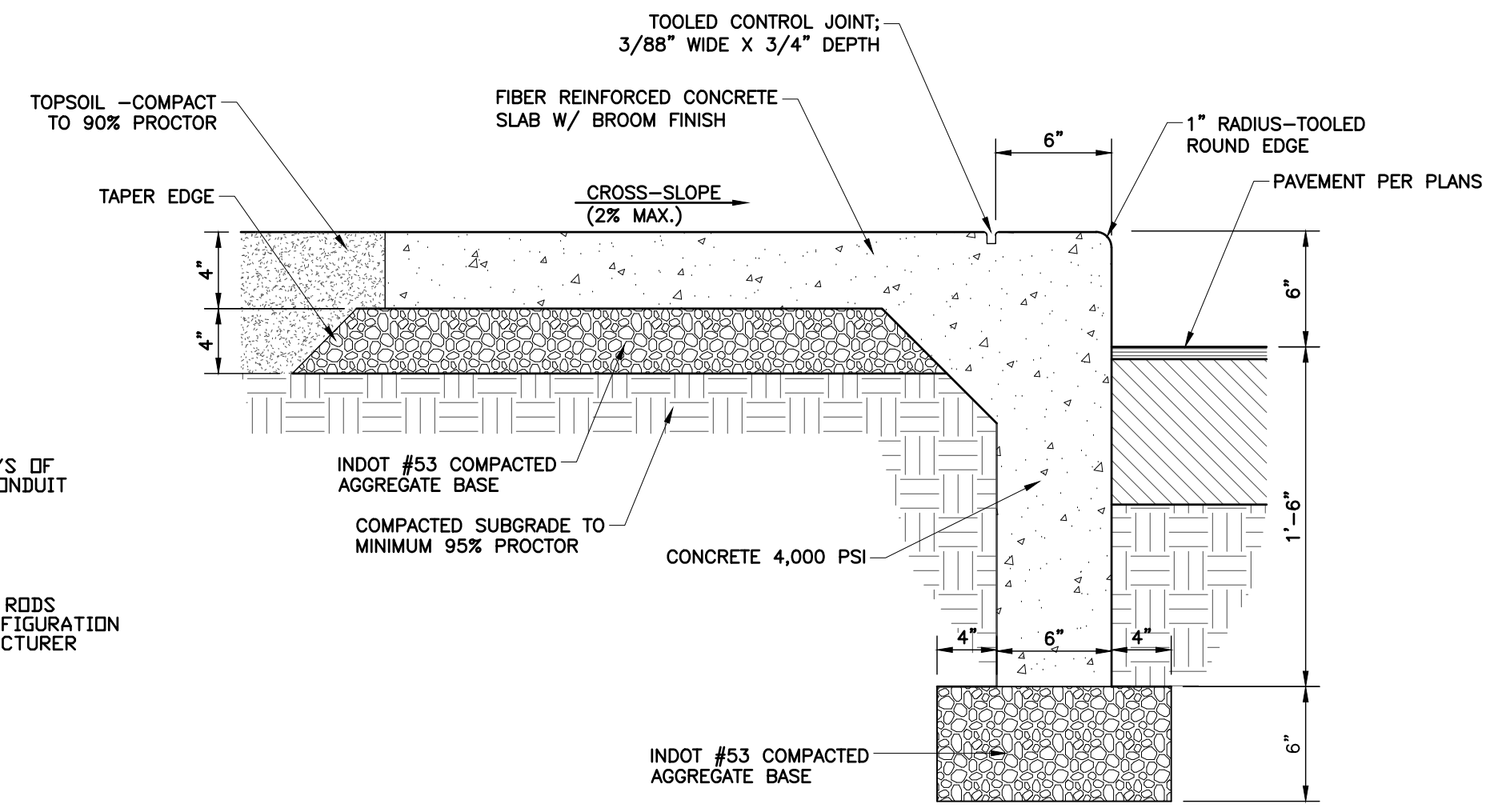
**DETAIL 208 - LIGHT POLE FOUNDATION**  
NOT TO SCALE



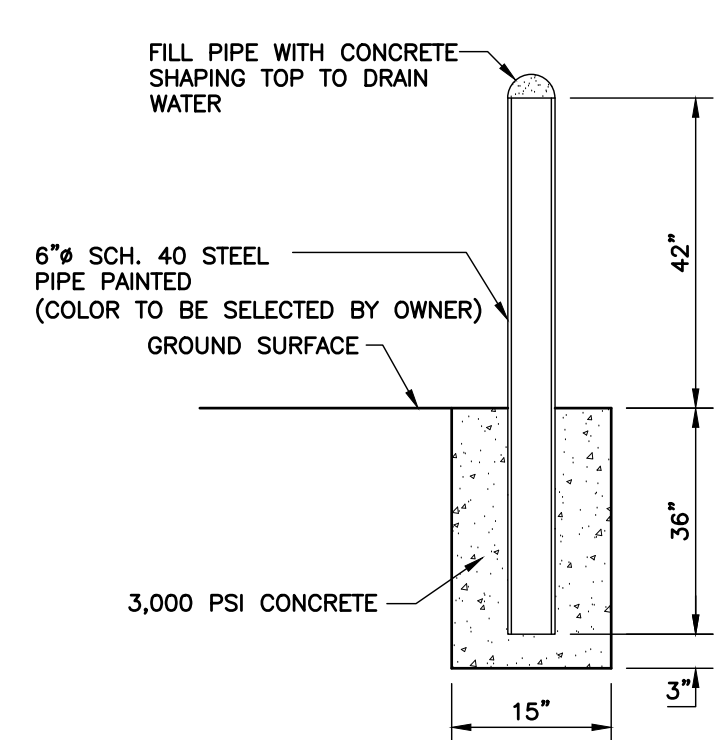
**DETAIL 209 - CONCRETE PAVEMENT SECTION**  
NOT TO SCALE



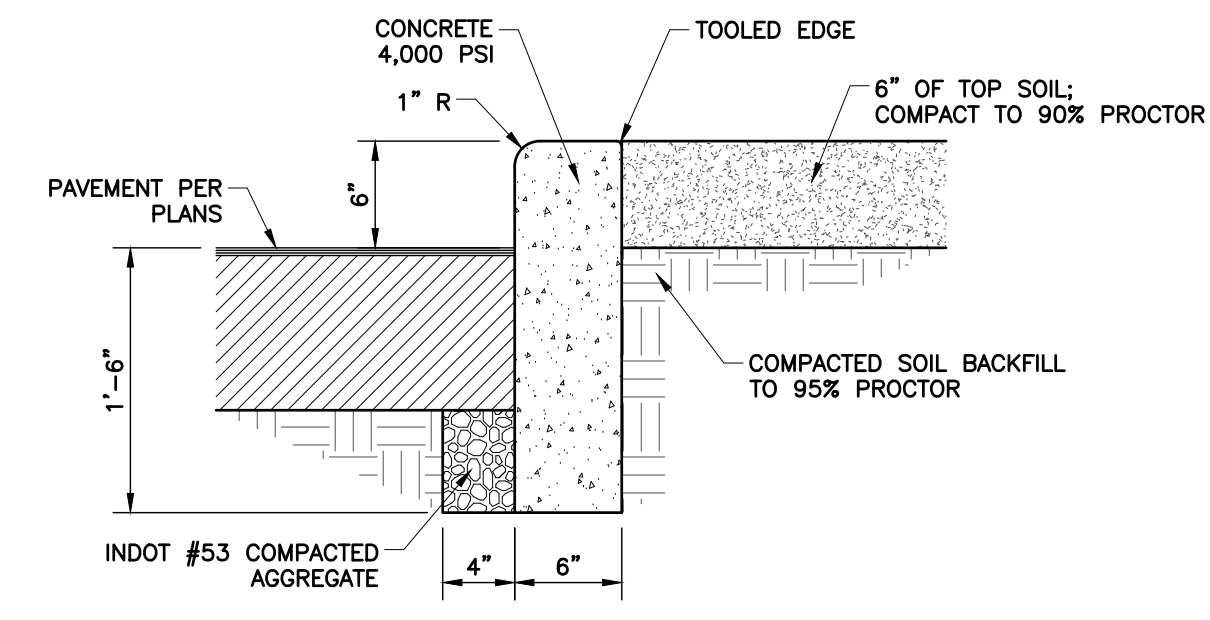
**DETAIL 210 - LAP JOINT DETAIL**  
NOT TO SCALE



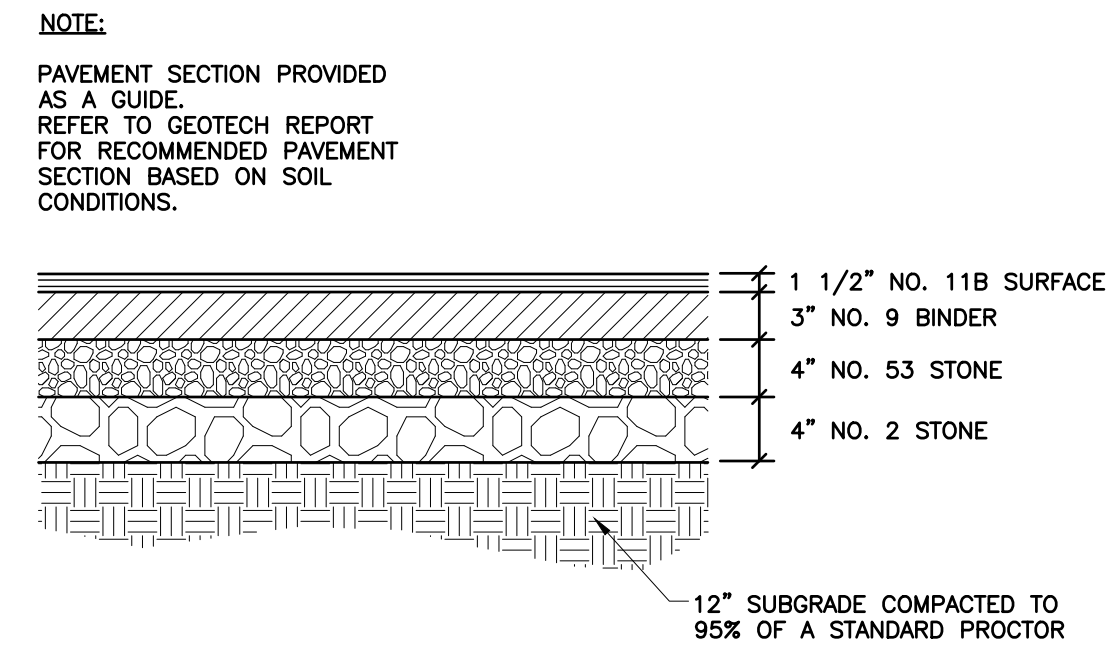
**DETAIL 204 - COMBINED CURB & WALK DETAIL**  
NOT TO SCALE



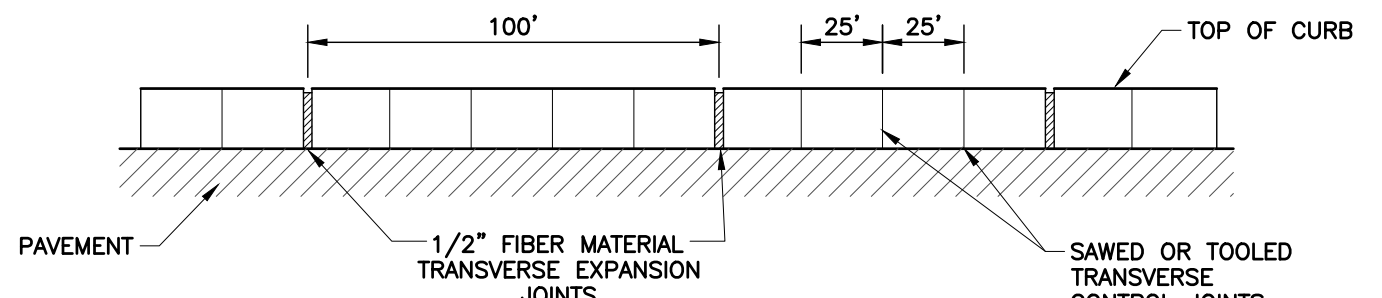
**DETAIL 205 - BOLLARD**  
NOT TO SCALE



**DETAIL 206 - STRAIGHT CONCRETE CURB DETAIL**  
NOT TO SCALE



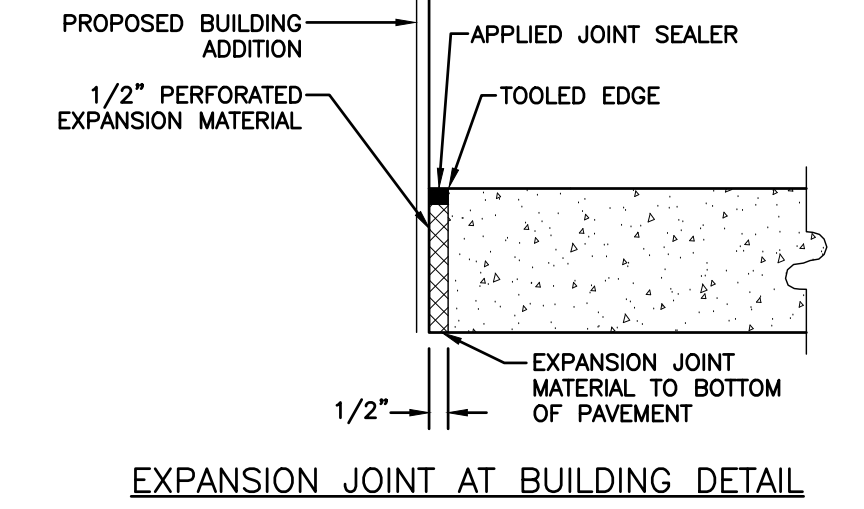
**DETAIL 207 - ASPHALT PAVEMENT SECTION**  
NOT TO SCALE



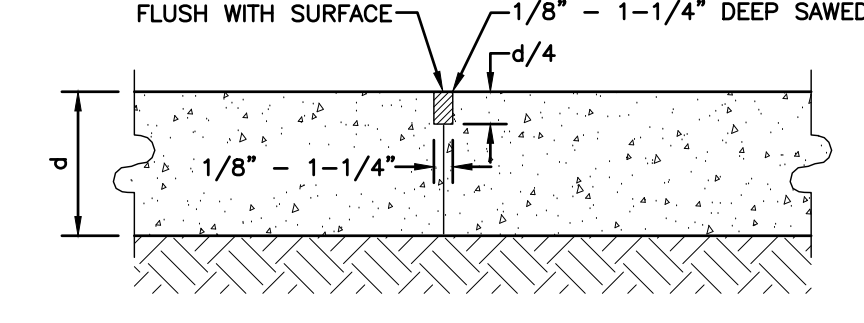
**DETAIL 202 - CURB JOINT DETAIL**  
NOT TO SCALE



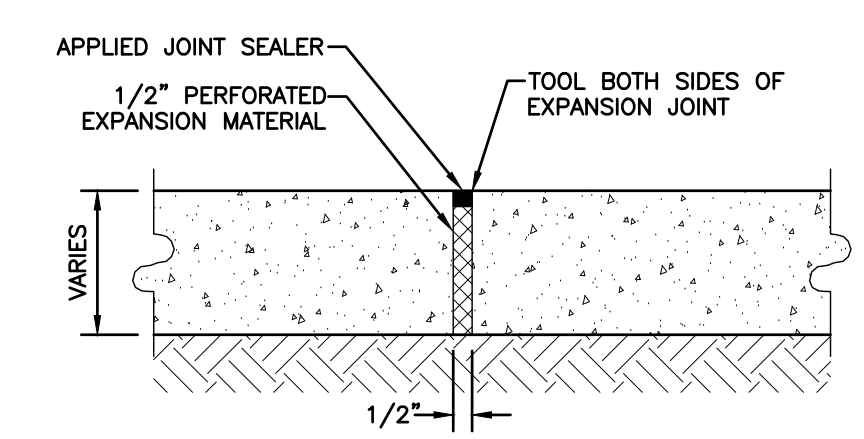
**DETAIL 203 - PAVEMENT WITHIN RIGHT-OF-WAY PAVEMENT SECTION**  
NOT TO SCALE



**EXPANSION JOINT AT BUILDING DETAIL**



**CONTROL JOINT**



**EXPANSION JOINT DETAIL**

**DETAIL 201 - CONCRETE JOINT DETAILS**  
NOT TO SCALE

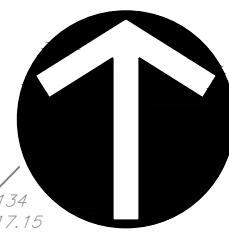
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INDIANAPOLIS, INDIANA

SITE DETAILS	
DATE:	02/18/2021
DRAWN BY:	JCB
AS NOTED / CHECKED BY:	ACH
PROJECT NO.:	301-968
APPROVED BY:	ACH

**AARON C. HURT**  
REGISTERED PROFESSIONAL ENGINEER  
NO. PE10300058  
STATE OF INDIANA  
02/18/2021



NORTH

**PROPOSED LEGEND:**

- PROPOSED GRAVEL CONSTRUCTION ENTRANCE
- PROPOSED EROSION CONTROL BLANKET
- PROPOSED RIPRAP
- PERMANENT/ TEMPORARY SEEDING AREAS
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED SILT FENCE
- PROPOSED FILTER SOCK
- PROPOSED INLET PROTECTION

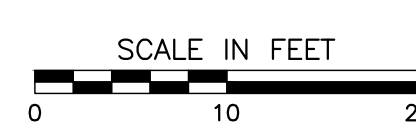
**GENERAL EROSION CONTROL NOTES**

1. CONTRACTOR SHALL INSTALL ALL REQUIRED SILT FENCES, SILT TRAPS, TREE PROTECTION AND INLET PROTECTION FOR EXISTING INLETS PRIOR TO THE START OF ANY EARTH MOVING OR STRIPPING.
2. CONTRACTOR SHALL INSTALL A STONE CONSTRUCTION ENTRANCE OR SOME OTHER DEVICE PRIOR TO THE START OF EARTHWORK AS NECESSARY TO PREVENT SOIL FROM BEING TRACKED OR WASHED INTO EXISTING ROADWAYS.
3. LAND ALTERATIONS WHICH STRIP THE LAND OF VEGETATION, INCLUDING REGRADING, SHALL BE DONE IN A WAY THAT WILL MINIMIZE EROSION. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED. AS GRADING IS DONE, INSTALL SILT TRAPS, SILT FENCES, SLOPE DRAINS, TEMPORARY DIVERSIONS AND OTHER RUNOFF CONTROL MEASURES AT APPROPRIATE LOCATIONS TO KEEP SEDIMENT CONTAINED ON SITE.
4. ALL DISTURBED AREAS SHALL BE SEEDED AND STRAW MULCHED AS SHOWN ON THE PLANS IMMEDIATELY AFTER COMPLETION OF GROUND ACTIVITY. FOR LARGE PROJECTS, THIS SEEDING SHOULD BE COMPLETED IN PHASES AS THE DIFFERENT AREAS OF THE SITE ARE COMPLETED.
5. PERMANENT AND FINAL VEGETATION OR STRUCTURAL EROSION CONTROL DEVICES SHALL BE INSTALLED AS SOON AS PRACTICAL UNDER THE CIRCUMSTANCES.
6. THE DURATION OF TIME WHICH AN AREA REMAINS EXPOSED SHALL BE KEPT TO A PRACTICAL MINIMUM DEPENDING UPON THE WEATHER. IF CONSTRUCTION ACTIVITY IS TO CEASE FOR MORE THAN TWO WEEKS, THE DISTURBED AREAS SHALL BE TEMPORARILY SEEDED.
7. ALL STORM SEWER INLET PROTECTION DEVICES SHALL BE PUT IN PLACE AT THE TIME EACH INLET IS CONSTRUCTED.
8. THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES AND DEVICES DURING CONSTRUCTION AND UNTIL SILTATION OF THE STREETS AND STORM SEWERS WILL NO LONGER OCCUR.
9. ONCE ONSITE EROSION AND SILTATION OF THE STREETS AND STORM SEWERS WILL NO LONGER OCCUR, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE TEMPORARY EROSION CONTROL DEVICES.
10. THESE GENERAL PROCEDURES MAY NOT COVER ALL SITUATIONS. REFER TO EROSION CONTROL PLANS FOR SPECIFIC NOTES AND ADDITIONAL DETAILS.
11. EROSION CONTROL TO COMPLY WITH INDIANA 327 IAC AND RULE #5, AND INDIANA STORMWATER QUALITY HANDBOOK.
12. ALL PROPOSED EROSION AND SEDIMENT CONTROL SHALL BE IN CONFORMANCE WITH CHAPTER 600 OF THE CITY OF INDIANAPOLIS STORMWATER SPECIFICATIONS MANUAL, LATEST EDITION. DISCREPANCIES BETWEEN THE PLANS AND THE MANUAL SHALL NOT ALLEVIATE THE CONTRACTOR FROM ADHERING TO THE REQUIREMENTS AS SET FORTH IN THE MANUAL.
13. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED IN THE FIELD BY THE INSPECTOR.

**EROSION CONTROL RESPONSIBLE PERSON**

THE PERSON RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL IS LISTED BELOW.

**OWNER:**  
 MICHAEL MERCHO  
 INTEGRA BUILDERS  
 11505 GRASSY CT. #103  
 FISHERS, INDIANA 46037  
 PHONE: 317-345-7807  
 EMAIL: MICHAEL@INTEGRABUILDERS.COM



**FINAL CONSTRUCTION PLANS**



PROFESSIONAL ENGINEER  
 AARON C. HURT  
 REGISTERED  
 NO. PE10300058  
 STATE OF INDIANA  
 PROFESSIONAL ENGINEER  
 Handed Signature on File  
 Aaron C. Hurt 02/18/2021

**STORMWATER POLLUTION PREVENTION PLAN**

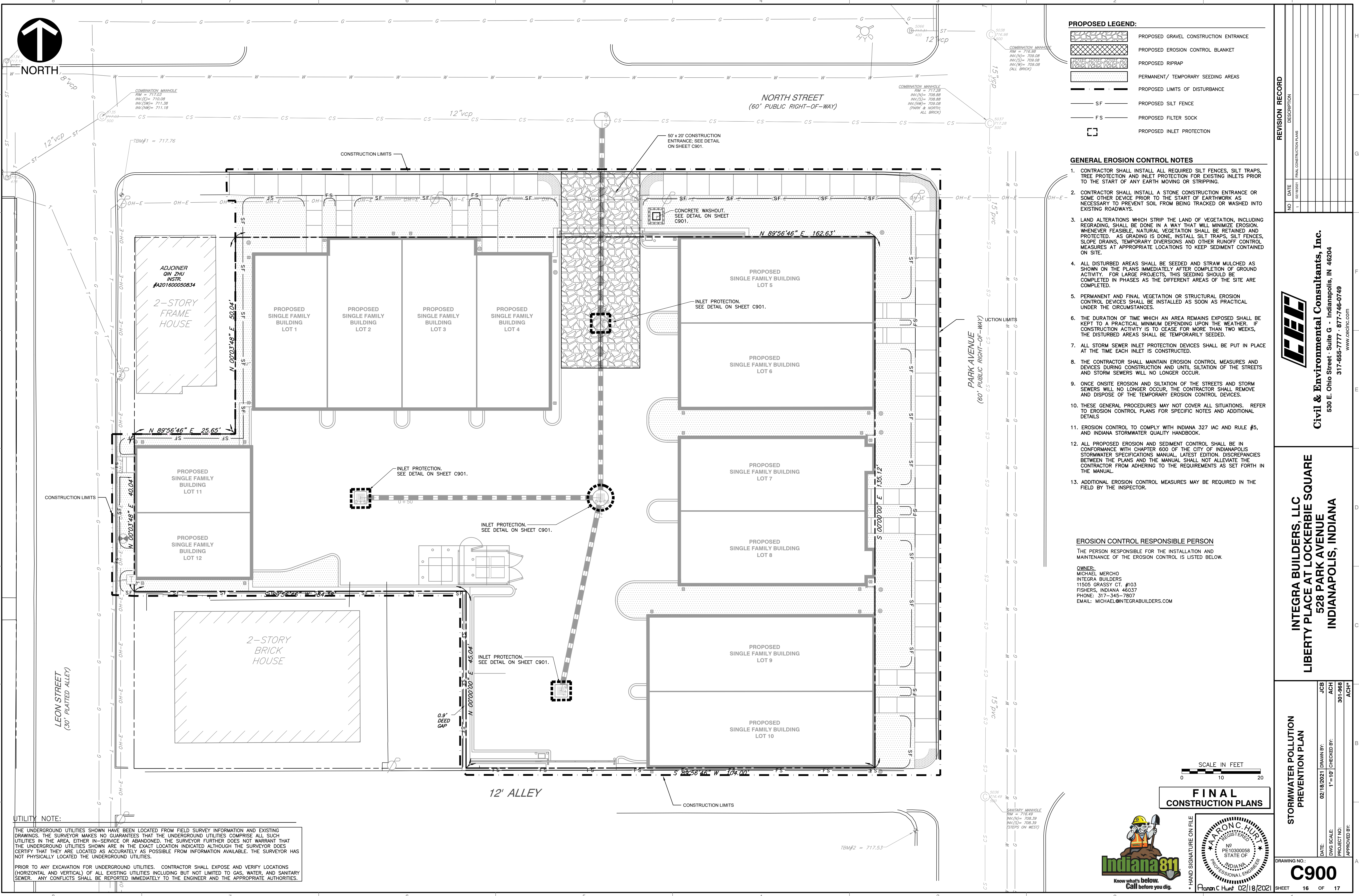
DATE: 02/18/2021 | DRAWN BY: JCB  
 DWG SCALE: 1"=10' | CHECKED BY: ACH  
 PROJECT NO: 301-968  
 APPROVED BY: ACH

DRAWING NO: **C900**  
 SHEET 16 OF 17

**Integra Builders, LLC**  
 LIBERTY PLACE AT LOCKERBIE SQUARE  
 528 PARK AVENUE  
 INDIANAPOLIS, INDIANA

**Civil & Environmental Consultants, Inc.**  
 530 E. Ohio Street - Suite G - Indianapolis, IN 46204  
 317-655-7777 - 877-746-0749  
 www.ceinc.com

NO.	DATE	DESCRIPTION
1	02/18/2021	FINAL CONSTRUCTION PLANS



**UTILITY NOTE:**  
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES, CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, AND SANITARY SEWER. ANY CONFLICTS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER AND THE APPROPRIATE AUTHORITIES.

A:\100-0001\101-9681-0002\DWG\101-9681-0002-001-0001.dwg (101-9681-0002-001-0001) 15:02:18 (2/18/2021) - 8:44 AM  
 LP: 2/18/2021 8:44 AM

## BUILDING AREA & OCC. LOAD INFO:

TOTAL BUILDING AREA: 6,646 SF  
 LOT 5: 3,323 SF  
 LOT 6: 3,323 SF

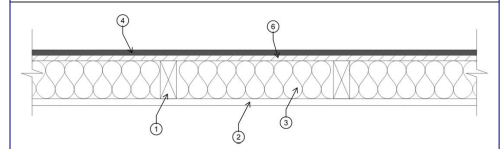
## LIFE SAFETY PLAN LEGEND:

- EXIT DENOTES DESIGNATED EGRESS DOORS & PATHWAYS
- DENOTES ONE-HOUR FIRERATED CONSTRUCTION
- DENOTES ONE-HOUR FIRERATED CONSTRUCTION BETWEEN PRIVATE GARAGE AND ADJACENT LIVING SPACE
- DENOTES TWO-HOUR UNIT DEMISING WALL CONSTRUCTION

## LIFE SAFETY NOTES:

- COORDINATE THE FIRE RESISTANCE RATED CONSTRUCTION REQUIREMENTS WITH THE OVERALL & LIFE SAFETY PLANS AND THE ENLARGED FLOOR PLANS AS REQUIRED TO PROVIDE ALL RATED CONSTRUCTION PURSUANT TO CODE.
- THIS PROJECT CONSISTS OF THE DEVELOPMENT OF FOUR (4) FOUR-STORY SINGLE-FAMILY RESIDENTIAL BUILDINGS ON A SINGLE CONNECTED AND COMBINED SITE. EACH BUILDING SUBMITTED UNDER SEPARATE COVER, CONSISTS OF NEW LIGHT WOOD FRAME CONSTRUCTION. REFER TO THE RESPECTIVE BUILDING'S CONSTRUCTION DOCUMENTS FOR SPECIFIC CONDITIONS.
- ALL UNITS HAVE EXITS DIRECTLY TO THE EXTERIOR PUBLIC WAY. THERE IS NO COMMON AREA.
- ONE OR MORE STATE CODE VARIANCES APPLY.
- REFER TO FLOOR PLANS AND ELEVATIONS OF EMERGENCY ESCAPE AND RESCUE PROVISIONS.

Table 4 One-Hour Fire Rating from Interior – Limited Load Bearing – UL Design No. U356

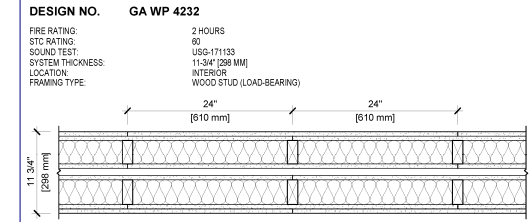
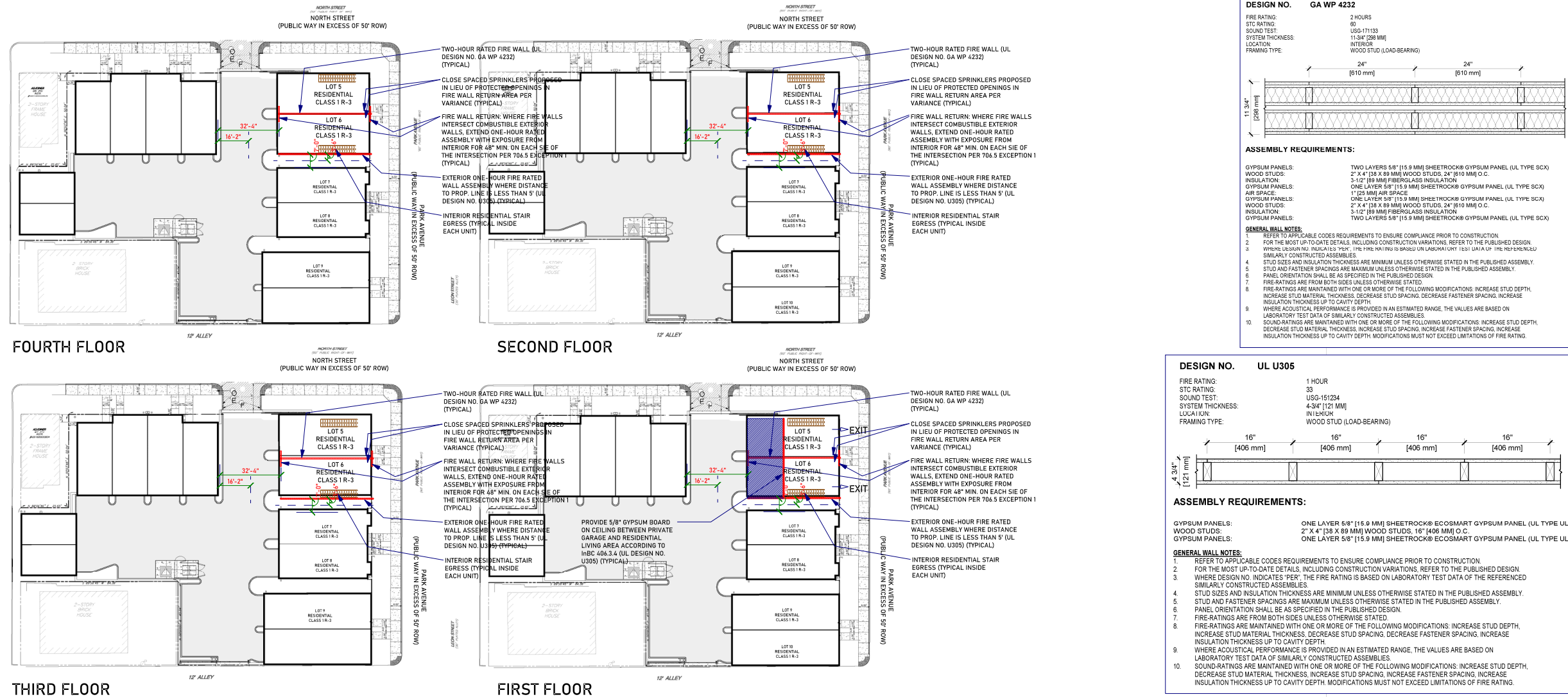


This wall assembly is restricted to fifty-five percent (55%) of the allowable load. This results in a wall assembly permitted to be built as follows:

- 8' wall heights can be loaded to a maximum of 1,800 lbs. per stud (1,350 plf).
- 9' wall heights can be loaded to a maximum of 1,180 lbs. per stud (885 plf).

Alternately, when wood structural panels are attached directly to studs on the exterior side of the wall, the load is not restricted. In this case, the thickness of the ISO Plad CI may also be increased to 2". The wood structural panels must be minimum 7/8" in. thick, 4" wide wood structural panels, min grade "C-D" or "Sheathing", installed with long dimension of sheet (strength axis) or face grain of plywood parallel with or perpendicular to studs. Vertical joints centered on studs. Horizontal joints backed with non 2x4 wood blocking. Attached to studs on exterior side of wall with 6d cement coated box nails spaced 8" o.c. at perimeter of panels and 12" o.c. along interior studs.

- Wood Studs – nominal 2x4, minimum spaced 16" (406 mm) o.c.
- Gypsum Board
  - Type: X GWB 1/2" (15.9 mm) thick
  - Orientation: Vertically on interior side
  - Joints: Centered over studs and staggered 1 stud cavity on opposite side of stud
  - Fastener: GWB to studs using 1 1/4" (48 mm) 6d nails or #6 Type W screws
  - Fastener Spacing: 7" (178 mm) o.c. on perimeter edges and field
- Cavity Insulation
  - Type: Glass fiber or mineral wool
  - R-value: R-13
  - Minimum Thickness: 3 1/2" (89 mm)
- Exterior Cladding – installed in accordance with the manufacturer installation instructions and U356
  - Vinyl Siding with a flame spread of 20 or less
  - Particle Board Siding
  - Wood Structural Panel or Lap Siding complying with PS1 or APA FRP-108
  - Cementitious Stucco – Portland cement or synthetic stucco with self-furring lath or base coat. Minimum thickness 3/4" to 1" depending on the system.
  - Brick Veneer – Nominal 4" thick. Brick veneer fastened with corrugated metal wall ties attached over sheathing to wood studs with 5d nail per tie. Ties spaced not more than each sixth course of brick and max 32" o.c. horizontally, 1" air space provided between brick veneer and sheathing
  - Exterior Insulation and Finish System (EIFS) – Nom 1" foamed plastic insulation attached over sheathing and finished with coating system, Portland cement, or synthetic stucco systems, in accordance with manufacturer instructions.
  - Aluminum or steel siding attached over sheathing to studs
  - Fiber cement siding

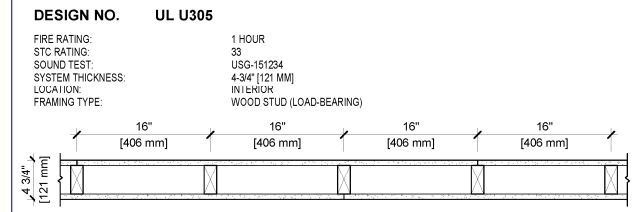


**ASSEMBLY REQUIREMENTS:**

GYPSON PANELS: TWO LAYERS 5/8" (15.9 MM) SHEETROCK® GYPSON PANEL (UL TYPE SCX)  
 WOOD STUDS: 2" X 4" (38 X 89 MM) WOOD STUDS, 24" (610 MM) O.C.  
 INSULATION: 3 1/2" (89 MM) FIBERGLASS INSULATION  
 GYPSON PANELS: ONE LAYER 5/8" (15.9 MM) SHEETROCK® GYPSON PANEL (UL TYPE SCX)  
 AIR SPACE: 1" (25 MM) AIR SPACE  
 GYPSON PANELS: ONE LAYER 5/8" (15.9 MM) SHEETROCK® GYPSON PANEL (UL TYPE SCX)  
 WOOD STUDS: 2" X 4" (38 X 89 MM) WOOD STUDS, 24" (610 MM) O.C.  
 INSULATION: 3 1/2" (89 MM) FIBERGLASS INSULATION  
 GYPSON PANELS: TWO LAYERS 5/8" (15.9 MM) SHEETROCK® GYPSON PANEL (UL TYPE SCX)

**GENERAL WALL NOTES:**

- REFER TO APPLICABLE CODES REQUIREMENTS TO ENSURE COMPLIANCE PRIOR TO CONSTRUCTION.
- FOR THE MOST UP-TO-DATE DETAILS, INCLUDING CONSTRUCTION VARIATIONS, REFER TO THE PUBLISHED DESIGN.
- WHERE DESIGN NO. INDICATES "PER", THE FIRE RATING IS BASED ON LABORATORY TEST DATA OF THE REFERENCED SIMILARLY CONSTRUCTED ASSEMBLIES.
- STUD SIZES AND INSULATION THICKNESS ARE MINIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
- STUD AND FASTENER SPACINGS ARE MAXIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
- PANEL ORIENTATION SHALL BE AS SPECIFIED IN THE PUBLISHED DESIGN.
- FIRE-RATINGS ARE FROM BOTH SIDES UNLESS OTHERWISE STATED.
- FIRE-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, INCREASE STUD MATERIAL THICKNESS, DECREASE STUD SPACING, DECREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH.
- WHERE ACOUSTICAL PERFORMANCE IS PROVIDED IN AN ESTIMATED RANGE, THE VALUES ARE BASED ON LABORATORY TEST DATA OF SIMILARLY CONSTRUCTED ASSEMBLIES.
- SOUND-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, DECREASE STUD MATERIAL THICKNESS, INCREASE STUD SPACING, INCREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH. MODIFICATIONS MUST NOT EXCEED LIMITATIONS OF FIRE RATING.



**ASSEMBLY REQUIREMENTS:**

GYPSON PANELS: ONE LAYER 5/8" (15.9 MM) SHEETROCK® ECOSMART GYPSON PANEL (UL TYPE ULIX™)  
 WOOD STUDS: 2" X 4" (38 X 89 MM) WOOD STUDS, 16" (406 MM) O.C.  
 GYPSON PANELS: ONE LAYER 5/8" (15.9 MM) SHEETROCK® ECOSMART GYPSON PANEL (UL TYPE ULIX™)

**GENERAL WALL NOTES:**

- REFER TO APPLICABLE CODES REQUIREMENTS TO ENSURE COMPLIANCE PRIOR TO CONSTRUCTION.
- FOR THE MOST UP-TO-DATE DETAILS, INCLUDING CONSTRUCTION VARIATIONS, REFER TO THE PUBLISHED DESIGN.
- WHERE DESIGN NO. INDICATES "PER", THE FIRE RATING IS BASED ON LABORATORY TEST DATA OF THE REFERENCED SIMILARLY CONSTRUCTED ASSEMBLIES.
- STUD SIZES AND INSULATION THICKNESS ARE MINIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
- STUD AND FASTENER SPACINGS ARE MAXIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
- PANEL ORIENTATION SHALL BE AS SPECIFIED IN THE PUBLISHED DESIGN.
- FIRE-RATINGS ARE FROM BOTH SIDES UNLESS OTHERWISE STATED.
- FIRE-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, INCREASE STUD MATERIAL THICKNESS, DECREASE STUD SPACING, DECREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH.
- WHERE ACOUSTICAL PERFORMANCE IS PROVIDED IN AN ESTIMATED RANGE, THE VALUES ARE BASED ON LABORATORY TEST DATA OF SIMILARLY CONSTRUCTED ASSEMBLIES.
- SOUND-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, DECREASE STUD MATERIAL THICKNESS, INCREASE STUD SPACING, INCREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH. MODIFICATIONS MUST NOT EXCEED LIMITATIONS OF FIRE RATING.



Liberty at Lockerbie Square

544 & 548 Park Ave  
 Indianapolis IN 46204

DATE:

Monday, October 21, 2024

L1

LIFE SAFETY

LIFE SAFETY





Liberty at Lockerbie Square

544 & 548 Park Ave

Indianapolis IN 46204

DATE:

Thursday, March 6, 2025

A1

1ST FLOOR

GENERAL NOTES:

- Ceiling Height: 10'0"
- Door Height: 8'0"
- Exterior & Bearing Walls: 2x6

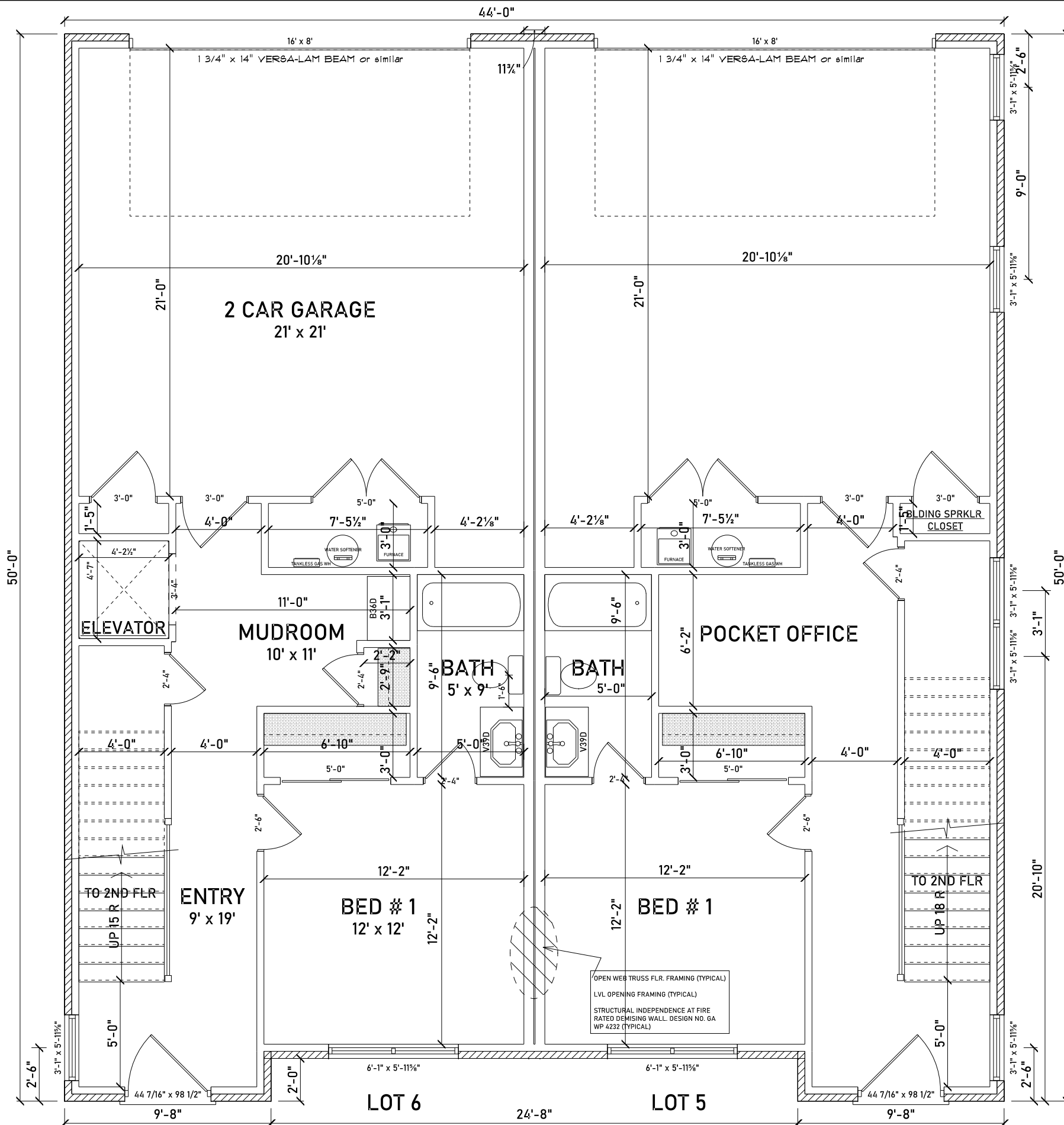
GENERAL PLAN NOTES:

1. THESE DRAWINGS ARE INTENDED TO OUTLINE THE GENERAL SCOPE OF THE WORK. CONTRACTORS SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING ANY WORK. CONTRACTORS SHALL ALSO BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND GENERALLY ACCEPTED TRADE PRACTICES.

2. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, MASONRY OR EXISTING WALL SURFACE, UNLESS NOTED OTHERWISE.

3. ALL DOOR FRAME OPENINGS SHALL BE MIN. 6" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE.

4. PROVIDE NECESSARY BLOCKING CONCEALED WITHIN THE CONSTRUCTION, AS REQUIRED.



FIRST FLOOR

SCALE: 3/16" = 1'-0"



Liberty at Lockerbie Square

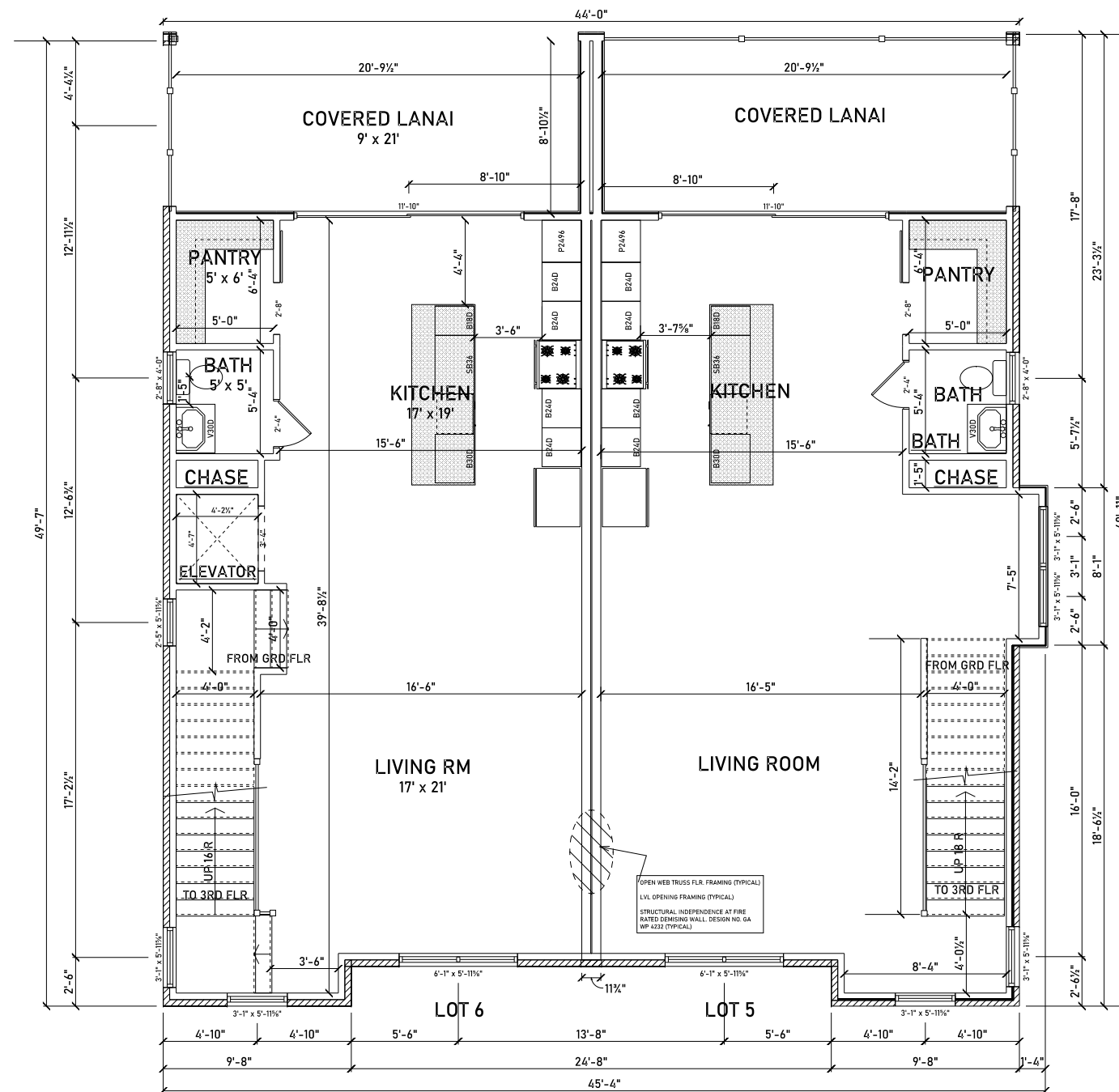
544 & 548 Park Ave  
Indianapolis IN 46204

DATE:  
Thursday, March 6, 2025

A2

2ND FLOOR

- GENERAL NOTES:  
 - Ceiling Height: 10'0"  
 - Door Height: 8'0"  
 - Exterior & Bearing Walls: 2x6
- GENERAL PLAN NOTES:  
 1. THESE DRAWINGS ARE INTENDED TO OUTLINE THE GENERAL SCOPE OF THE WORK. CONTRACTORS SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING ANY WORK. CONTRACTORS SHALL ALSO BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND GENERALLY ACCEPTED TRADE PRACTICES.  
 2. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, MASONRY OR EXISTING WALL SURFACE, UNLESS NOTED OTHERWISE.  
 3. ALL DOOR FRAME OPENINGS SHALL BE MIN. 6" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE.  
 4. PROVIDE NECESSARY BLOCKING CONCEALED WITHIN THE CONSTRUCTION, AS REQUIRED.



# SECOND FLOOR

SCALE: 1/8" = 1'-0"



Liberty at Lockerbie Square

544 & 548 Park Ave

Indianapolis IN 46204

DATE:

Thursday, March 6, 2025

A3

3RD FLOOR

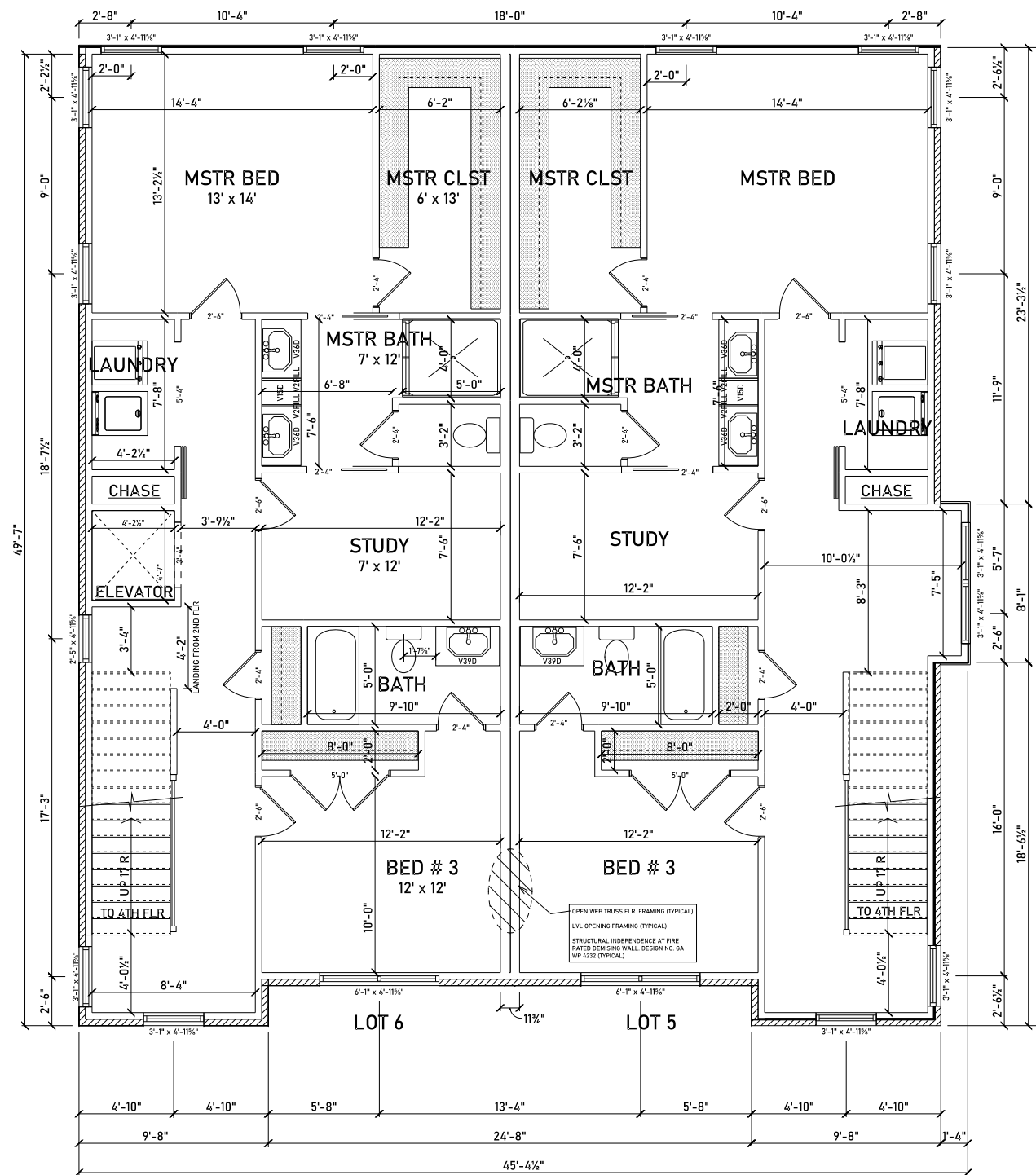
GENERAL NOTES:  
 - Ceiling Height: 9'0"  
 - Door Height: 6'8"  
 - Exterior Walls: 2x4

GENERAL PLAN NOTES:  
 1. THESE DRAWINGS ARE INTENDED TO OUTLINE THE GENERAL SCOPE OF THE WORK. CONTRACTORS SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING ANY WORK. CONTRACTORS SHALL ALSO BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND GENERALLY ACCEPTED TRADE PRACTICES.

2. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, MASONRY OR EXISTING WALL SURFACE, UNLESS NOTED OTHERWISE.

3. ALL DOOR FRAME OPENINGS SHALL BE MIN. 6" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE.

4. PROVIDE NECESSARY BLOCKING CONCEALED WITHIN THE CONSTRUCTION, AS REQUIRED.



# THIRD FLOOR

SCALE: 1/8" = 1'-0"



Liberty at Lockerbie Square

544 & 548 Park Ave  
Indianapolis IN 46204

DATE:

Thursday, March 6, 2025

A4

4TH FLOOR

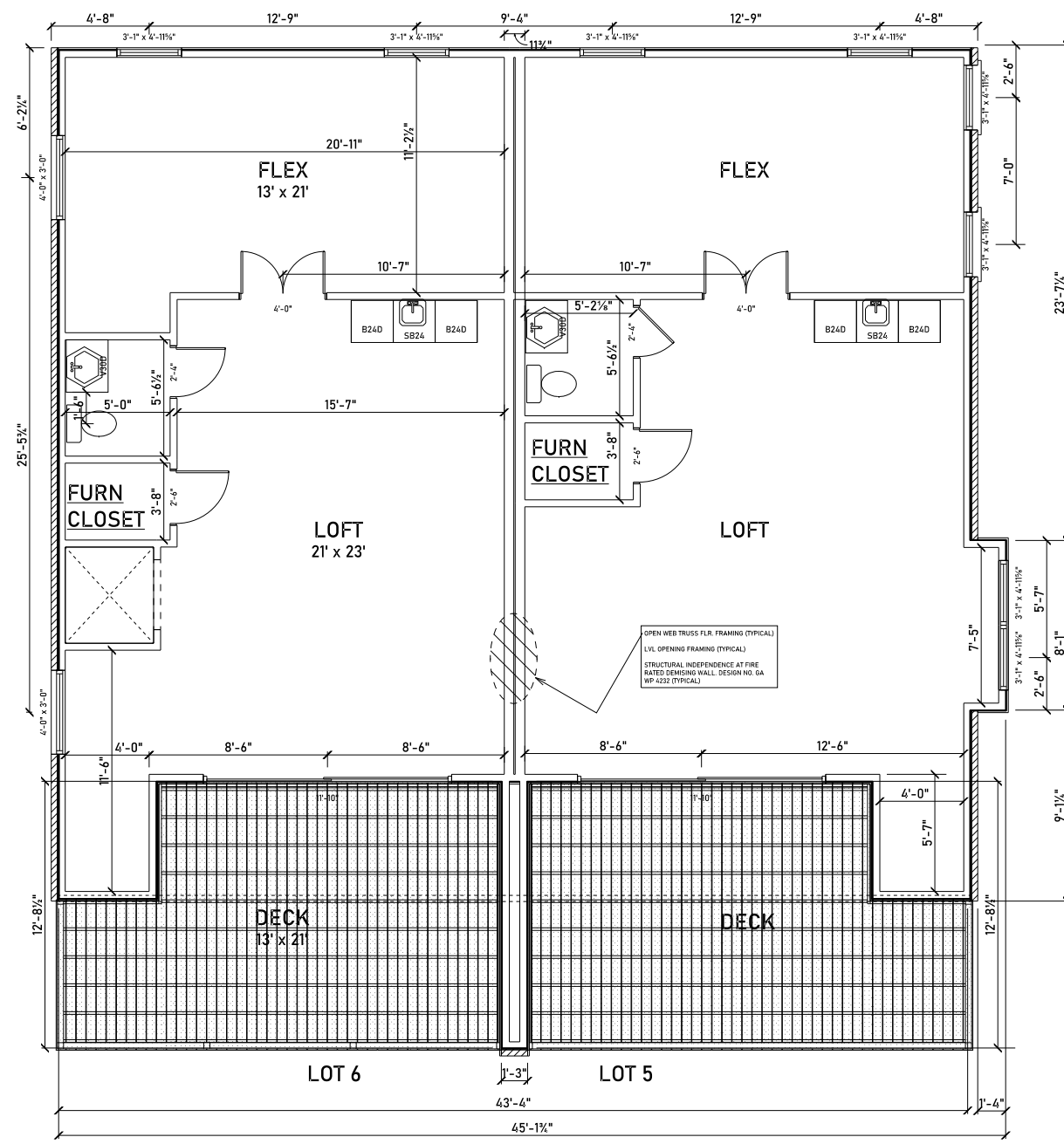
GENERAL NOTES:  
- Ceiling Height: 8'0"  
- Door Height: 6'8"  
- Exterior Walls: 2x4

GENERAL PLAN NOTES:  
1. THESE DRAWINGS ARE INTENDED TO OUTLINE THE GENERAL SCOPE OF THE WORK. CONTRACTORS SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING ANY WORK. CONTRACTORS SHALL ALSO BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND GENERALLY ACCEPTED TRADE PRACTICES.

2. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, MASONRY OR EXISTING WALL SURFACE, UNLESS NOTED OTHERWISE.

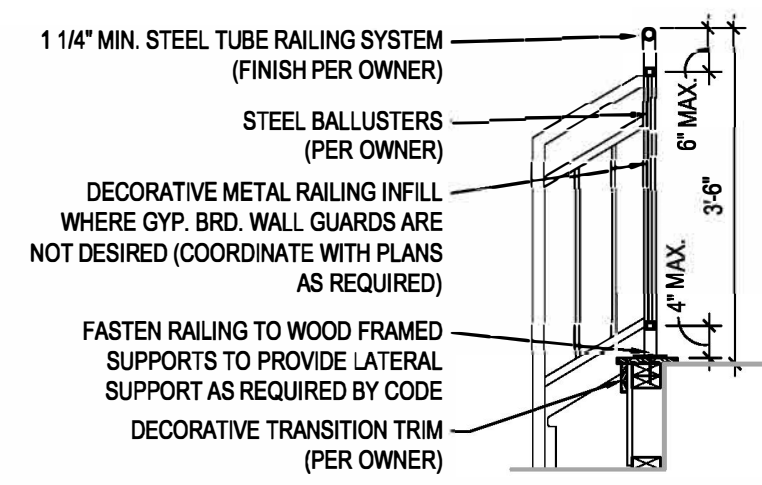
3. ALL DOOR FRAME OPENINGS SHALL BE MIN. 6" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE.

4. PROVIDE NECESSARY BLOCKING CONCEALED WITHIN THE CONSTRUCTION, AS REQUIRED.

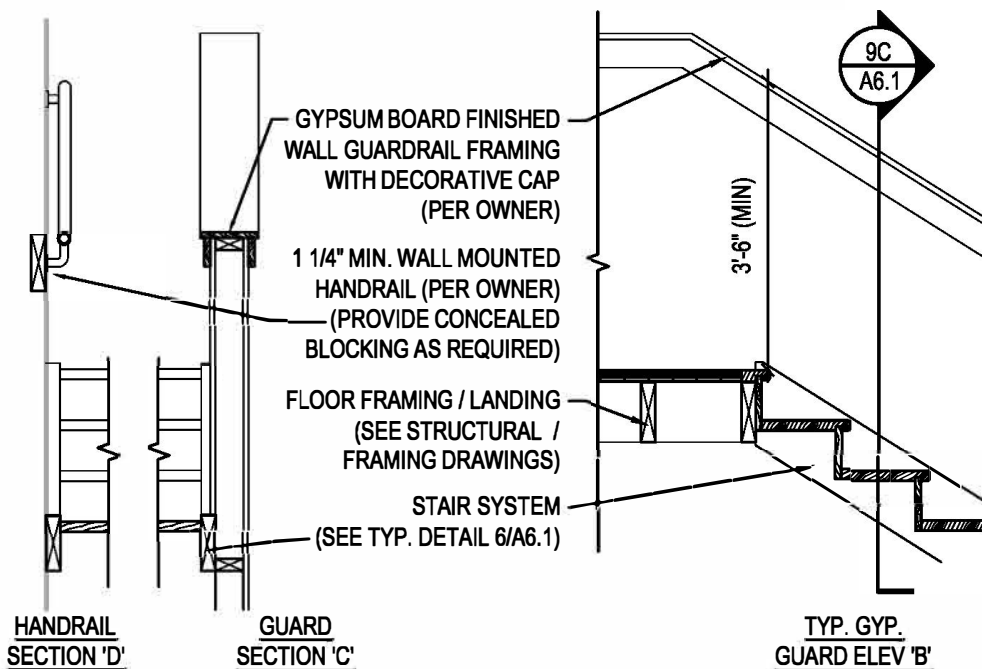


# FOURTH FLOOR

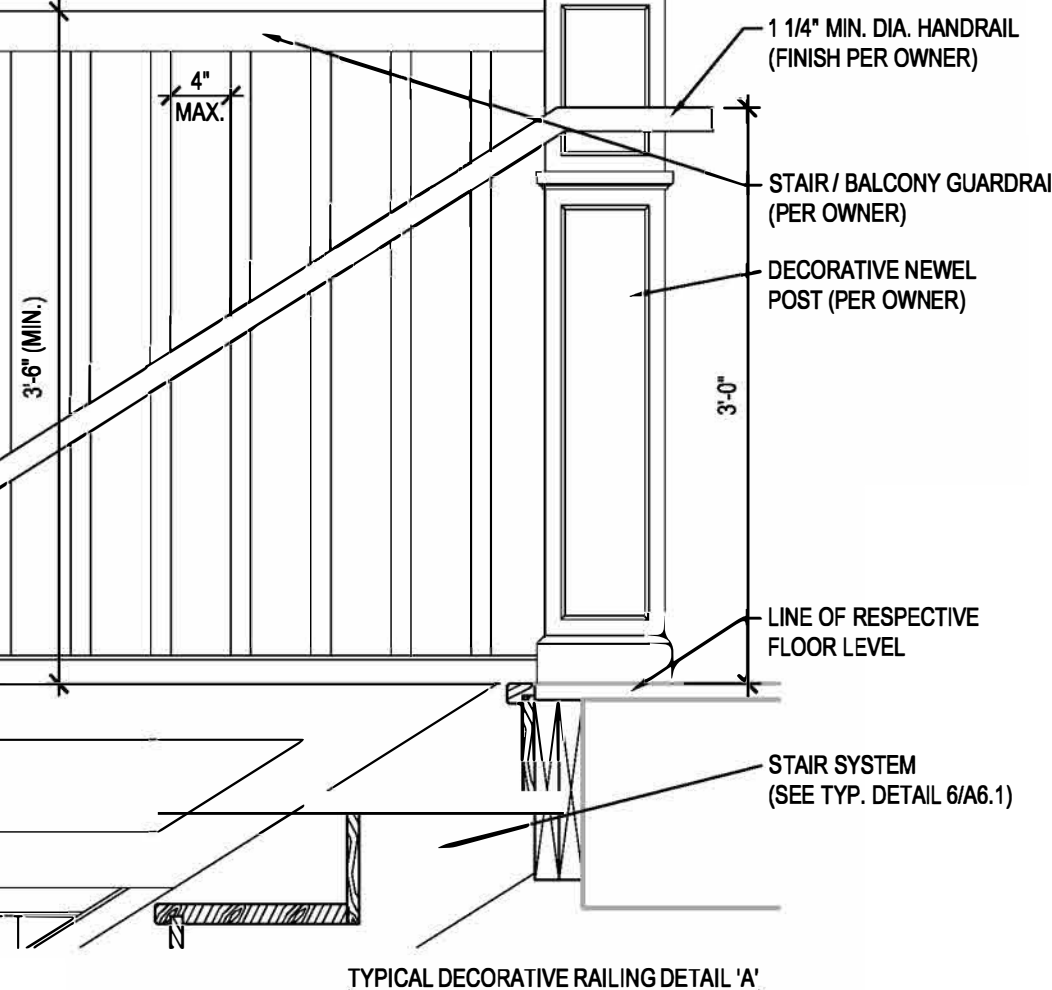
SCALE: 1/8" = 1'-0"



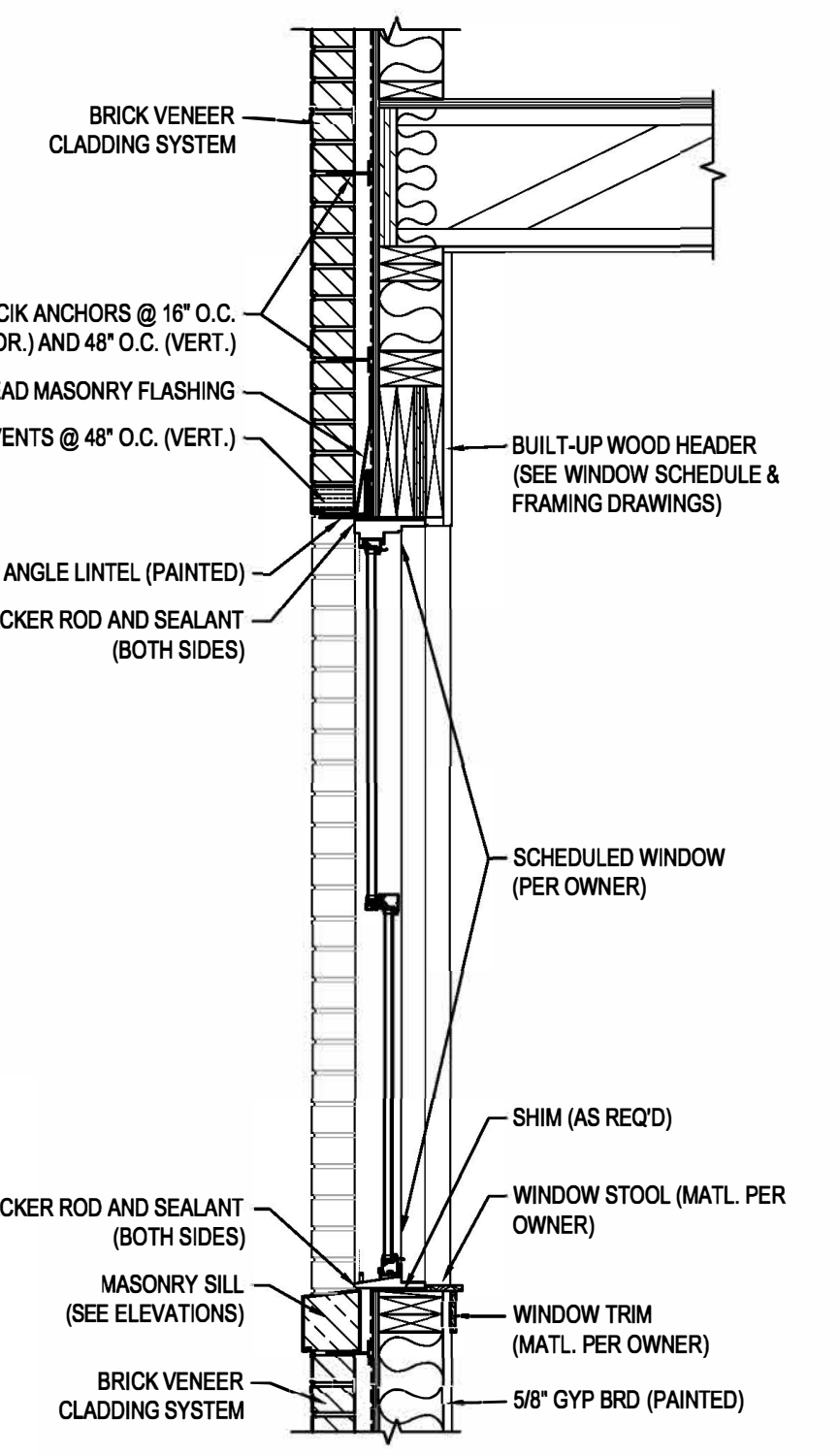
TYPICAL DECORATIVE INFILL RAILING DETAIL 'E'



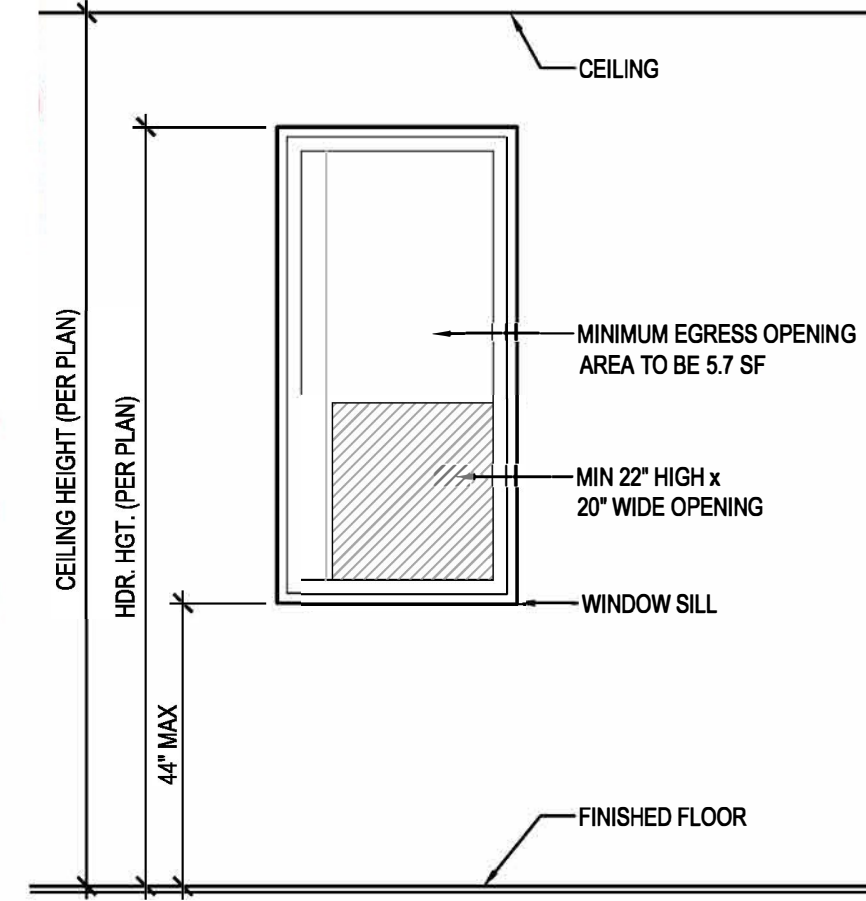
HANDRAIL SECTION 'D' GUARD SECTION 'C' TYP. GYP. ELEV 'B'



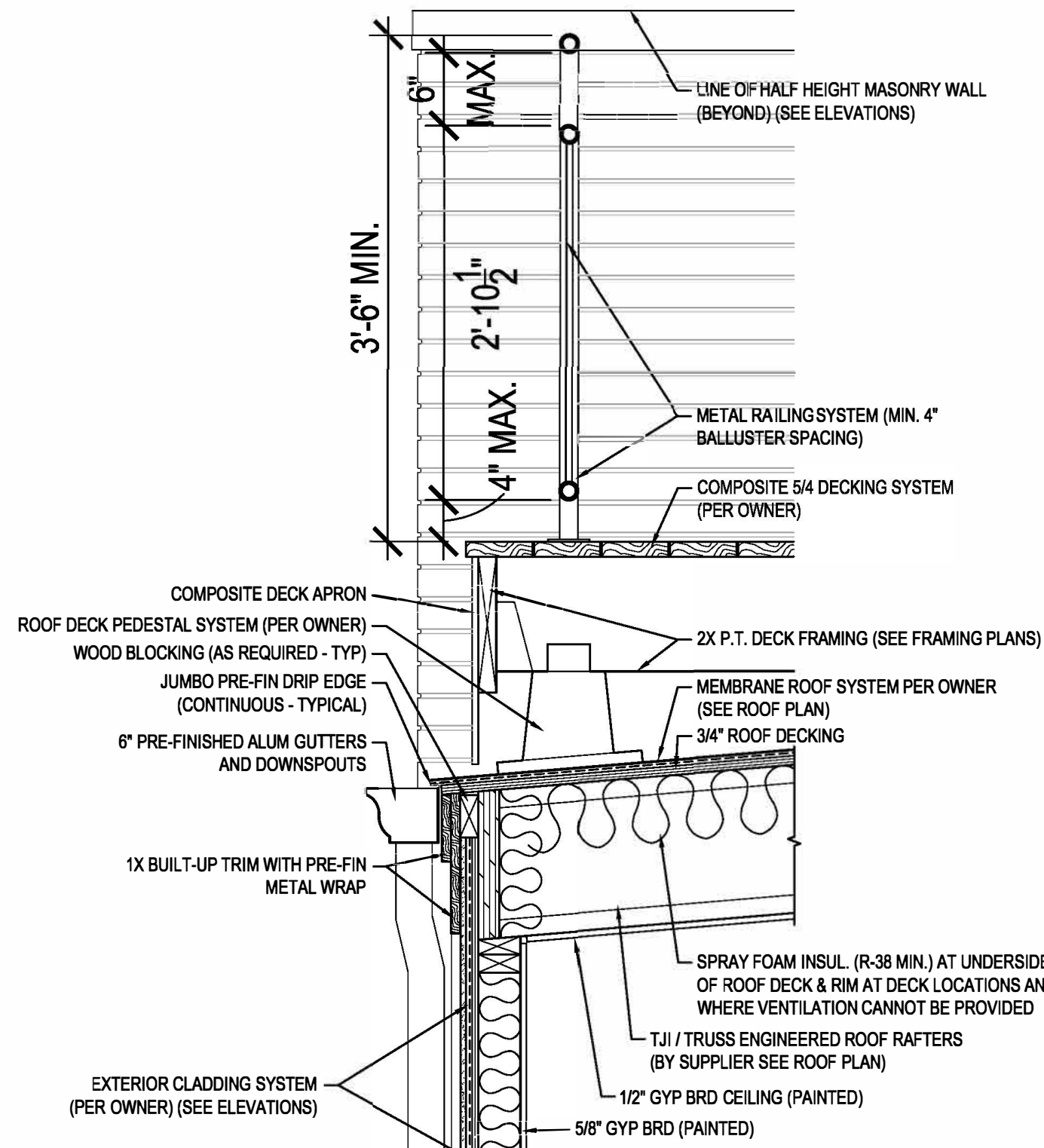
TYPICAL STAIR / BALCONY / RAILING DETAILS SCALE: VARIES



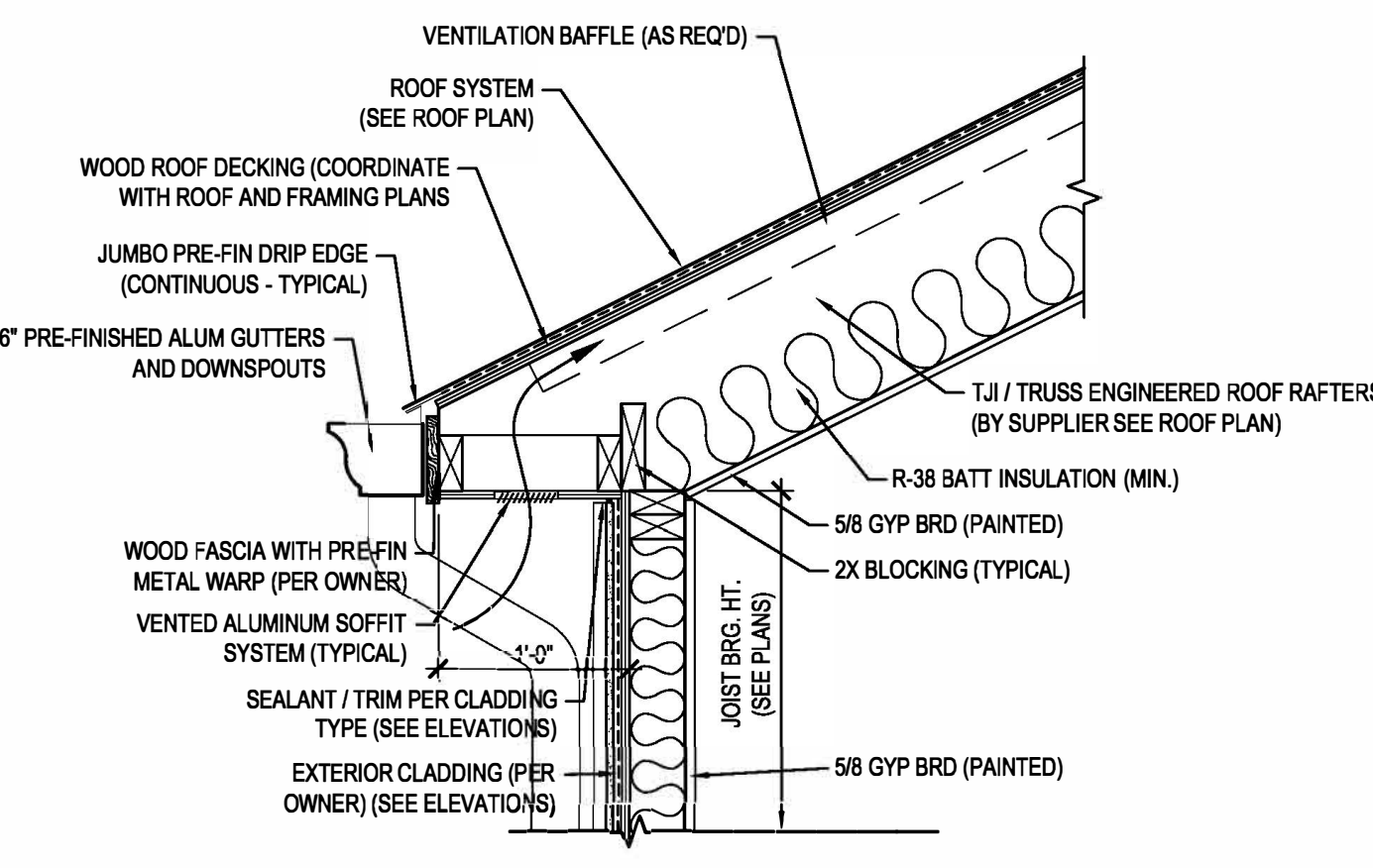
TYPICAL WINDOW DETAIL SCALE: 3/4" = 1'-0"



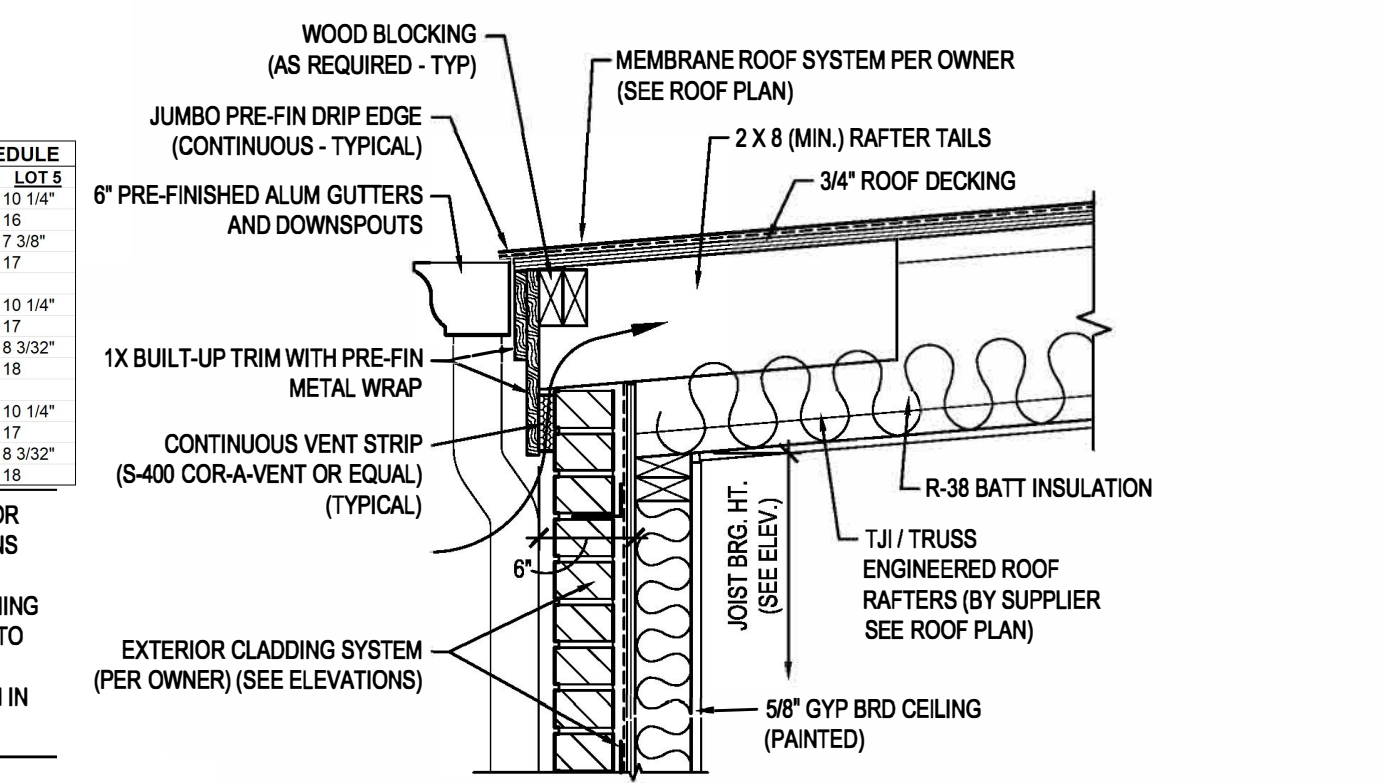
TYPICAL EGRESS WINDOW DETAIL SCALE: N.T.S.



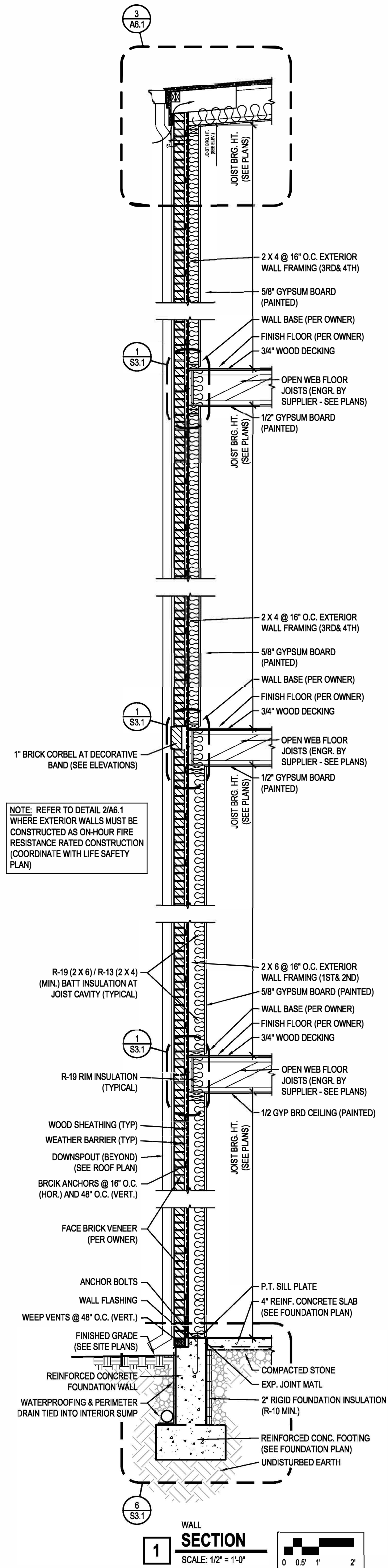
RAILING EDGE / EAVE DETAIL SCALE: 1" = 1'-0"



GABLE EAVE DETAIL SCALE: 1" = 1'-0"



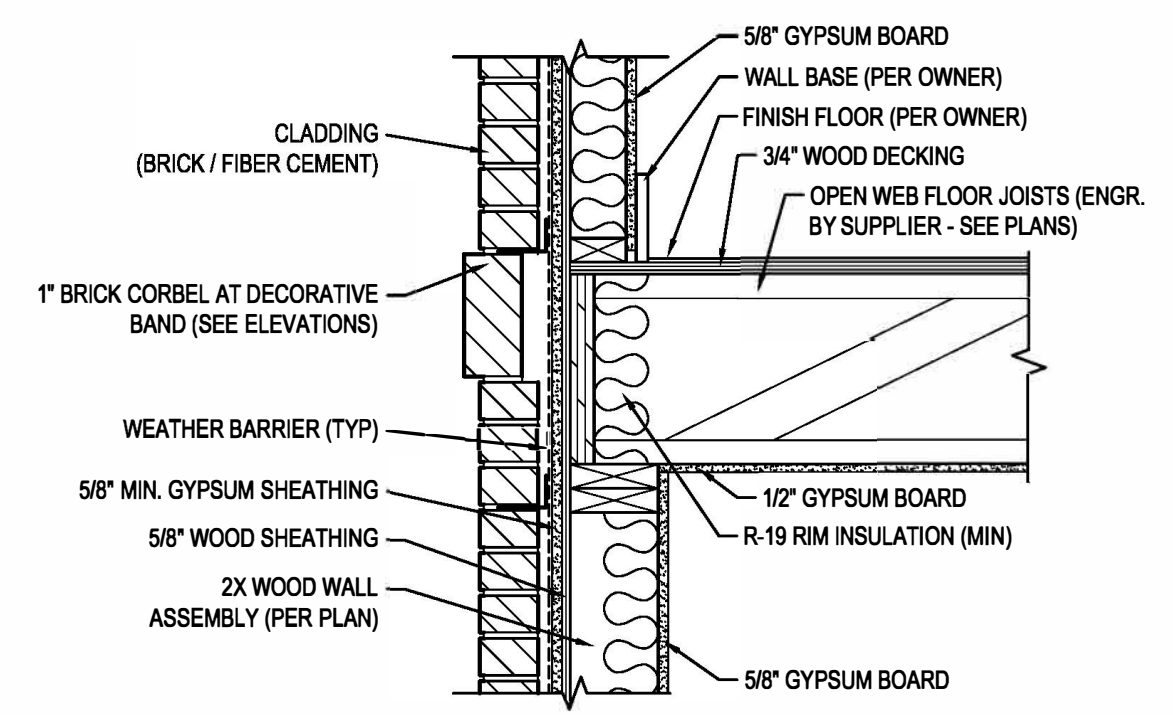
LOW SLOPE EAVE DETAIL SCALE: 1" = 1'-0"



WALL SECTION SCALE: 1/2" = 1'-0"

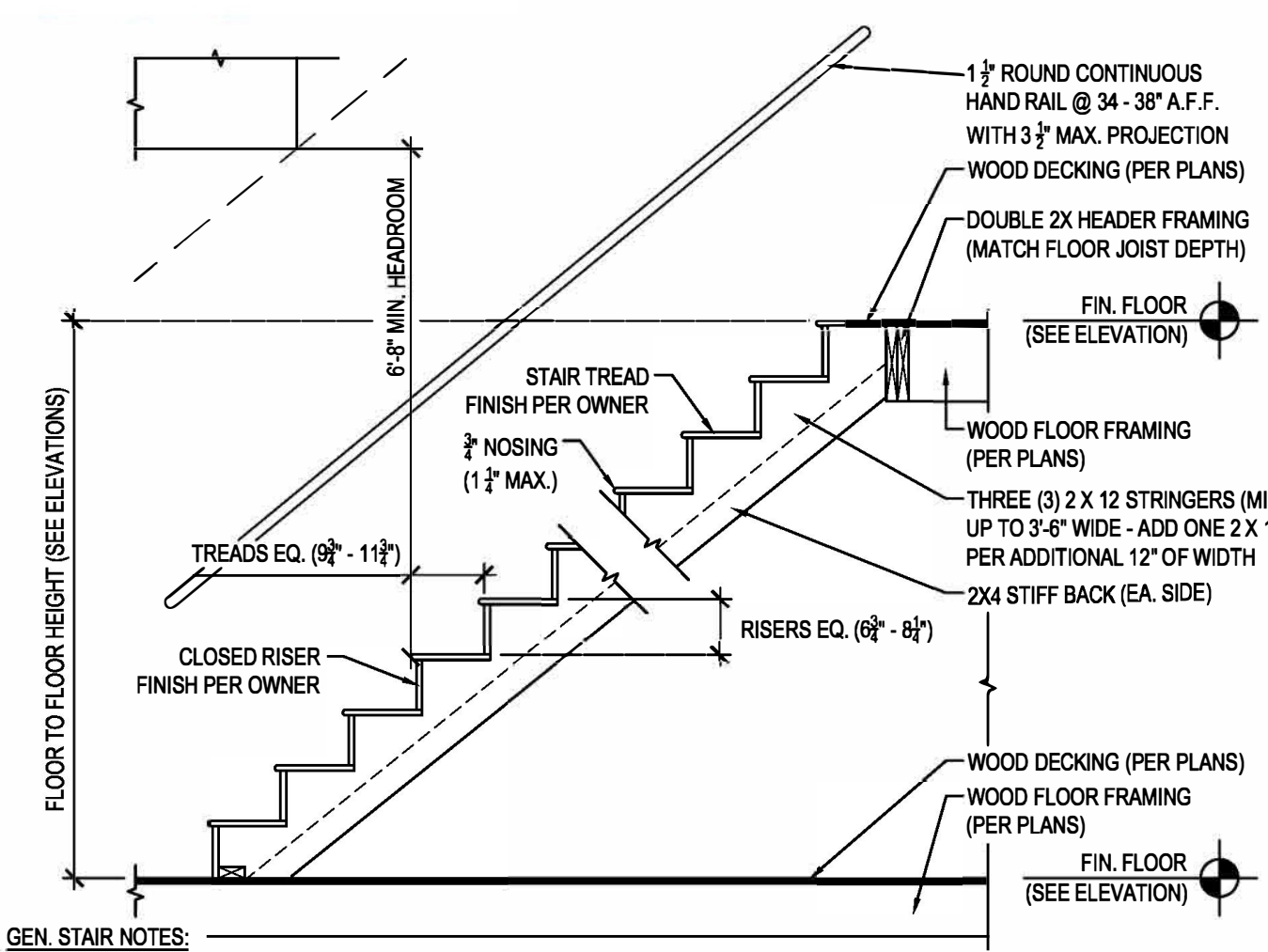
GENERAL WALL DESIGN NOTES:

- THIS SCOPE OF WORK IS DESIGN-BUILD IN NATURE. NOT ALL CONDITIONS, CONNECTIONS NOR TRANSITIONS MAY BE SHOWN. CONTRACTORS SHALL DETERMINE THE BEST MEANS FOR ACHIEVING THE INDICATED DESIGN INTENT. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK, SUCH THAT ALL UNFORSEEN CHALLENGES CAN BE RESOLVED BY MINIMALLY IMPACTING THE CONSTRUCTION SCHEDULE AND BUDGET. THE ARCHITECT SHALL BEAR NO FINANCIAL RESPONSIBILITY FOR THE CONSTRUCTIBILITY OF THIS PROJECT.
- WALL SECTION DESIGN IS BASED ON WOOD STUDS WITH 5/8" GYP. BRD. ON INTERIOR SIDE, BATT INSULATION IN CAVITY, AND WOOD SHEATHING ON EXTERIOR SIDE OF STUDS WITH CONTINUOUS, TAPED AIR BARRIER SUCH AS TYVEK, TYPAR COMMERCIAL WRAP OR EQUAL. ALL EFFORTS SHALL BE MADE TO TIGHTEN THE BUILDING ENVELOPE FOR MAXIMUM ENERGY EFFICIENCY. SEAL ALL PENETRATIONS, JOINTS, VOIDS AND GAPS WITH EXPANDING FOAM SEALANT COMPATIBLE WITH APPLICATION LOCATION.
- SEE FLOOR PLAN & ELEVATION DRAWINGS FOR ALL DESIGN ELEVATIONS (TYPICAL).
- USE DOUBLE DIPPED GALVANIZED OR STAINLESS STEEL FASTENERS FOR ALL LOCATIONS IN CONTACT WITH TREATED LUMBER.
- PROVIDE 5/8" GYP. BRD. ON INTERIOR SIDE OF ALL EXTERIOR BEARING WALL CONSTRUCTION.
- REFER TO SHEET S3.3 FOR GENERAL STRUCTURAL NOTES AND DESIGN DATA. COORDINATE ALL ARCHITECTURAL FEATURES WITH STRUCTURAL SHEETS AS REQUIRED. WHERE CONFLICTS MAY ARISE, DEFER TO STRUCTURAL DETAILS AND NOTIFY THE ARCHITECT AND OWNER OF DISCREPANCIES.



TYPICAL ONE-HOUR EXTERIOR FIRE RATED WALL DETAIL SCALE: N.T.S.

NOTE: COORDINATE LOCATIONS OF FIRE-RATED WALLS REQUIRING PROTECTION FROM EXTERIOR WITH LIFE SAFETY PLAN



TYPICAL STAIR FRAMING DETAIL SCALE: N.T.S.

SPECIFIC STAIR FRAMING SCHEDULE

THIRD TO FOURTH FLOOR	LOT 4	LOT 5
TREAD DEPTH	10 1/4"	10 1/4"
TREAD QTY	15	16
RISER HEIGHT	7 3/8"	7 3/8"
RISER QTY	16	17
SECOND TO THIRD FLOOR		
TREAD DEPTH	10 1/4"	10 1/4"
TREAD QTY	16	17
RISER HEIGHT	8 3/32"	8 3/32"
RISER QTY	17	18
FIRST TO SECOND FLOOR		
TREAD DEPTH	10 1/4"	10 1/4"
TREAD QTY	16	17
RISER HEIGHT	8 3/32"	8 3/32"
RISER QTY	17	18

NOTE: VERIFY EXISTING FLOOR TO FLOOR HEIGHT CONDITIONS PRIOR TO FABRICATION OF STRINGERS AND FLOOR FRAMING AND ADJUST AS NECESSARY TO MAINTAIN COMPLIANCE WITH MINIMUM STANDARDS SHOWN IN DETAIL 6/A6.1 AND ABOVE.

SPECIFIC STAIR FRAMING SCHEDULE SCALE: N.T.S.



**STRUCTURAL NOTES:**

1. COORDINATE DIMENSIONS WITH THE ARCHITECTURAL FLOOR PLANS WHERE NOT SHOWN ON THE STRUCTURAL DRAWINGS.

2. COORDINATE STRUCTURAL FRAMING BEARING HEIGHTS WITH ARCHITECTURAL ELEVATIONS AND LUMBER SUPPLIER SHOP DRAWINGS AS REQUIRED.

3. REFER TO FRAMING PLANS AND/OR OPENING SCHEDULE FOR HEADER DESIGNATIONS.

6. COORDINATE FLOOR AND ROOF TRUSS AND FRAMING DESIGNATIONS ON PLANS WITH STAMPED TRUSS PACKAGE SUBMITTED UNDER SEPARATE COVER.

**STRUCTURAL LEGEND:**

● - DENOTES SIMPTON HOLD DOWN LOCATIONS

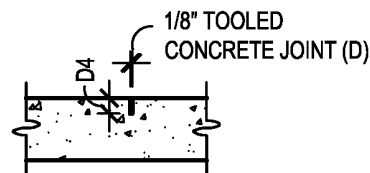
**GENERAL FOUNDATION NOTES:**

1. THESE DRAWINGS ARE INTENDED TO OUTLINE THE GENERAL SCOPE OF THE WORK. CONTRACTORS SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING ANY WORK. CONTRACTORS SHALL ALSO BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND GENERALLY ACCEPTED TRADE PRACTICES.

2. PROVIDE CONCRETE SLAB CONTROL JOINTS AS RECOMMENDED BY ACI STANDARDS.

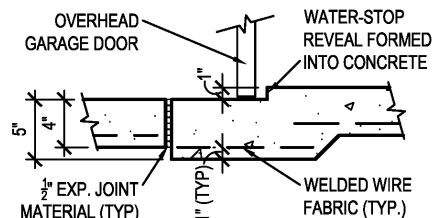
3. COORDINATE SLAB AND CONCRETE ELEVATIONS WITH SITE PLAN AS REQUIRED.

4. GARAGE DOOR OPENING WITH WEATHER TIGHT GARAGE DOOR SILL.



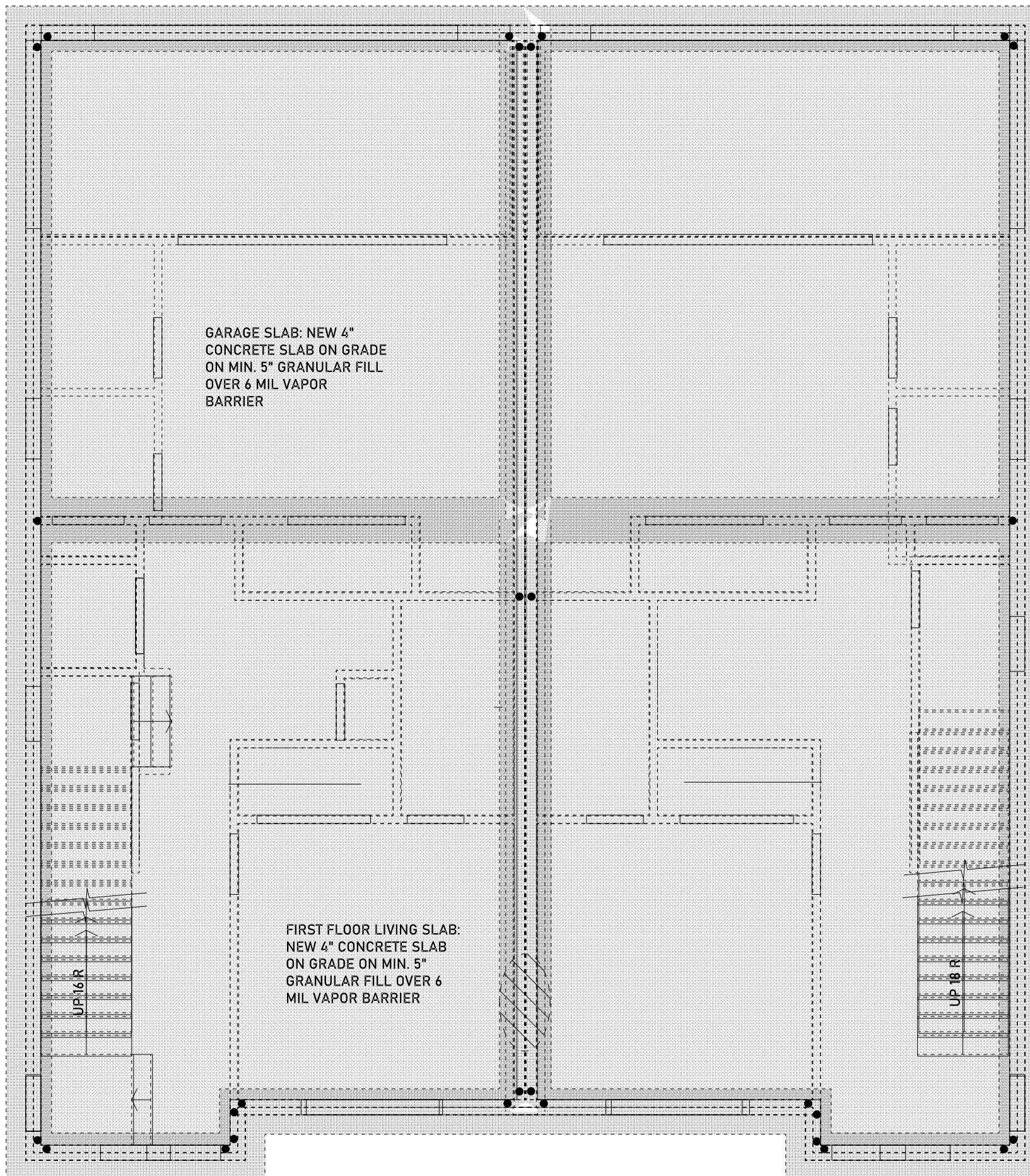
TYP. CONC. SLAB JOINT

**2. DETAIL**  
SCALE: N.T.S.



GARAGE DOOR SILL

**4. DETAIL**  
SCALE: 1" = 1'-0"



**FOUNDATION PLAN**

SCALE: 3/16" = 1'-0"

Liberty at Lockerbie Square

544 & 548 Park Ave  
Indianapolis IN 46204

DATE:

Monday, October 21, 2024

A5

FOUNDATION

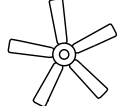











**PANEL SCHEDULE**

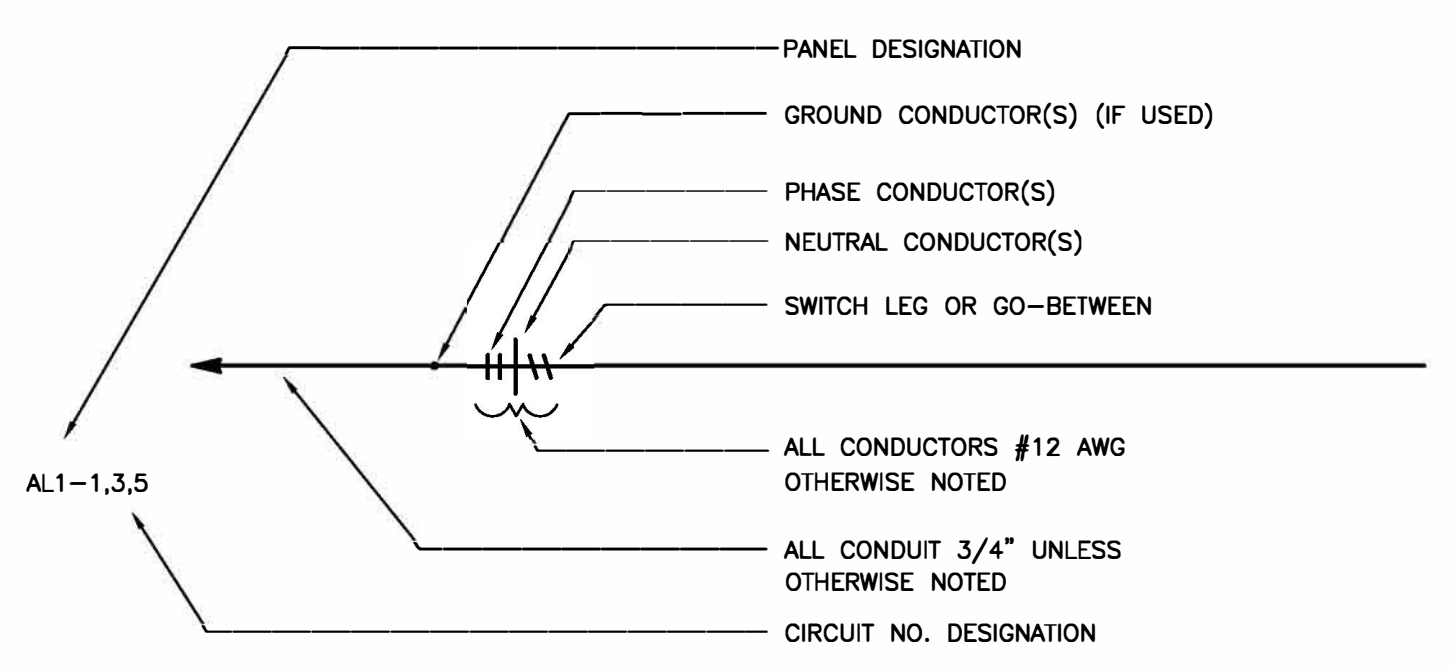
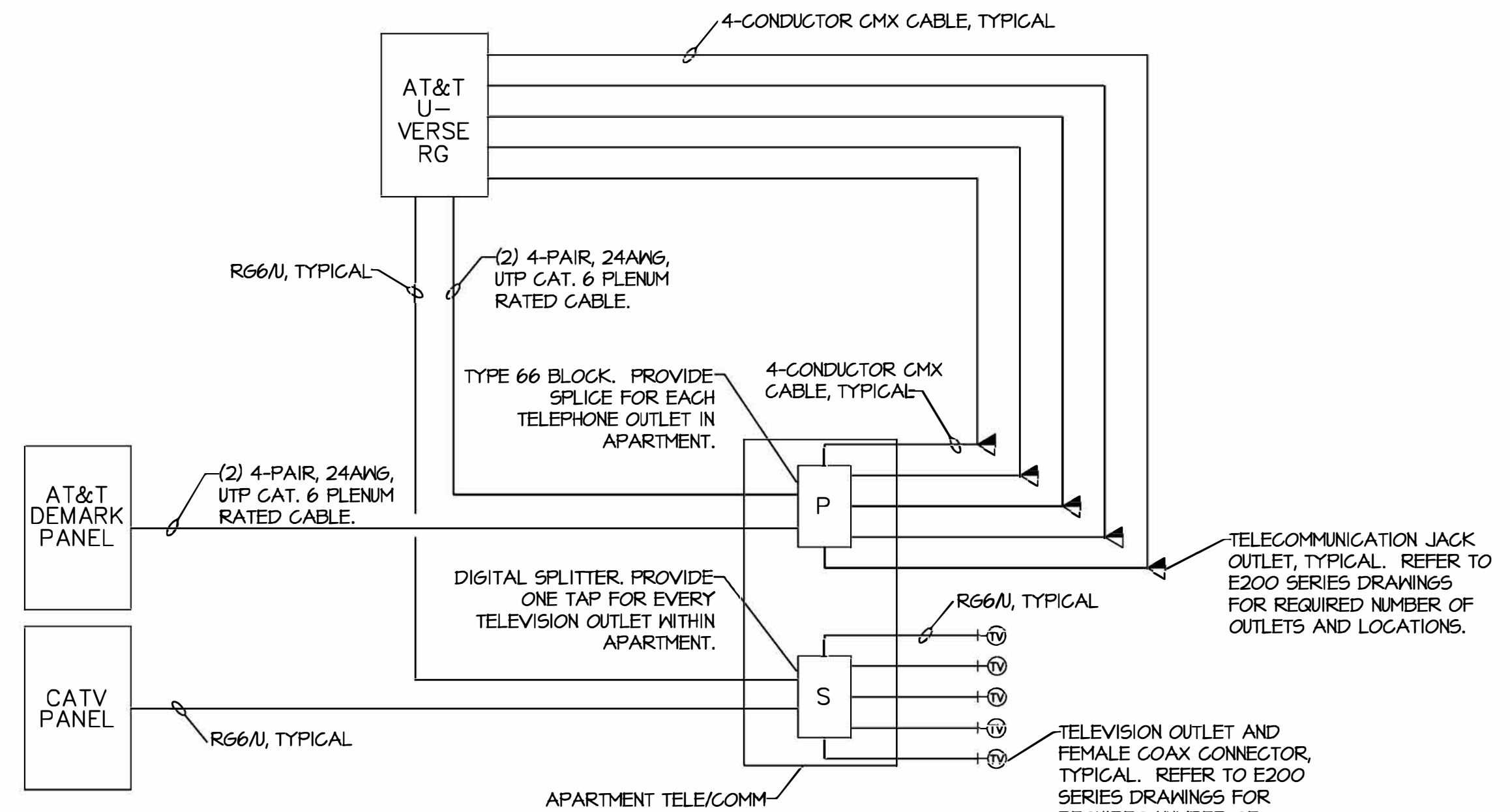
PANEL ID: 544 E NORTH  
 PANEL LOCATION: GARAGE  
 FED FROM: TOP  
 BREAKER DETAILS: MAIN BREAKER, 200 AMP  
 PHASE TYPE: SINGLE  
 VOLTAGE TYPE: 120/240

MARK	Description	POLE	AMPS	kVA	Ckt	A	B	Ckt	kVA	AMPS	POLE	Description	MARK
A	HPC1-1	2	40	2.8	1	5.6		2	2.8	40	2	HPC1-2	A
A				2.8	3		5.6	4	2.8				A
K	OVEN	2	50	4.5	5	6.3		6	1.8	20	1	FCUC1-1	A
K				4.5	7		6.3	8	1.8	20	1	FCUC1-2	A
M	GARAGE DOOR OPENER	1	20	0.3	9	1.8		10	1.5	20	1	WH-1	M
R	BED #3 REC	1	20	1.4	11		2.6	12	1.2	20	1	REFRIGERATOR #1	K
R	GARAGE RECEP	1	20	1	13	1.3		14	0.3	20	1	OVEN HOOD	K
K	GARBAGE DISPOSAL	1	20	0.8	15		2.0	16	1.2	20	1	DISHWASHER	K
K	KITCHEN RECEP	1	20	0.8	17	1.6		18	0.8	20	1	LIVING ROOM RECEP	R
R	BATH #2 RECEP	1	20	0.2	19		1.0	20	0.8	20	1	2ND FLR RECEP	R
R	BED #2 RECEP	1	20	1	21	1.5		22	0.5	20	1	MASTER BATH RECEP	R
R	4TH FLR RECEP	1	20	0.8	23		1.8	24	1	20	1	MASTER BED RECEP	R
M	DRYER	2	30	2.5	25	3.1		26	0.6	20	1	1ST & 2ND FLR LIGHTS	L
M				2.5	27		3.5	28	1	20	1	3RD & 4TH FLR LIGHTS	L
R	BATH #3 RECEP	1	20	0.2	29	1.4		30	1.2	20	1	REFRIGERATOR #2	K
K	WINE COOLER	1	20	0.2	31		0.4	32	0.2	20	1	2ND FLR BATH RECEP	R
M	WASHING MACHINE	1	20	1.2	33	1.8		34	0.6	20	1	LOFT FRIDGE	M
R	4TH FLR DECK RECEP	1	20	0.8	35		0.0	36	0.6	20	1	SPARE	M
	SPARE	1	20		37	0.0		38		20	1	SPARE	
	SPARE	1	20		39	0.0		40		20	1	SPARE	
49 TOTAL CONN LOAD						24.4	23.2	AMPS 193.98					
MARK	Description	CONN LOAD Kva	DEMAND FACTOR	LOAD Kva	LOAD Kva	DEMAND FACTOR	CONN LOAD Kva	Description	MARK				
L	LIGHTING LOAD	1.6	1	1.6	0	0	0	HEATING LOAD	H				
R	RECEP LOAD	8.7	1.31	11.4	0	1	0	LARGEST MOTORS	B				
M	MISC EQUIP LOAD	9.2	1	9.2	0	1	0	OTHER MOTORS	O				
A	A/C LOAD	14.8	1	14.8	9.555	0.65	14.7	KITCHEN EQUIPMENT	K				
		<b>34.3</b>		<b>37</b>	<b>9.555</b>		<b>14.7</b>						

**FIXTURE SCHEDULE**

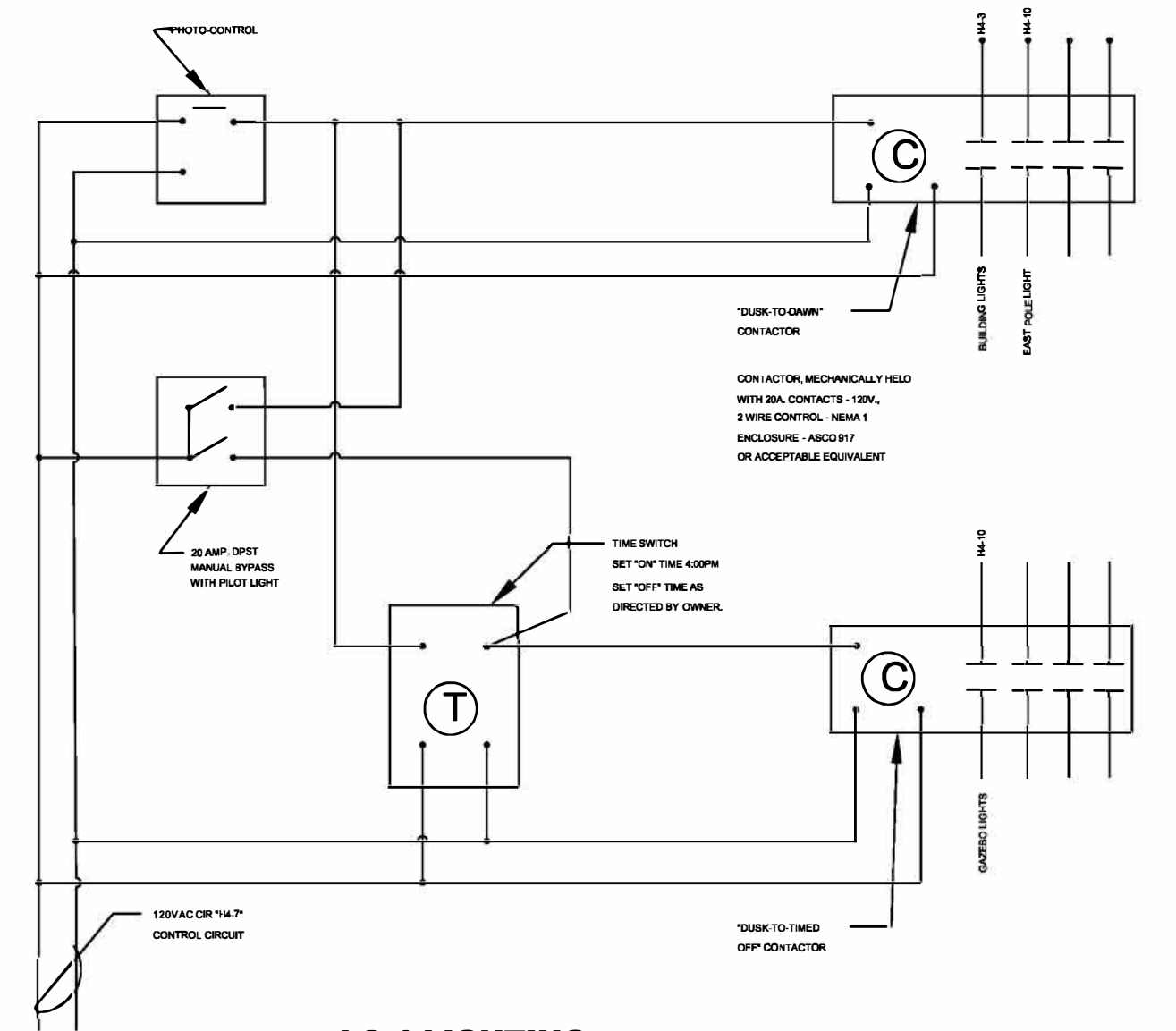
ELECTRICAL	COUNT	SYMBOL	MOUNT	LAMP	WATTS
PL MIDORI 52" W/ LIGHT KIT	10		SURFACE	(2) E26	17
ceiling fan light	4		RECESSED		
6-LIGHT LED SPUTNIK	1		SURFACE	(6) A19	9
6-INCH LED CAN LIGHT	73		RECESSED	BUILT-IN	12.3
LITHONIA 4000 LUMEN 4' LED PANEL	4		SURFACE	BUILT-IN	30
ceiling light 01	18		SURFACE	(4) E36	9
pendant cube	4		SURFACE	(1) A19	9
exterior light 02	6		SURFACE	(1) A19	9
2' LED STRIP	4		SURFACE	BUILT-IN	28
vanity bar light 02	12		SURFACE	(3) E36	9

**G**  
E9.1  
**TYPICAL APARTMENT TELEPHONE, INTERNET & CATV WIRING DIAGRAM**

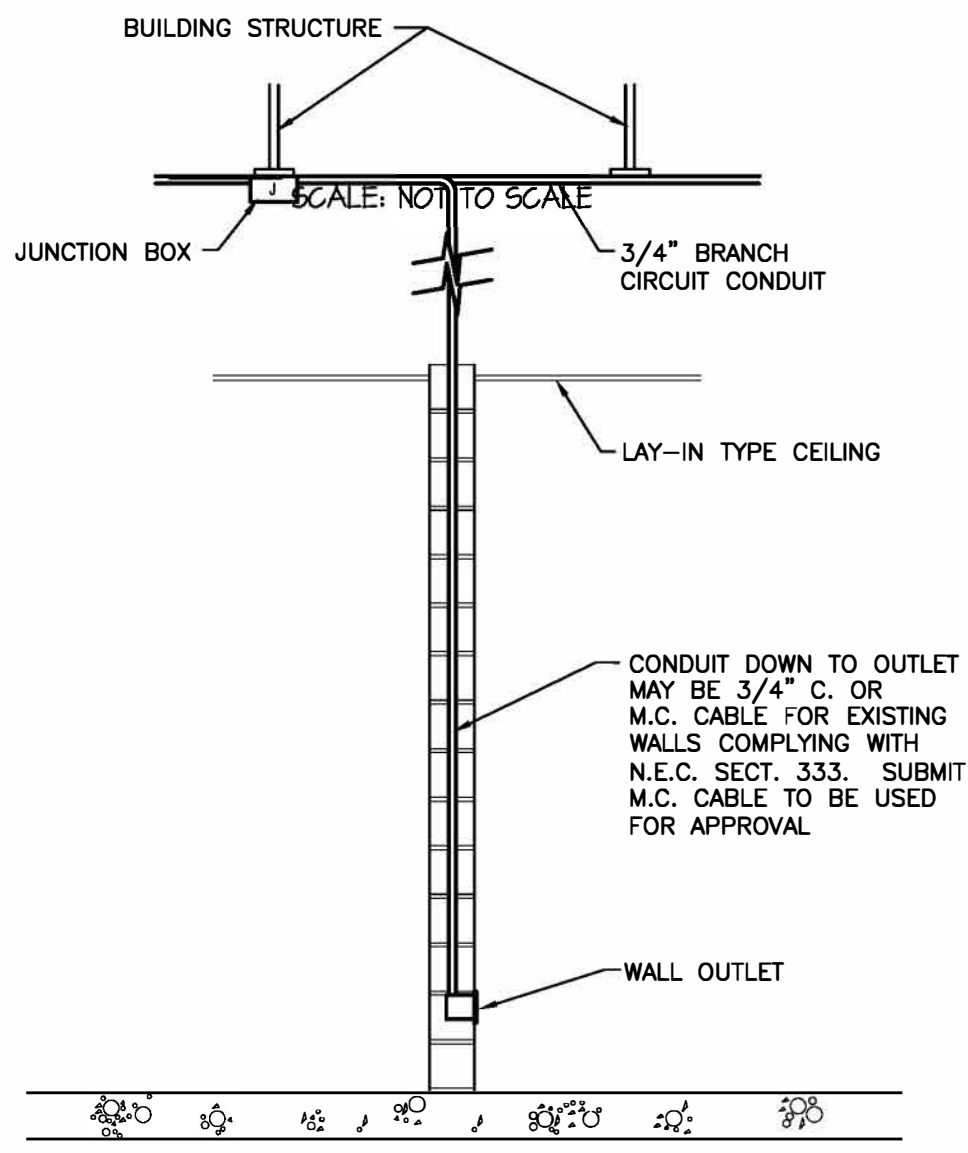


**NOTES:**  
 1. #12 AWG IS MIN. CONDUCTOR SIZE EXCEPT AS NOTED.  
 2. 3/4" CONDUIT IS MIN. SIZE EXCEPT AS CAPACITY PERMITTING 24 VOLT CONTROL CONDUCTORS AND SWITCHLEGS MAY BE IN 1/2" SIZE, OTHERS AS NOTED.  
 3. 1/2" IS MIN. FLEXSTEEL, GREENFIELD AND SEALITE SIZE.

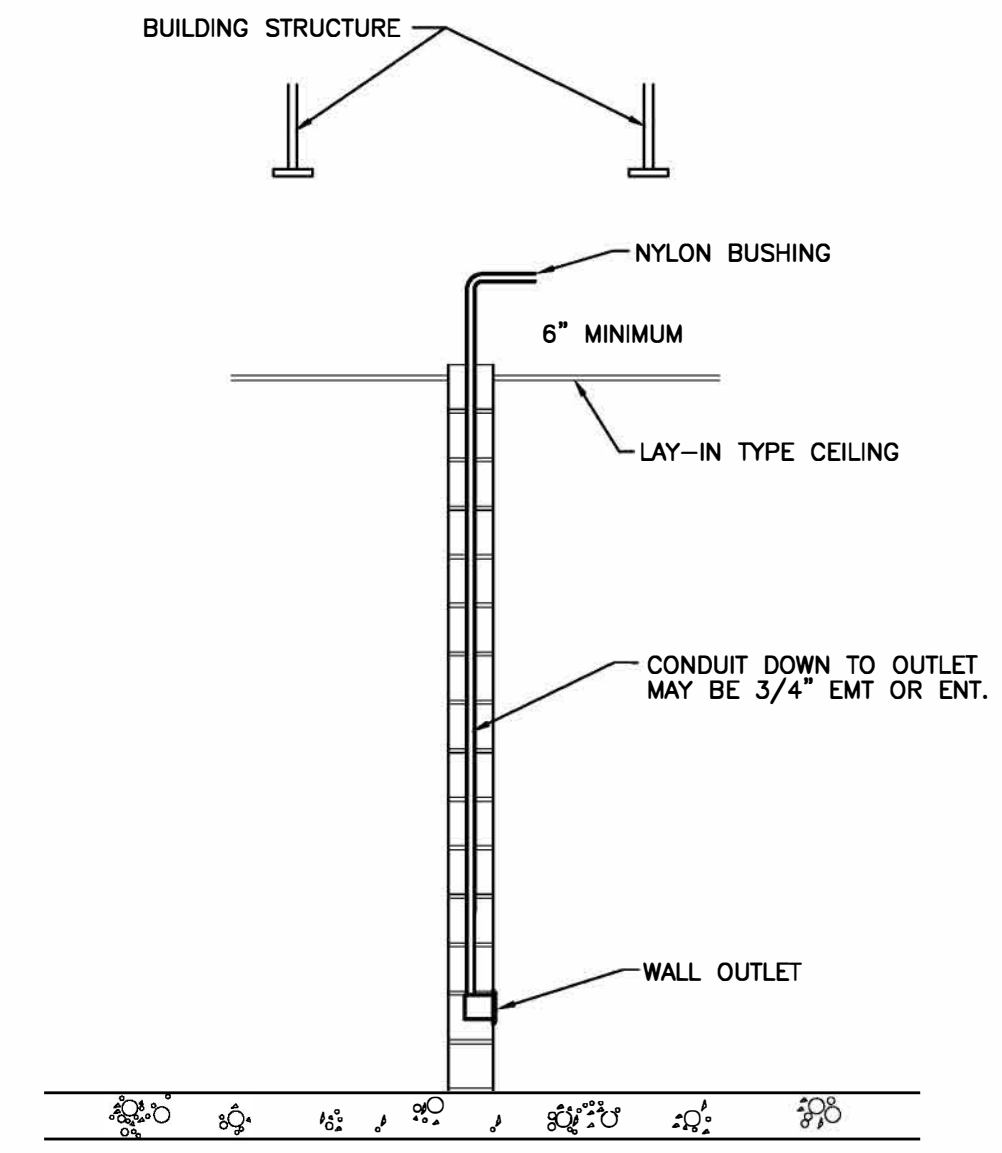
**D**  
E9.1  
**ELECTRICAL CIRCUIT WIRING KEY**



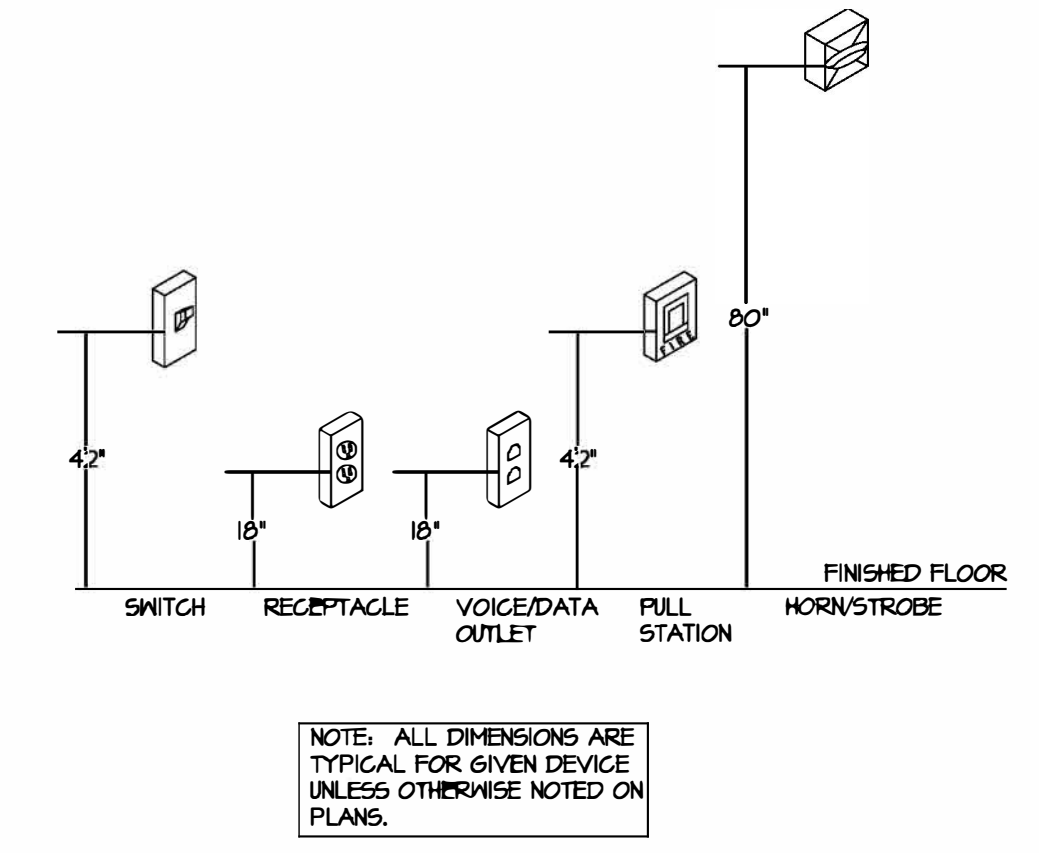
**K**  
E9.1  
**LC-4 LIGHTING CONTRACTOR SCHEMATIC**



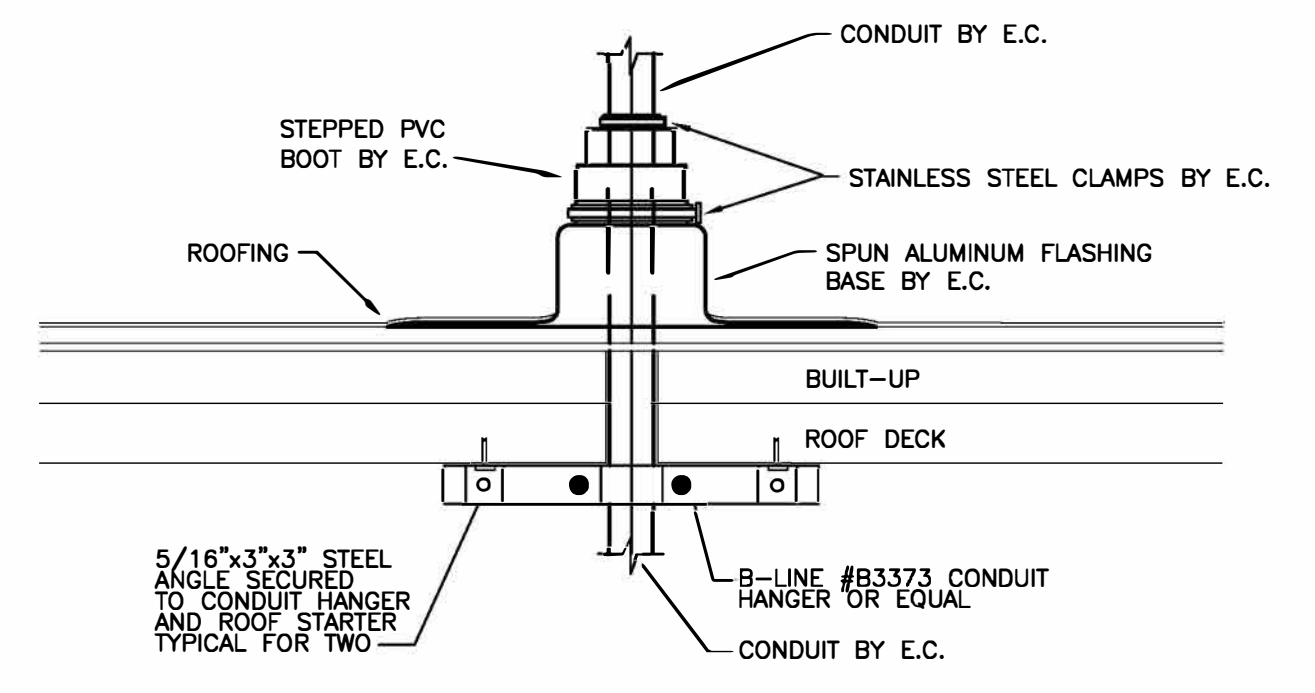
**J**  
E9.1  
**OVERHEAD FEED TO INTERIOR WALL RECEPTACLE**



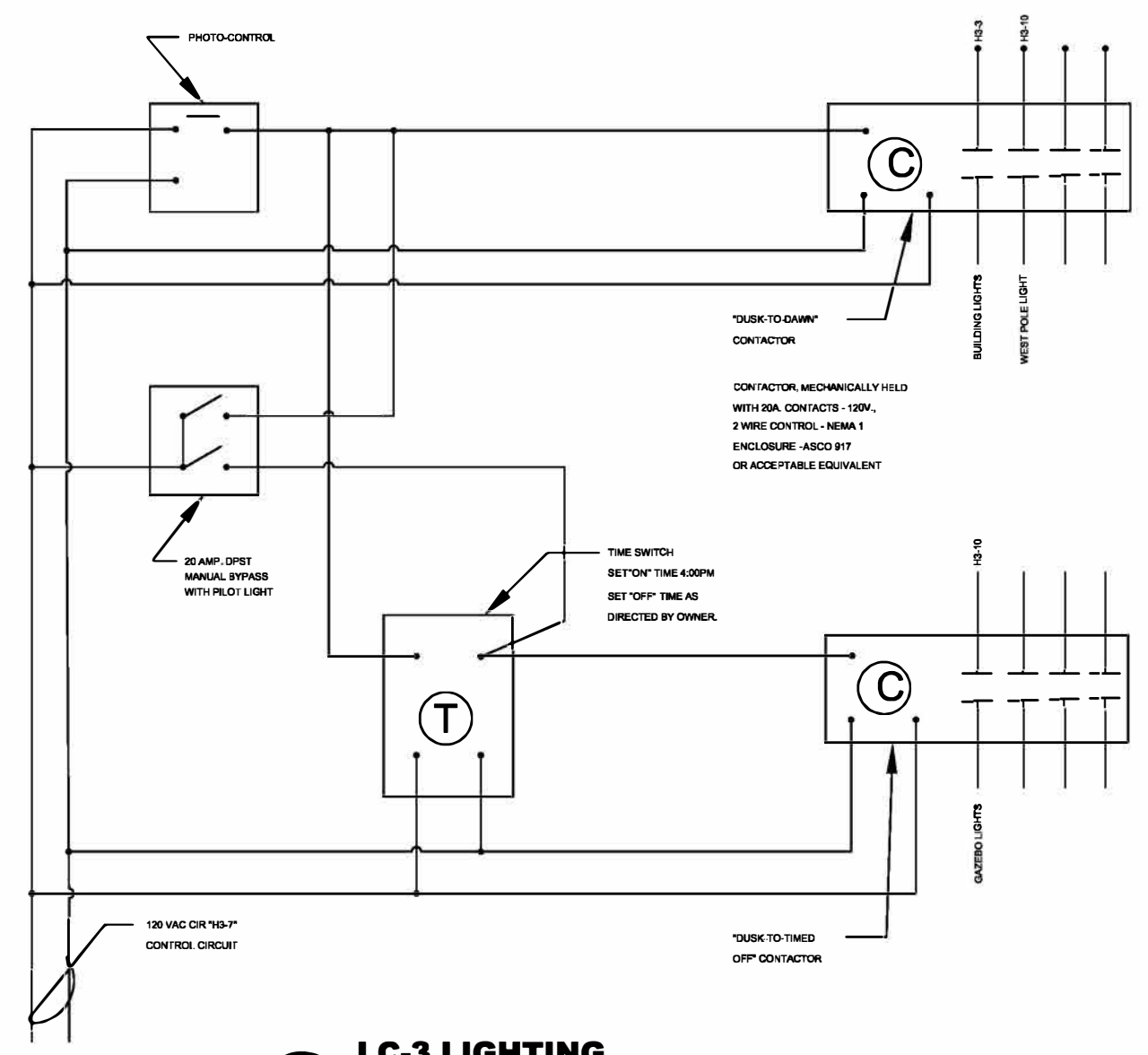
**H**  
E9.1  
**OVERHEAD FEED TO INTERIOR TELE/DATA OR TV OUTLET**



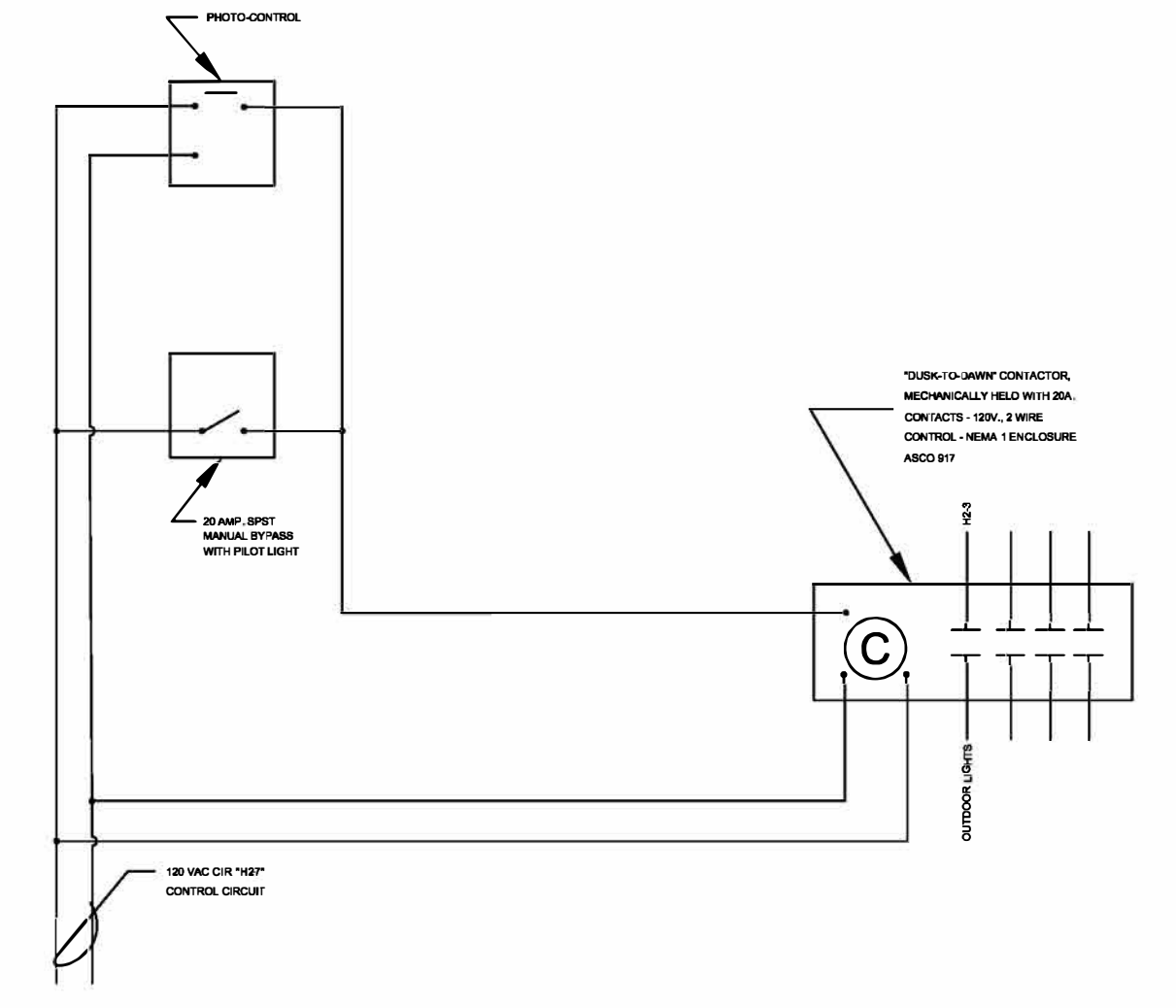
**E**  
E9.1  
**OPERABLE DEVICE MOUNTING HEIGHT**



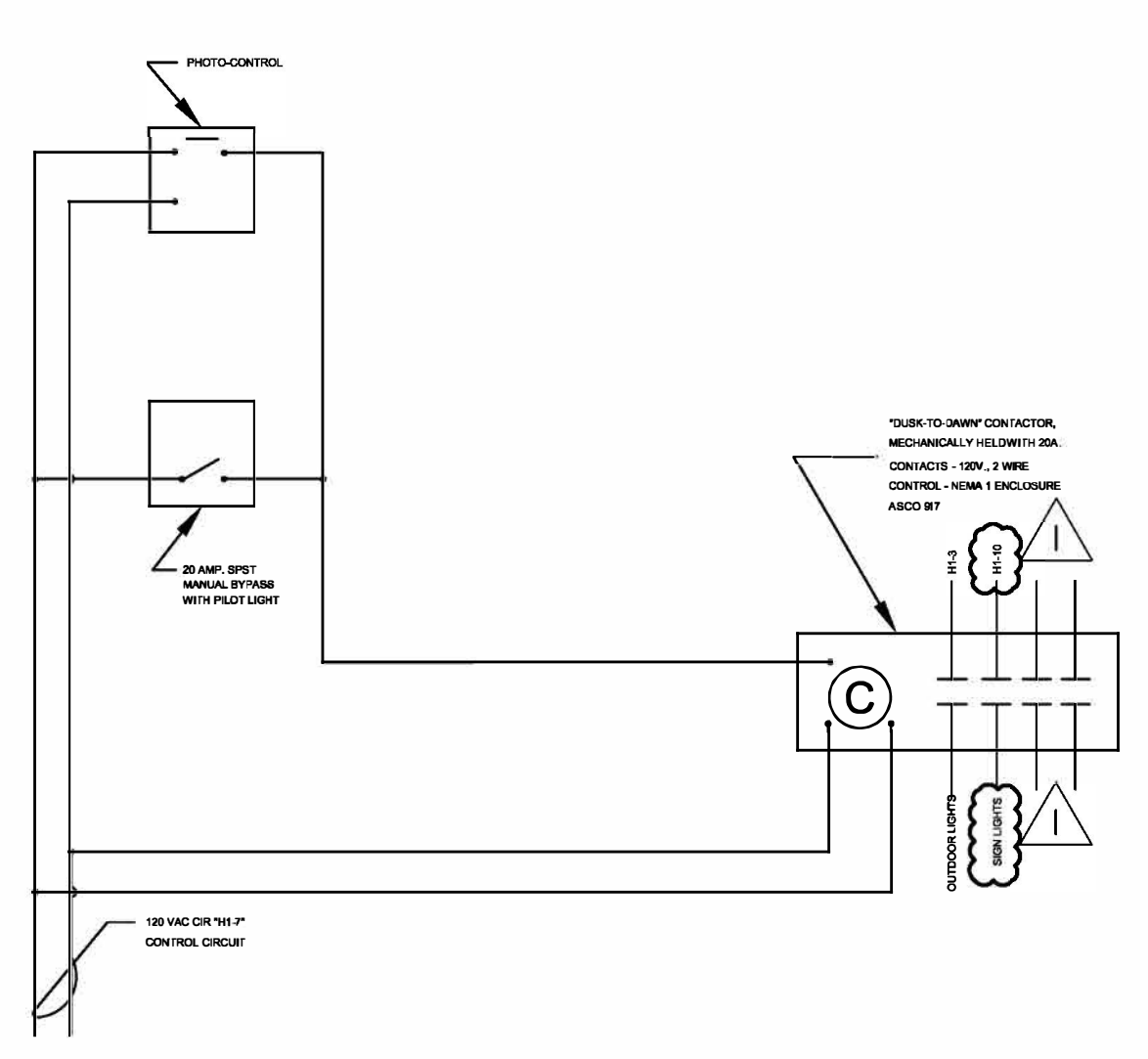
**B**  
E9.1  
**TYPICAL ROOF PENETRATION**



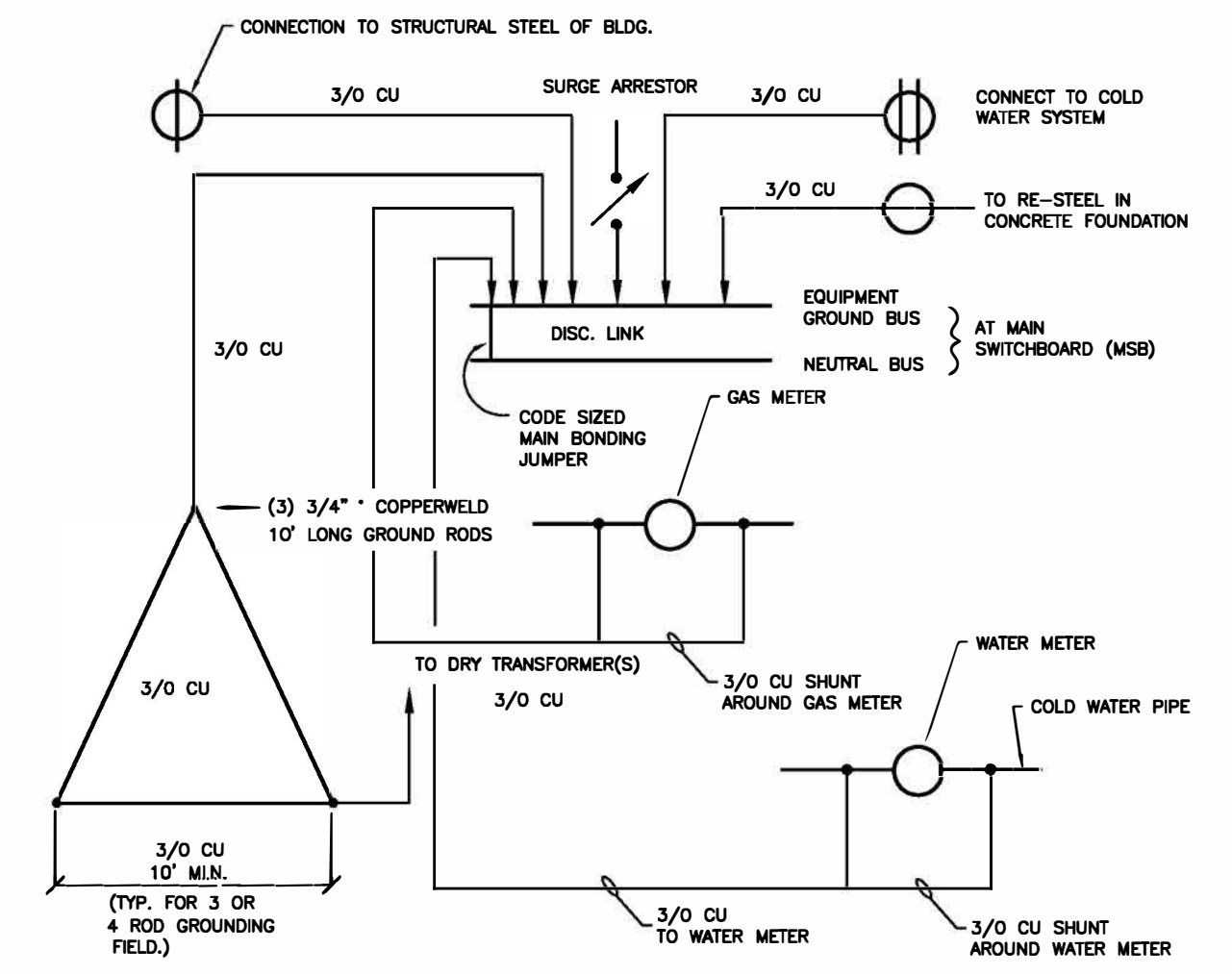
**K**  
E9.1  
**LC-3 LIGHTING CONTRACTOR SCHEMATIC**



**I**  
E9.1  
**LC-2 LIGHTING CONTRACTOR SCHEMATIC**



**F**  
E9.1  
**LC-1 LIGHTING CONTRACTOR SCHEMATIC**



**C**  
E9.1  
**GROUNDING DETAIL**





Liberty at Lockerbie Square

544 & 548 Park Ave  
Indianapolis IN 46204

DATE:

Monday, October 21, 2024

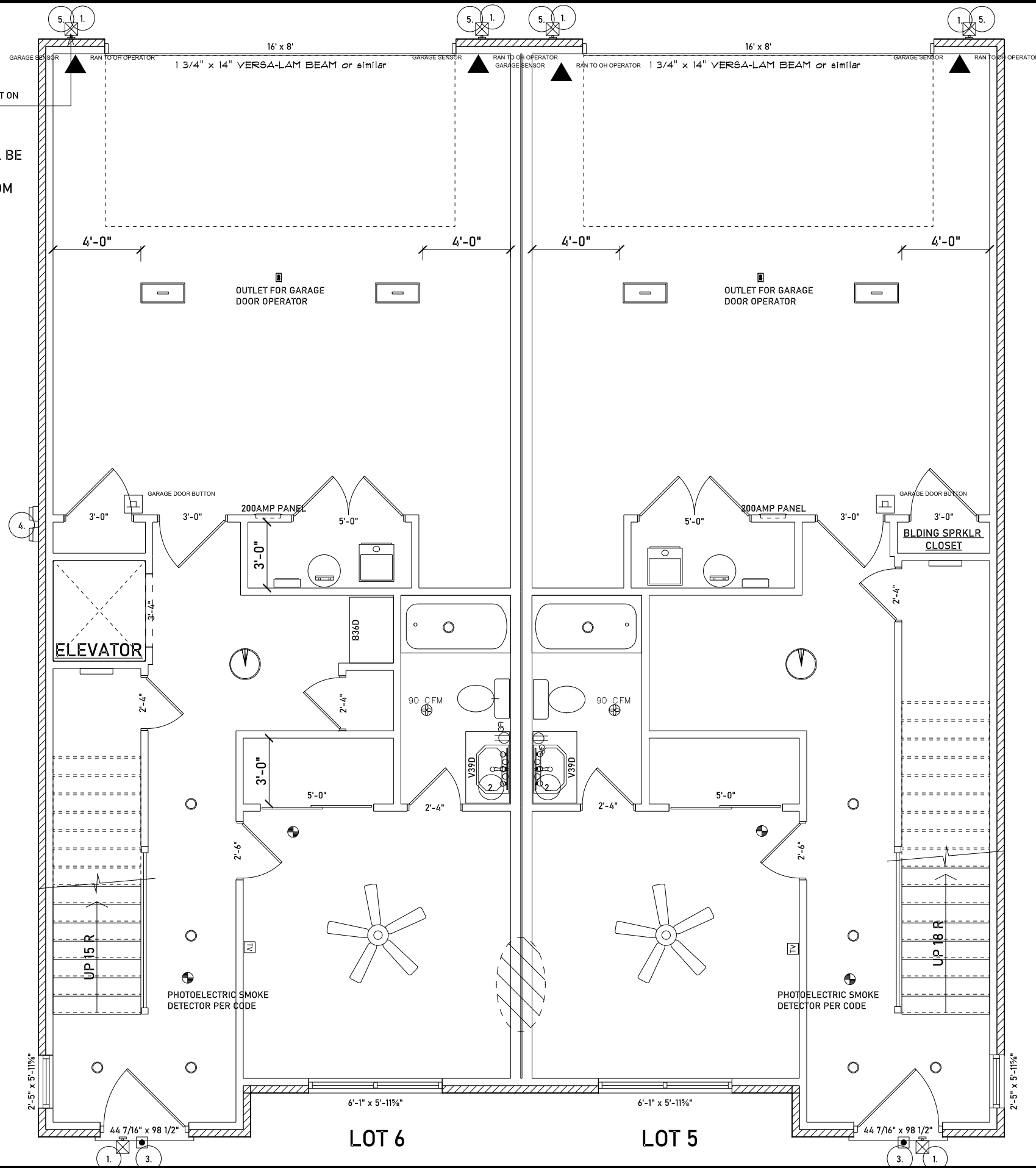
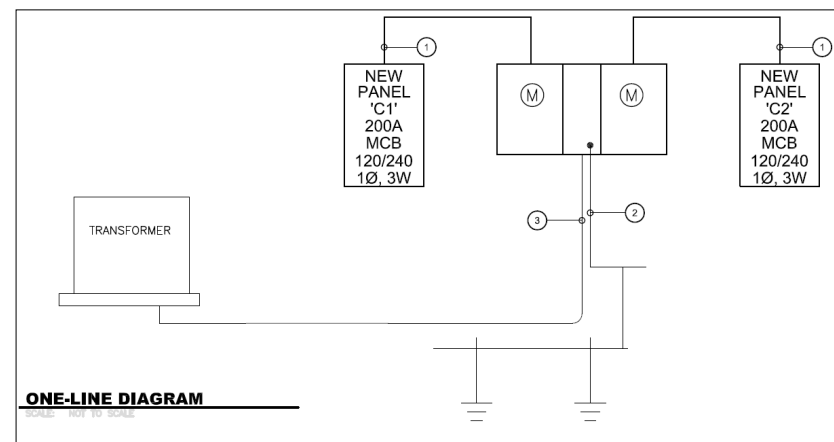
EL1

1ST FLOOR

- GENERAL ELECTRICAL NOTES:
- ALL SMOKE/CARBON MONOXIDE DETECTORS SHALL BE COMBO UNITS
  - COMBO SMOKE/CO DETECTORS TO BE MIN. 2'-0" FROM CEILING FAN BLADES

- ELECTRICAL NOTES:
- MOUNT CENTER OF DEVICE +6'-6" AFF
  - LOOP SERVICE WIRE +4'-0" ABOVE VANITY TOP
  - MOUNT CENTER OF DEVICE +4'-6" AFF
  - DUAL ELECTRIC METER BASE
  - SET ON PHOTOCELL SENSOR

- ONE-LINE NOTES:
- (3) #3/0, #6 GROUND, 2"C
  - SEE C/E9.1 FOR GROUNDING DETAIL
  - COORDINATE INSTALLATION OF UTILITY COMPANY SERVICE



FIRST FLOOR

SCALE: 3/16" = 1'-0"



Liberty at Lockerbie Square

544 & 548 Park Ave  
Indianapolis IN 46204

DATE:

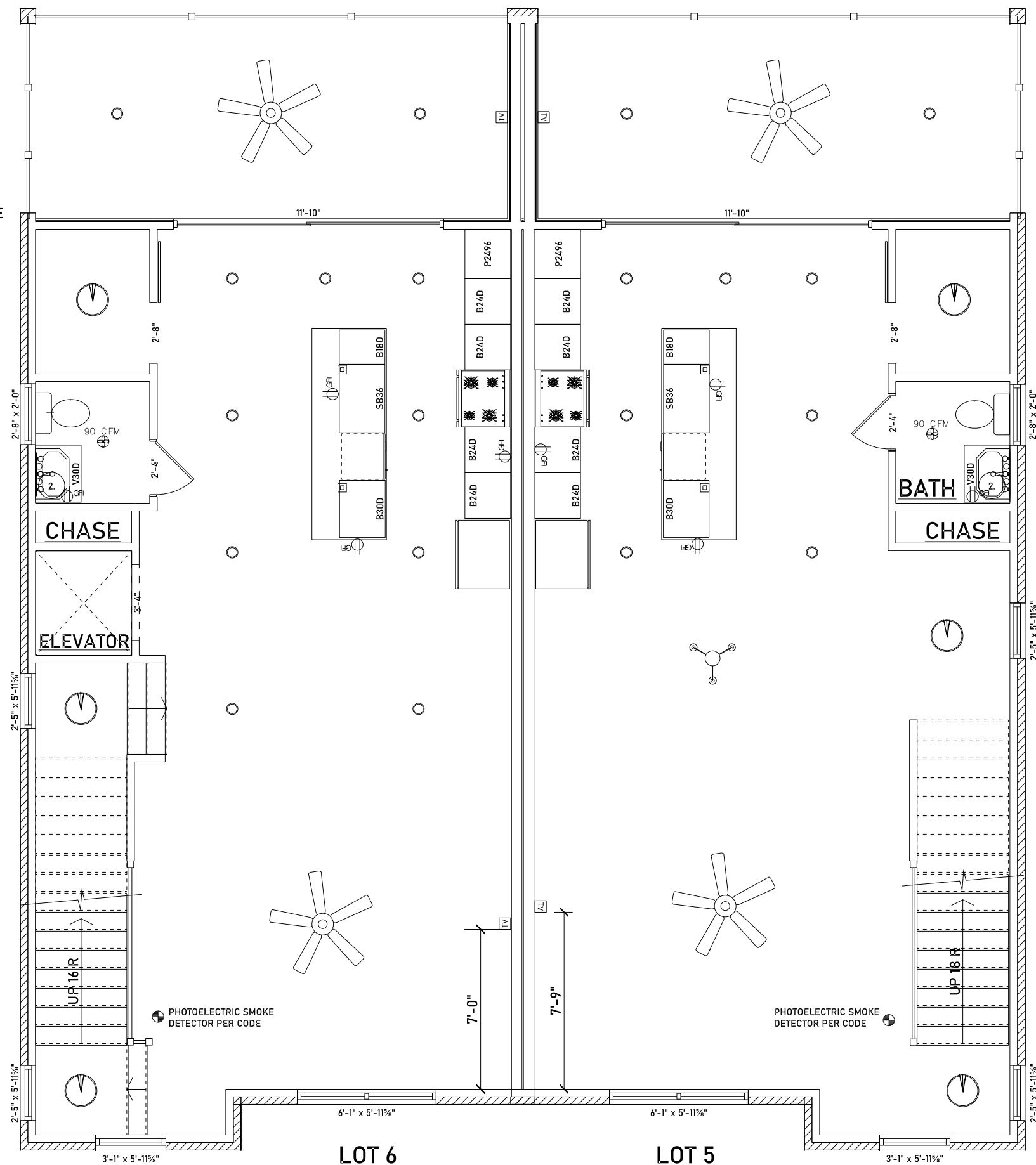
Monday, October 21, 2024

EL2

2ND FLOOR

GENERAL ELECTRICAL NOTES:  
a. ALL SMOKE/CARBON MONOXIDE DETECTORS SHALL BE COMBO UNITS  
b. COMBO SMOKE/CO DETECTORS TO BE MIN. 2'-0" FROM CEILING FAN BLADES

ELECTRICAL NOTES:  
1. MOUNT CENTER OF DEVICE +6'-6" AFF  
2. LOOP SERVICE WIRE +4'-0" ABOVE VANITY TOP  
3. MOUNT CENTER OF DEVICE +4'-6" AFF



# SECOND FLOOR

SCALE: 3/16" = 1'-0"



Liberty at Lockerbie Square

544 & 548 Park Ave

Indianapolis IN 46204

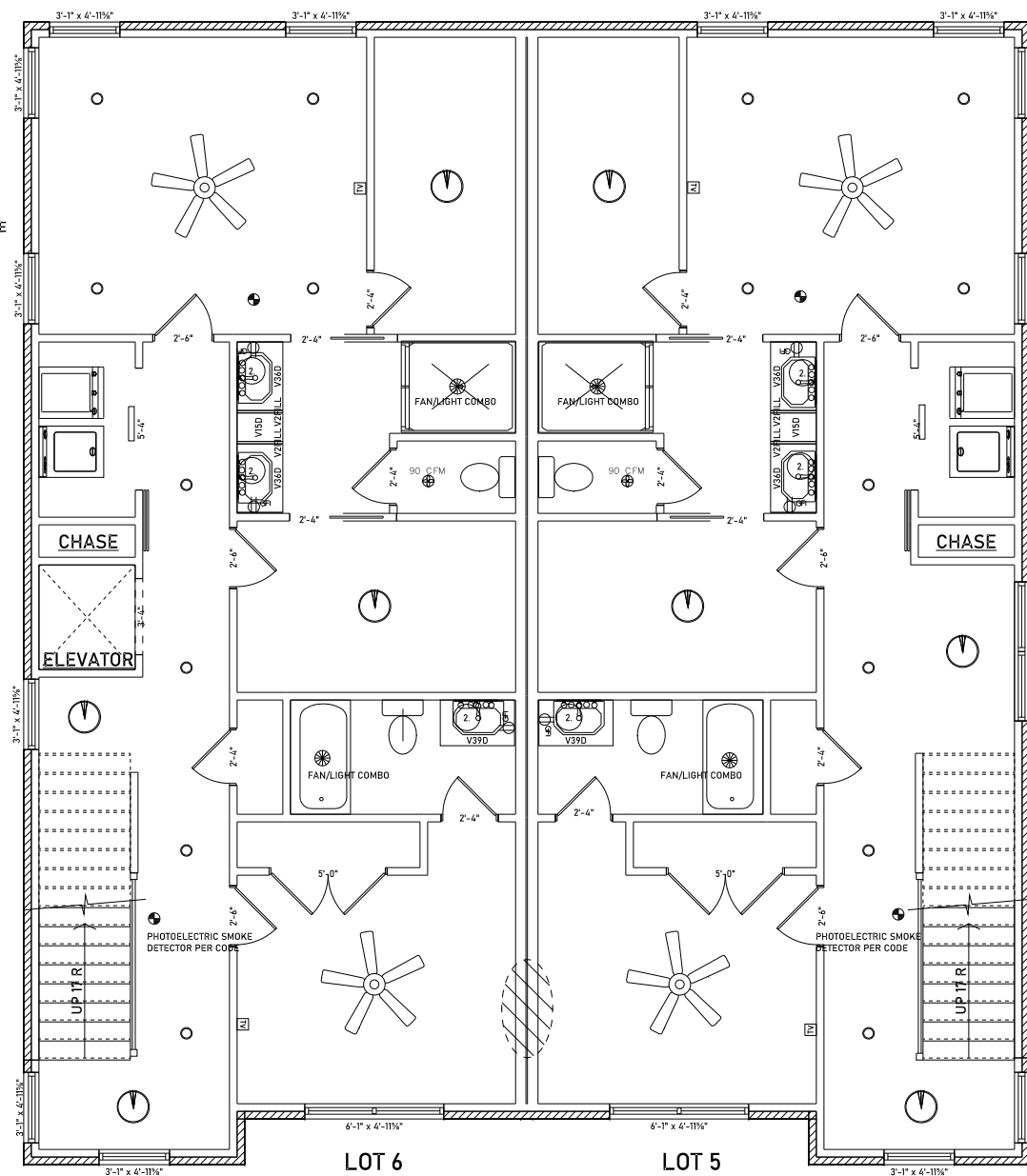
DATE:

Monday, October 21, 2024

EL3

3RD FLOOR

- GENERAL ELECTRICAL NOTES:  
 a. ALL SMOKE/CARBON MONOXIDE DETECTORS SHALL BE COMBO UNITS  
 b. COMBO SMOKE/CO DETECTORS TO BE MIN. 2'-0" FROM CEILING FAN BLADES
- ELECTRICAL NOTES:  
 1. MOUNT CENTER OF DEVICE +6'-6" AFF  
 2. LOOP SERVICE WIRE +4'-0" ABOVE VANITY TOP  
 3. MOUNT CENTER OF DEVICE +4'-6" AFF



**THIRD FLOOR**  
 SCALE: 1/8" = 1'-0"



Liberty at Lockerbie Square

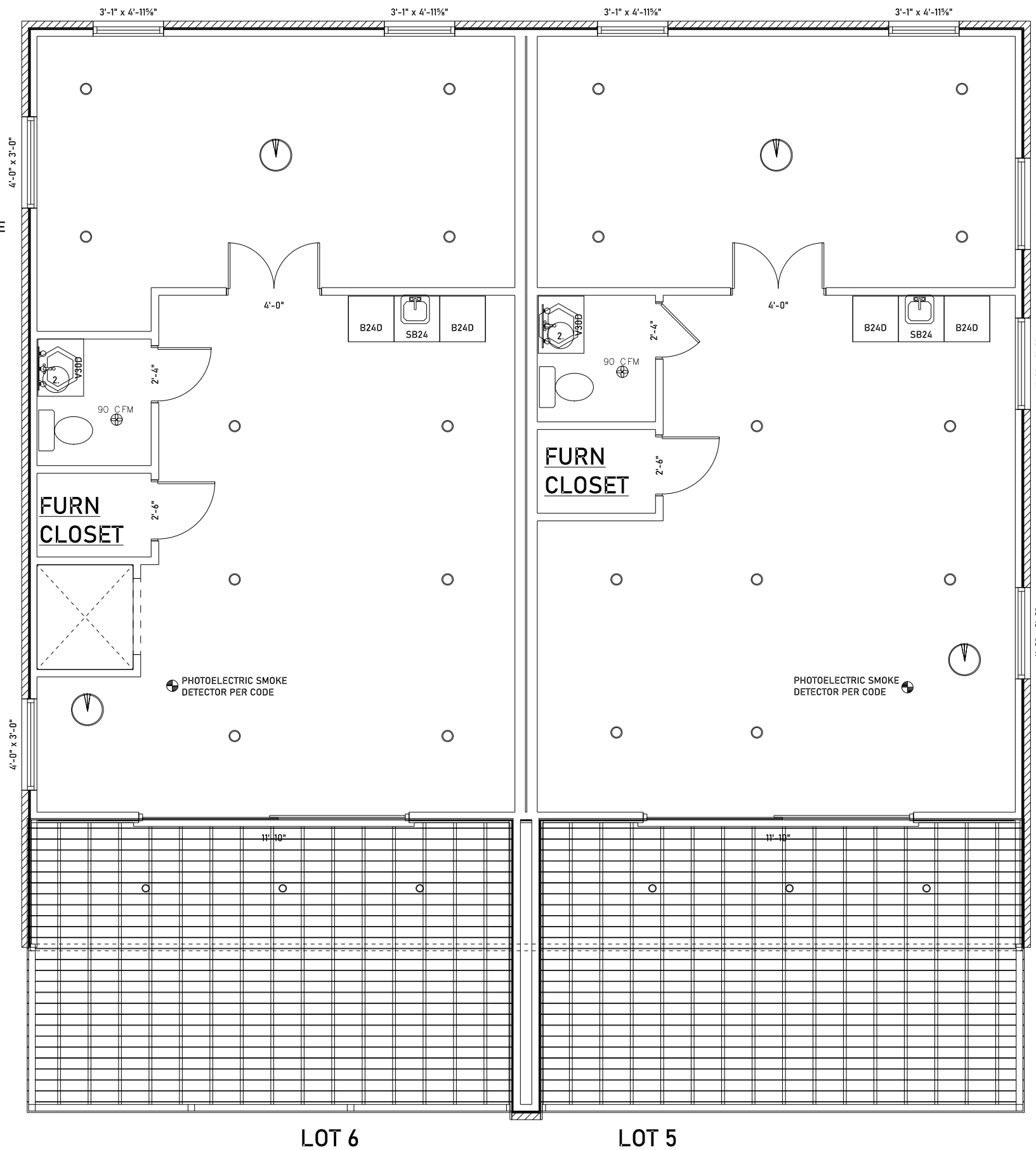
544 & 548 Park Ave  
Indianapolis IN 46204

DATE:

Monday, October 21, 2024

EL4

4TH FLOOR



GENERAL ELECTRICAL NOTES:  
 a. ALL SMOKE/CARBON MONOXIDE DETECTORS SHALL BE COMBO UNITS  
 b. COMBO SMOKE/CO DETECTORS TO BE MIN. 2'-0" FROM CEILING FAN BLADES

ELECTRICAL NOTES:  
 1. MOUNT CENTER OF DEVICE +6'-6" AFF  
 2. LOOP SERVICE WIRE +4'-0" ABOVE VANITY TOP  
 3. MOUNT CENTER OF DEVICE +4'-6" AFF

# FOURTH FLOOR

SCALE: 3/16" = 1'-0"



Liberty at Lockerbie Square

544 & 548 Park Ave  
Indianapolis IN 46204

DATE: Wednesday, March 19, 2025

E1

FRONT ELEVATION

LOT 6

LOT 5

5 12

Standing Seam Metal Roofing (ebony) (match existing building)

JamesHardie Architectural Panel Siding (paint to match limestone)

black metal railings to match existing building

metal TPO caps to match limestone color

Marvin Elevate (ebony) to match existing building

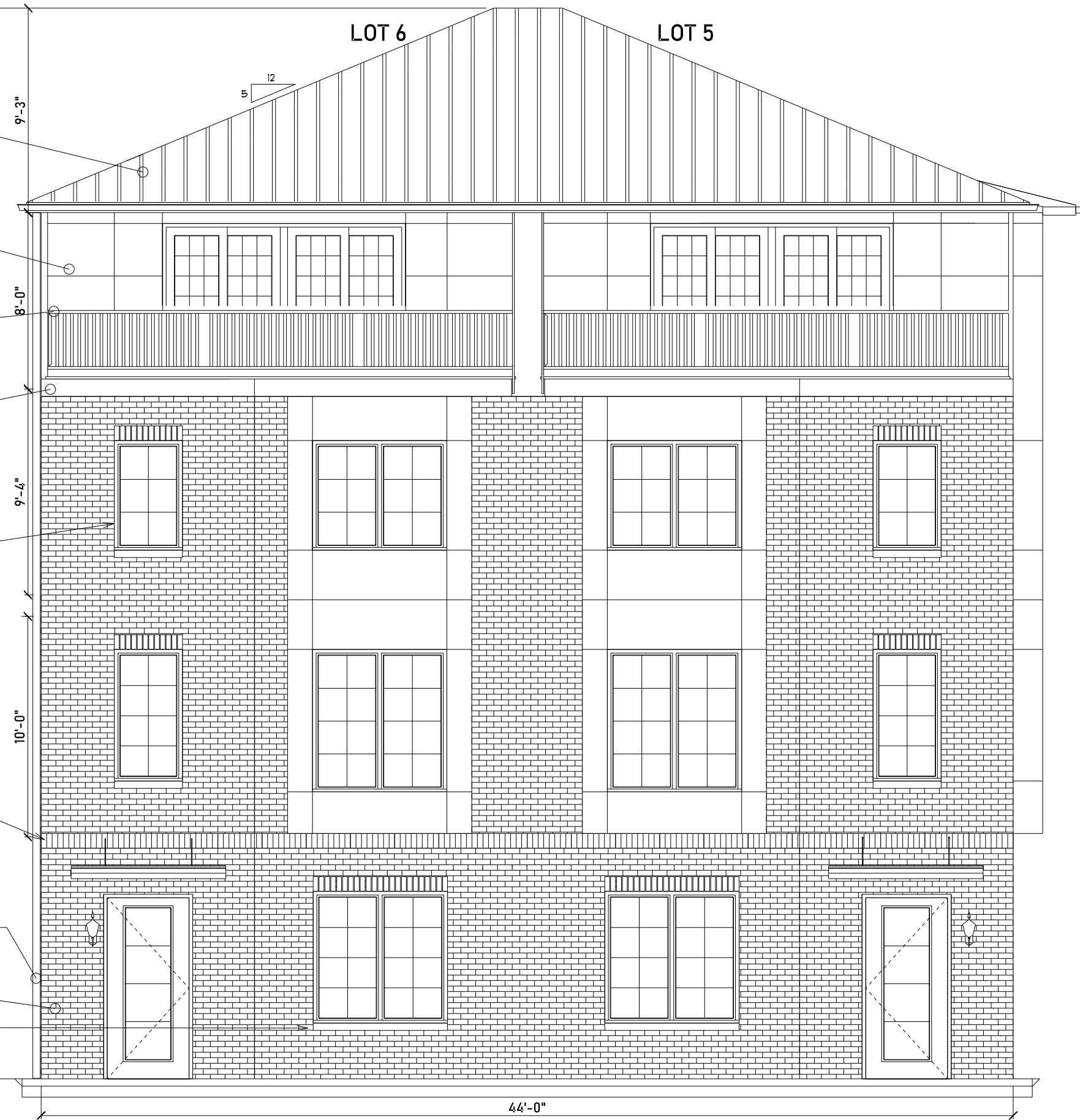
PROTECTED OPENINGS NOT REQUIRED AT FIRE WALL RETURN AREA PER VARIANCE; WHERE PROVIDED WITH CLOSE-SPACED SPRINKLER PROTECTION (TYP.)

brick banding to match existing building

Boral-Edgewood Crest Queen Size Brick (or similar if unavailable)

4" box gutter

4" limestone sill



9'-3"

8'-0"

48'-7"

9'-4"

10'-0"

44'-0"

EAST

SCALE: 3/16" = 1'-0"



Liberty at Lockerbie Square

544 & 548 Park Ave  
Indianapolis IN 46204

DATE:

Thursday, March 20, 2025

E2

REAR ELEVATION



WEST

SCALE: 3/16" = 1'-0"

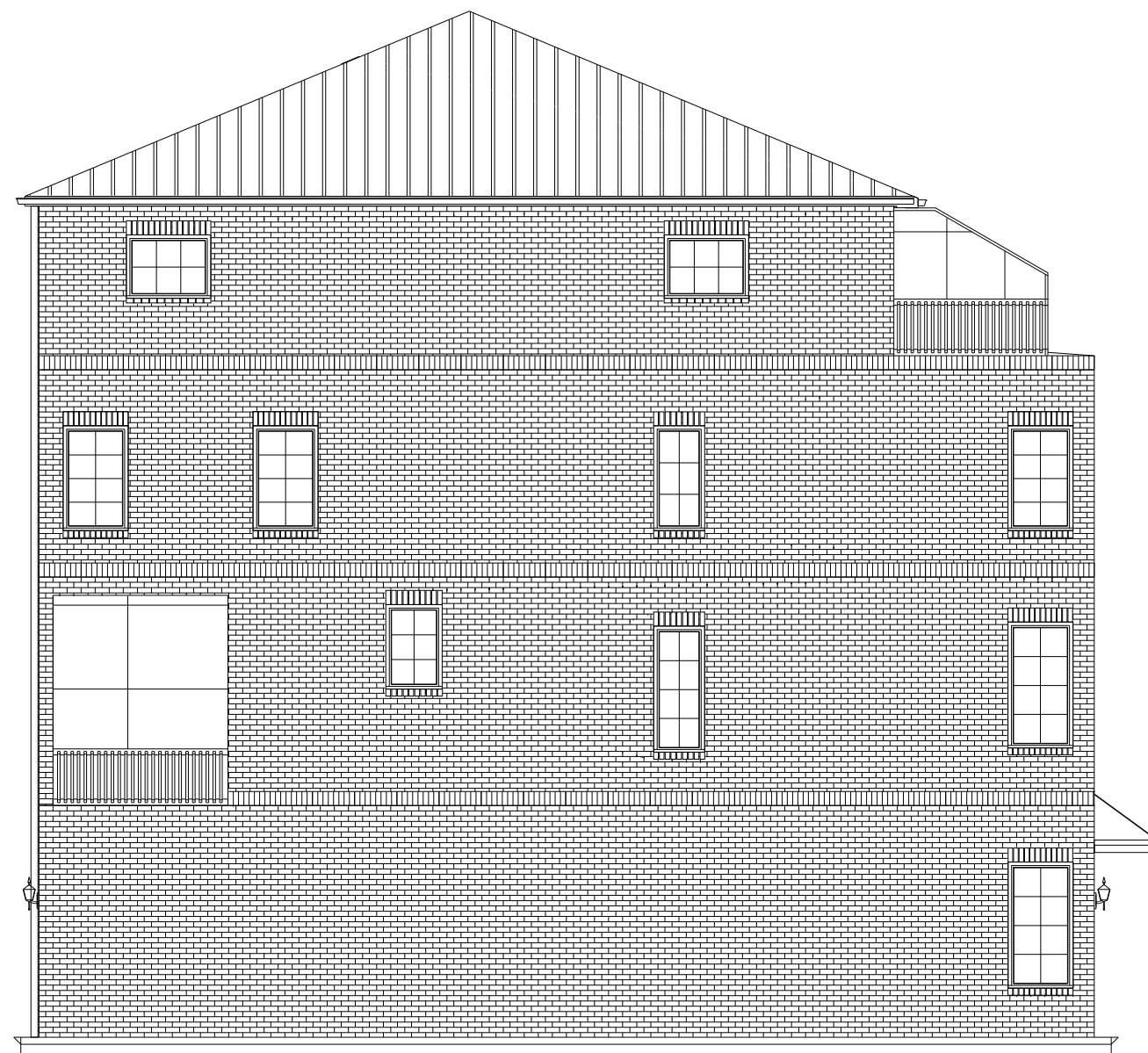


**NORTH**

SCALE: 1/8" = 1'-0"

- increased depth of bay
- increased size and count of window on 4th floor bay
- increased size of window at 4th floor Bar
- increased size of window at 4th floor Office
- increased size of window at 2nd floor Bath
- increased size of stair windows 3 floors
- added limestone ledges on North elevation
- added 2 windows to garage

total for North elevation



**SOUTH**

SCALE: 1/8" = 1'-0"

Liberty at Lockerbie Square

544 & 548 Park Ave

Indianapolis IN 46204

DATE:

Tuesday, March 18, 2025

E3

SIDE ELEVATIONS



Liberty at Lockerbie Square

544 & 548 Park Ave  
Indianapolis IN 46204

DATE:

Monday, October 21, 2024

R1

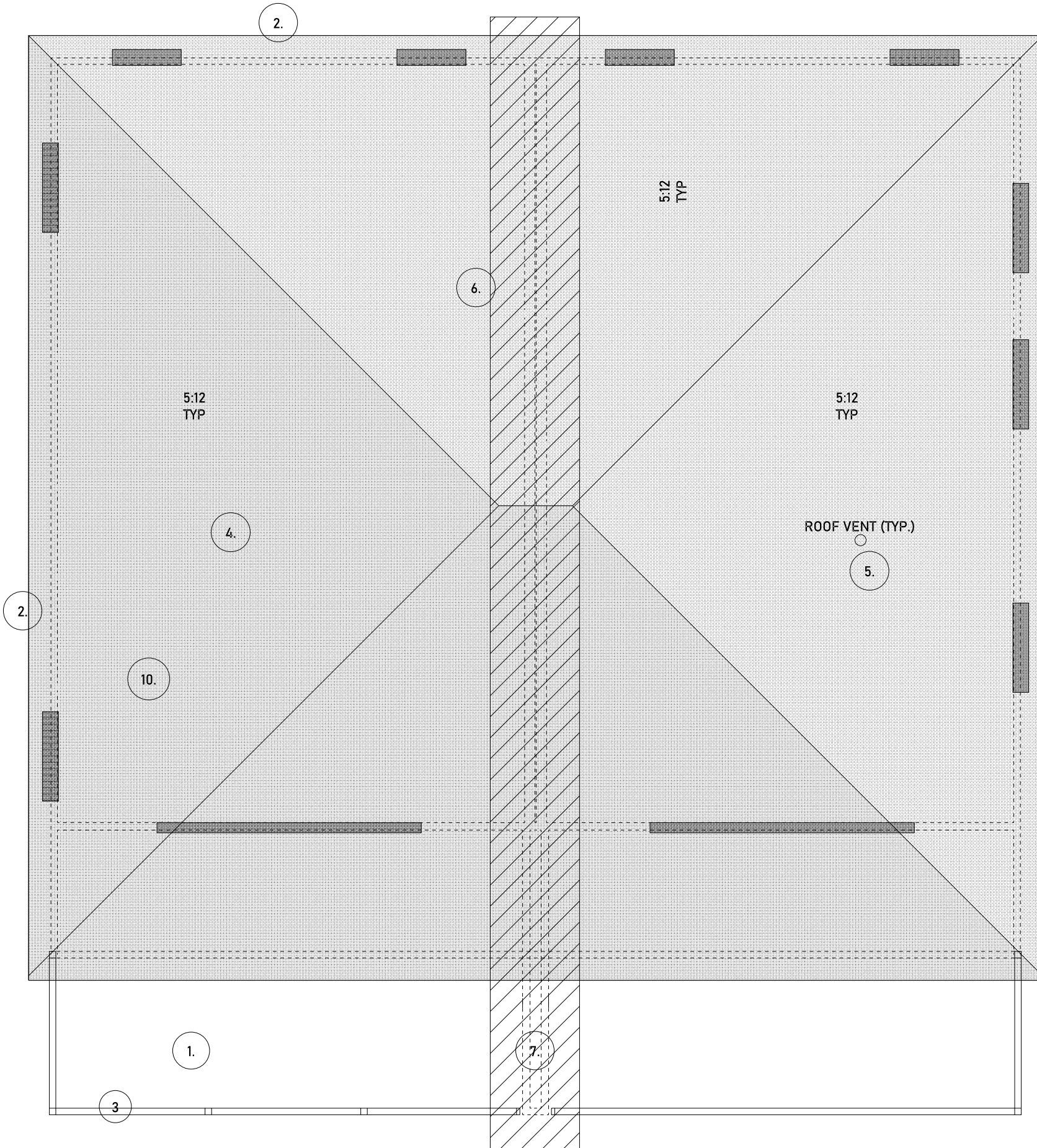
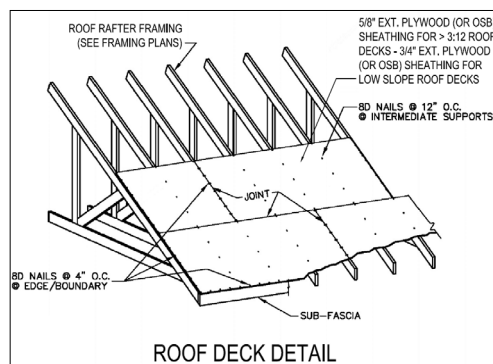
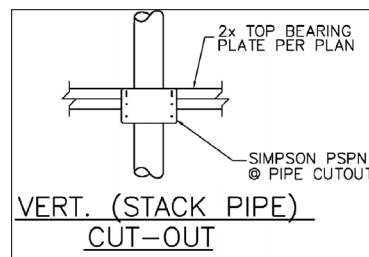
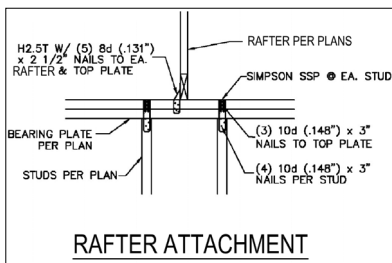
ROOF PLAN

**GENERAL ROOF NOTES:**

- a. THESE DRAWINGS ARE INTENDED TO OUTLINE THE GENERAL SCOPE OF THE WORK. CONTRACTORS SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING ANY WORK. CONTRACTORS SHALL ALSO BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND GENERALLY ACCEPTED TRADE PRACTICES.
- b. CONTRACTORS SHALL COORDINATE ROOF EQUIPMENT AND PENETRATIONS WITH DRAWINGS.
- c. PROVIDE PRESSURE TREATED WOOD OR PRE-FABRICATED EQUIPMENT CURBS AT ROOFTOP EQUIPMENT AS REQUIRED BY FIELD CONDITIONS.
- d. COORDINATE ROOF WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS AS REQUIRED.
- e. USE SINGLE SOURCE FOR ROOF COMPONENTS AND STRICTLY ADHERE TO MANUFACTURER'S STANDARD CONSTRUCTION DETAILS FOR INSTALLATION REQUIREMENTS.

**ROOF NOTES:**

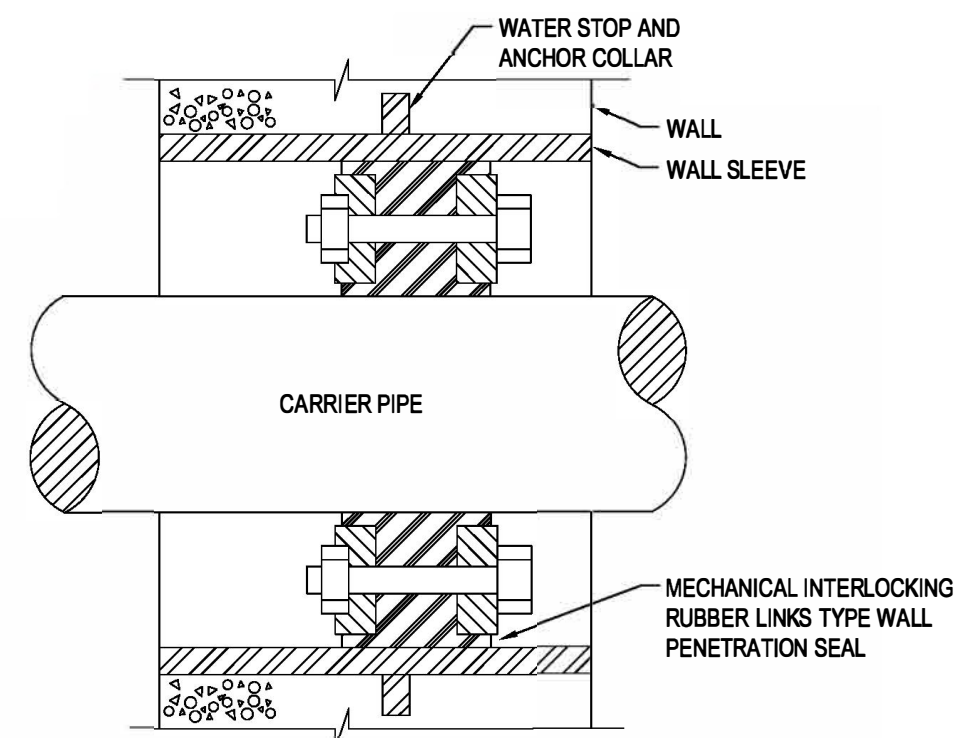
1. Composite deck installed on minimum 1/4" : 1'-0" sloped EPDM membrane roof system on 1/4" Dens Deck protection board on wood framing system
2. Pre-finished aluminum 6" gutters & downspouts
3. Railing: 42" above FF minimum. Metal railing system with decorative vertical pickets (4" max spacing)
4. Metal Roof: Standing seam metal installed on synthetic felt over wood decking
5. Plumbing vents: as needed
6. Hatch Denoted Area: Extend 5/8" type X gypsum board to underside of roof decking 4' minimum on each side of fire wall. Complies with exception 4 of 706.6 with respect to the fire wall termination at the bottom side of the roof deck.
7. Parapet wall extending beyond roof with pre-finished metal coping
8. TJI / truss rafter framing



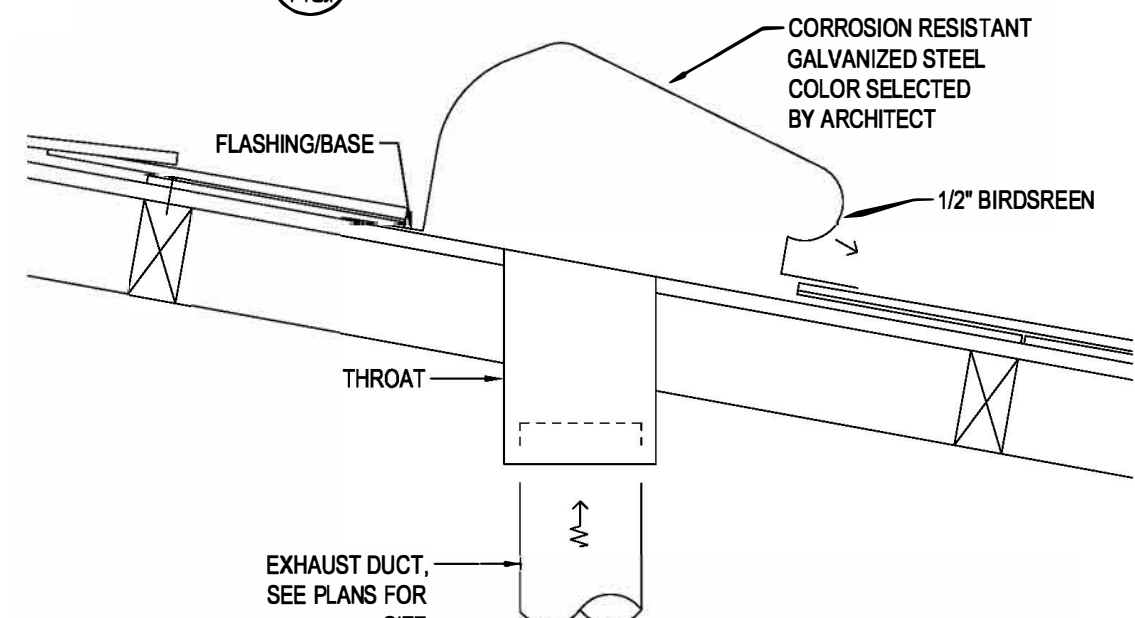
# ROOF PLAN

SCALE: 3/16" = 1'-0"

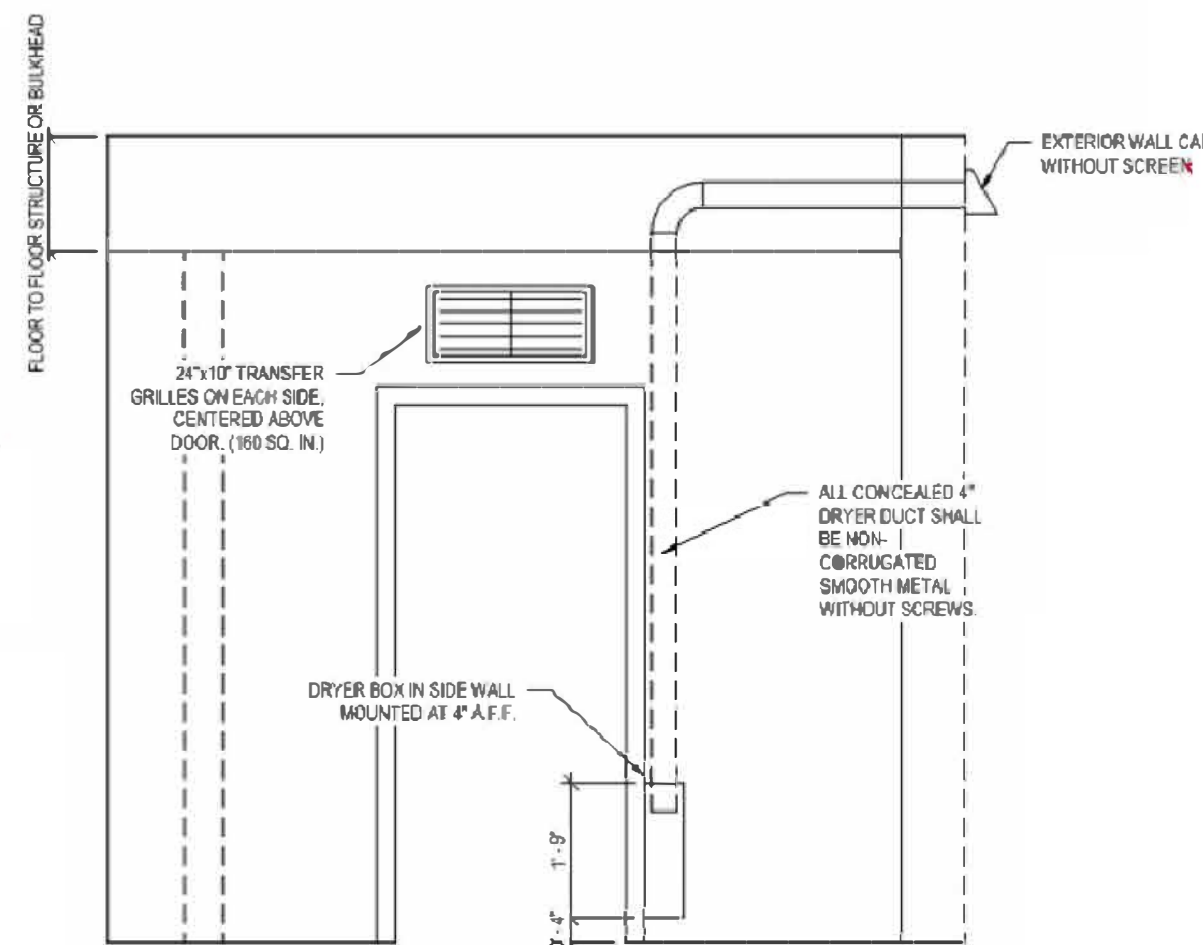




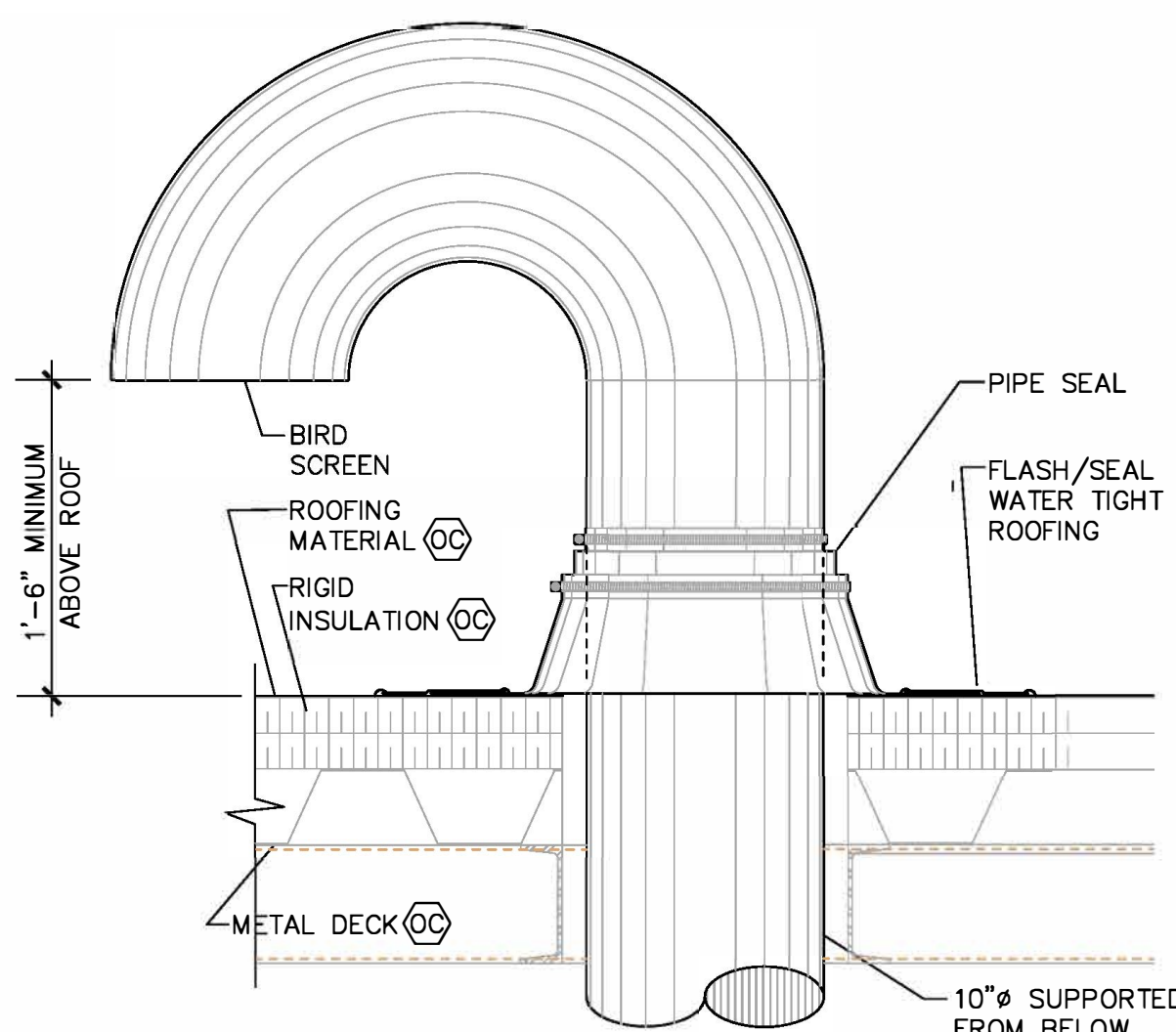
**L SLEEVE DETAIL**  
MB1 NO SCALE



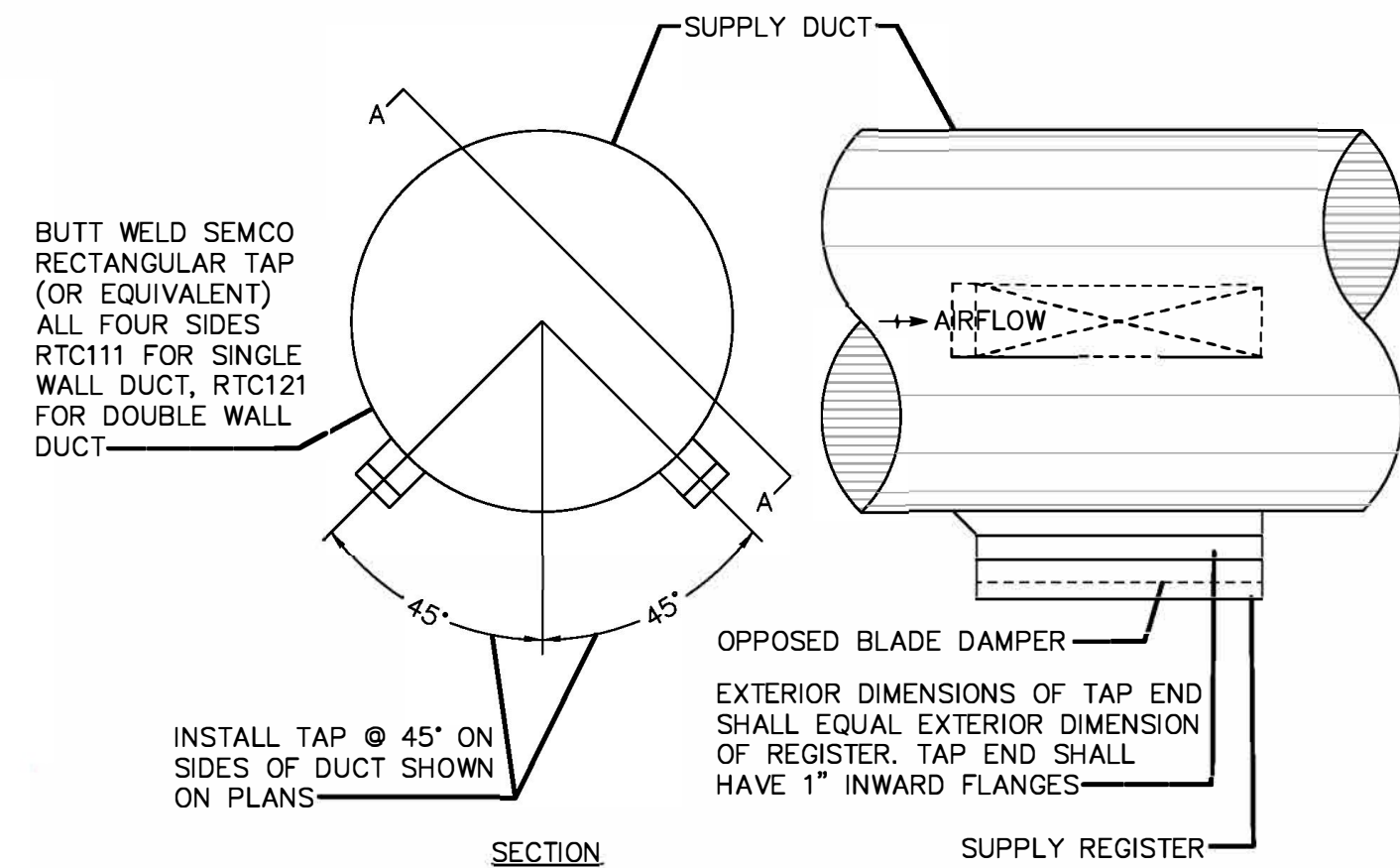
**K ROOF EXHAUST OUTLET DETAIL**  
MB1 NO SCALE



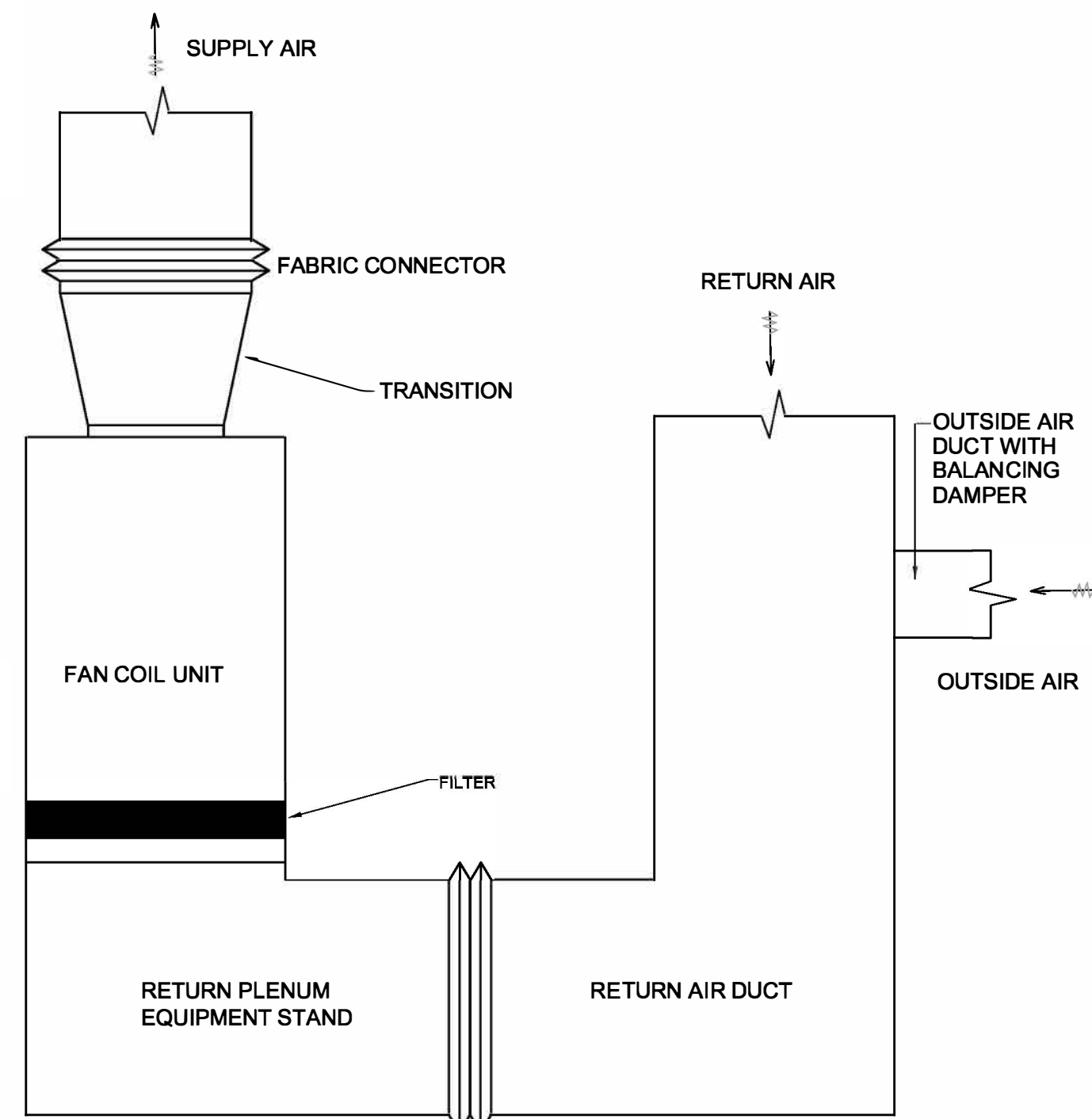
**J TYP. DRYER VENT DETAIL**  
MB1 NO SCALE



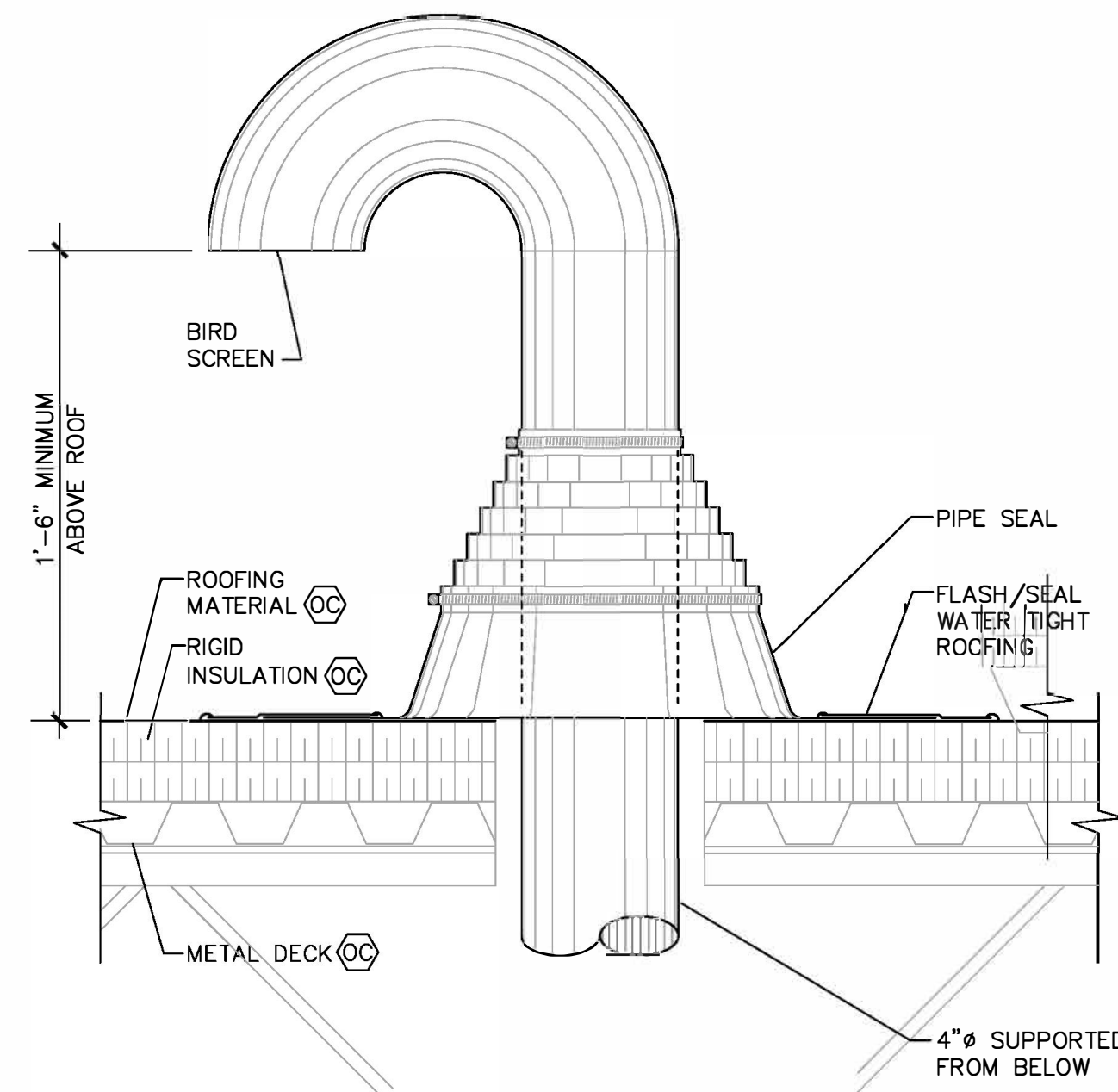
**I EXHAUST DUCT**  
MB1 NO SCALE



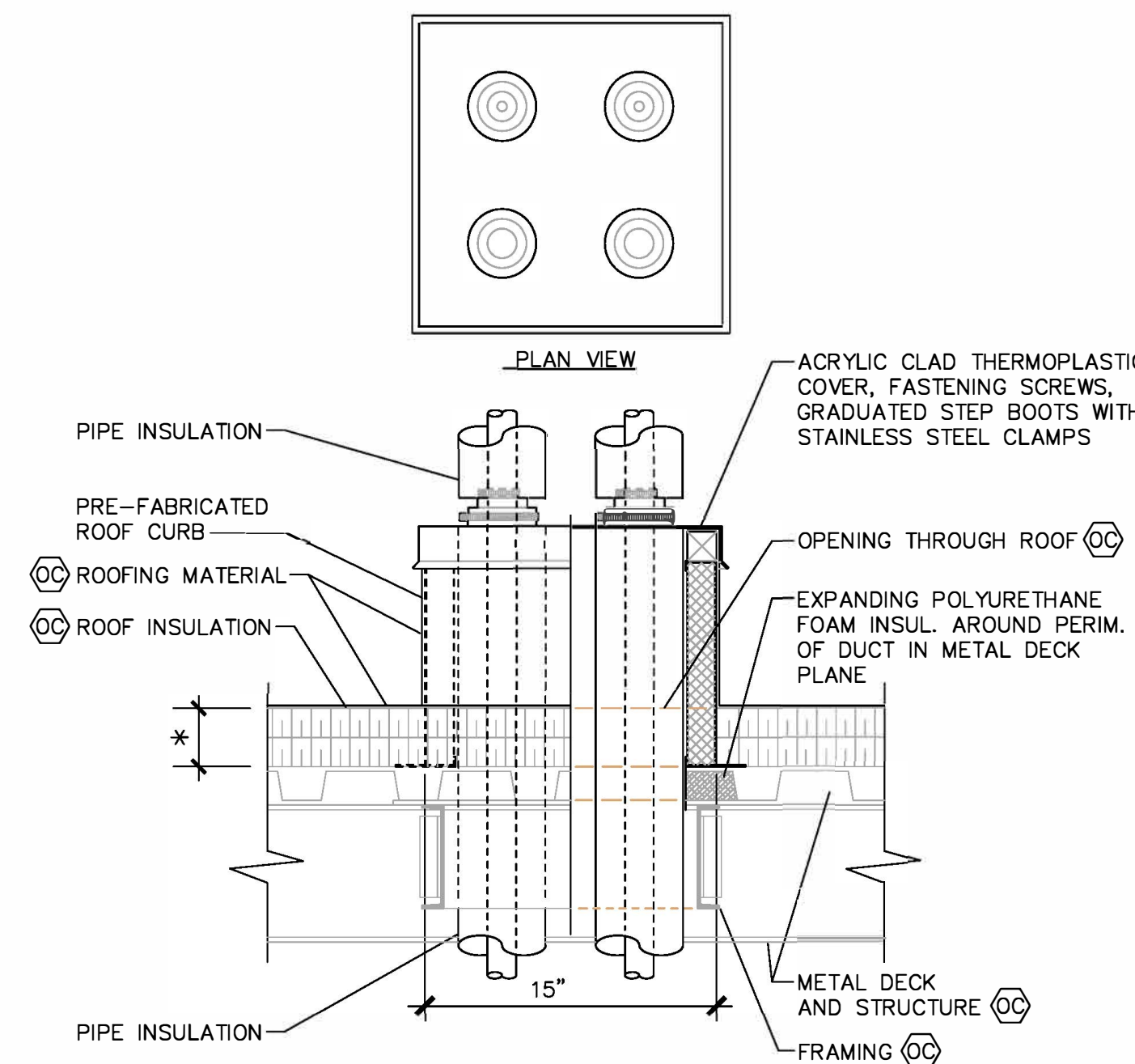
**F DUCT MOUNTED DIFFUSER**  
MB1 NO SCALE



**G FCU DUCT CONNECTION DETAIL**  
MB1 NO SCALE

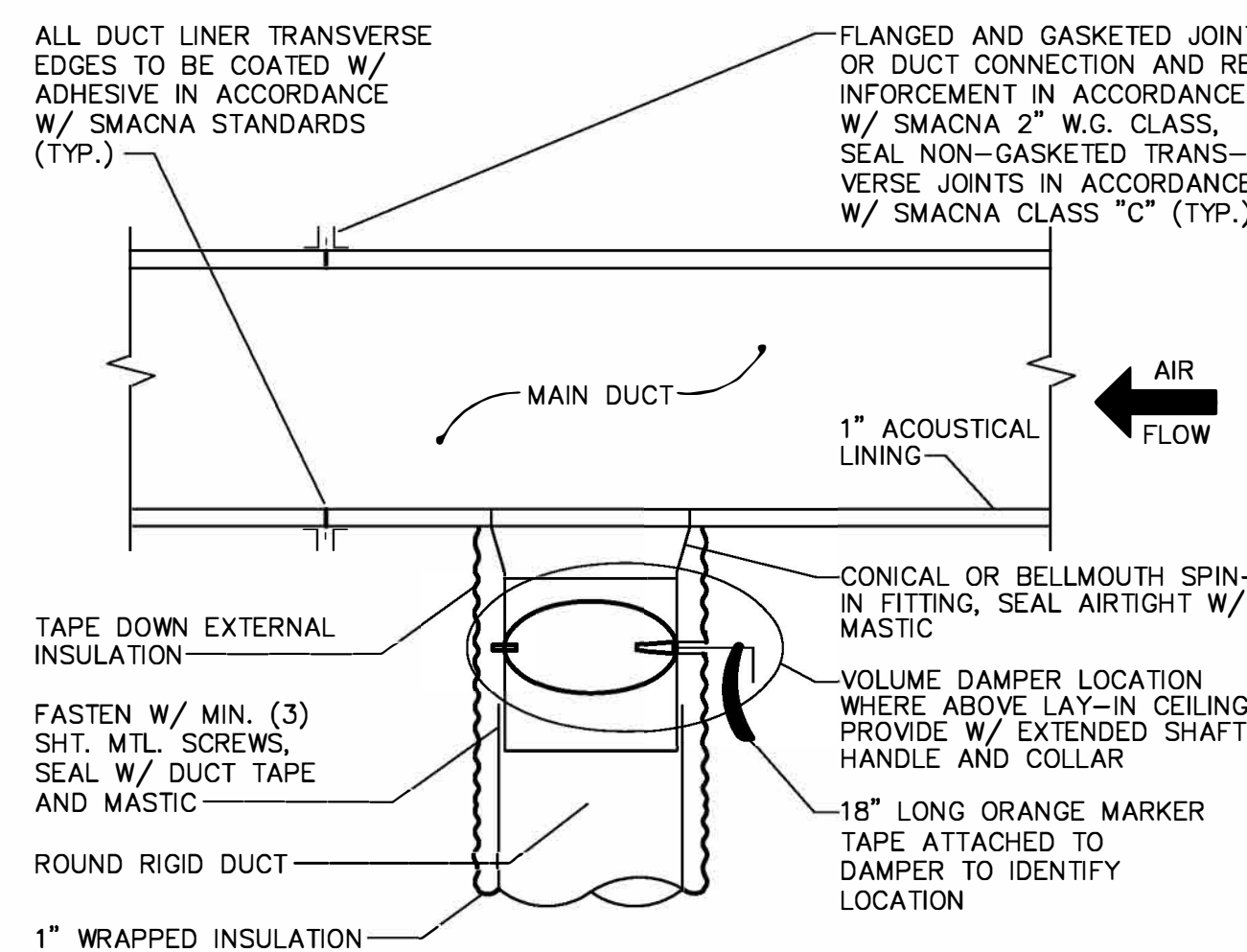


**H INDIVIDUAL DRYER VENT**  
MB1 NO SCALE

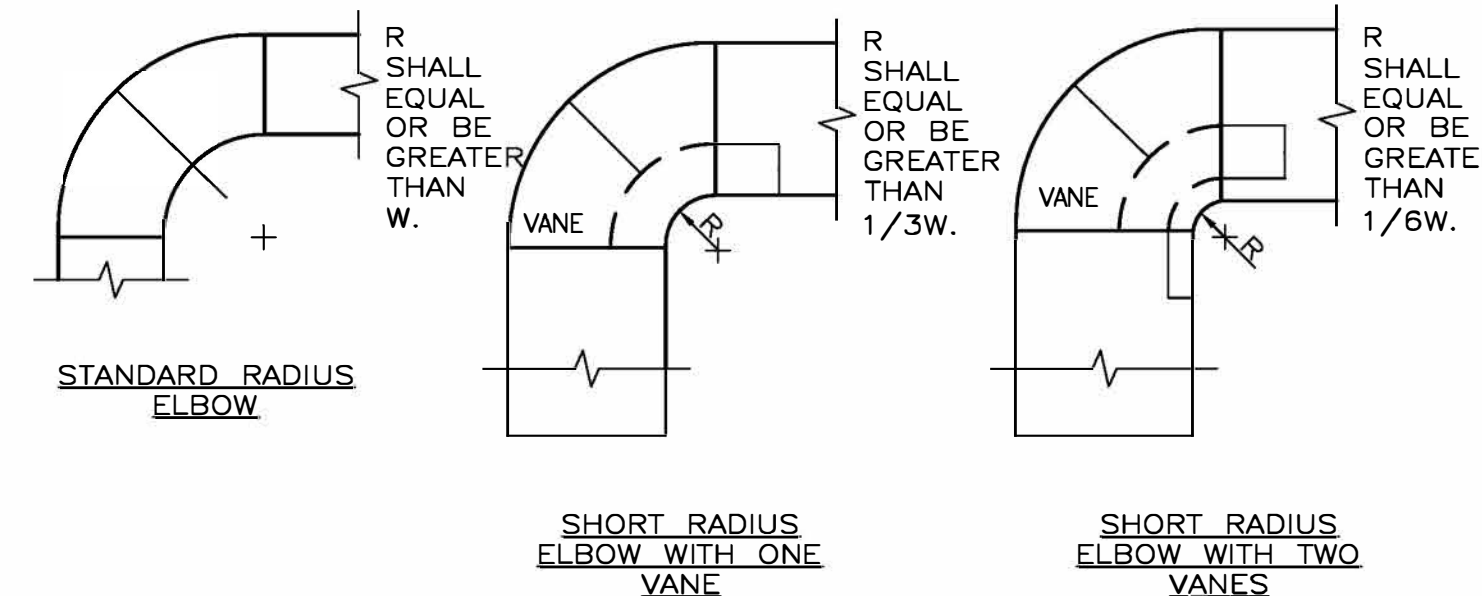


\* VARIES SEE ARCHITECTURAL ROOF PLAN

**C PIPE CURB**  
MB1 NO SCALE

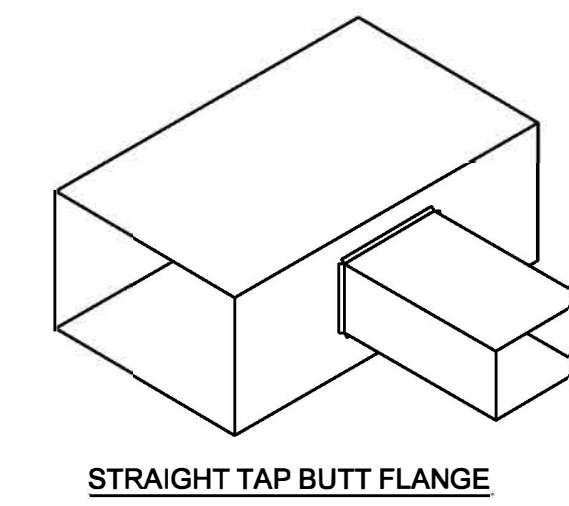


**D TYPICAL ROUND DUCT TAP DETAIL**  
MB1 NO SCALE

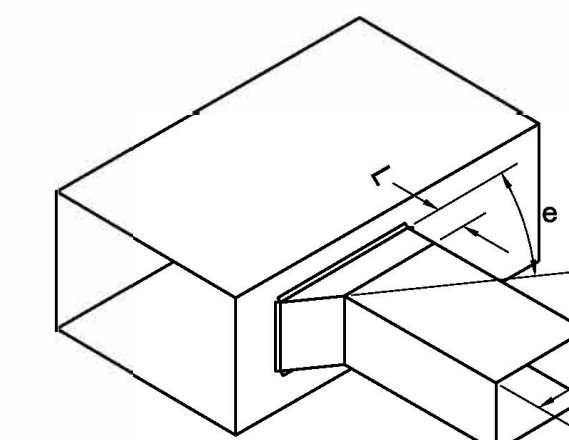


**NOTE:**  
1. THE INTERIOR SURFACE OF ALL RADIUS ELBOWS SHALL BE MADE ROUND.  
2. ALL STANDARD RADIUS ELBOWS SHOWN ON FLOOR PLANS MAY BE MADE SHORT RADIUS ELBOWS. ALL SHORT RADIUS ELBOWS SHALL HAVE VANES. VANES SHALL BE CONSTRUCTED, SUPPORTED AND FASTENED AS RECOMMENDED BY SMACNA.

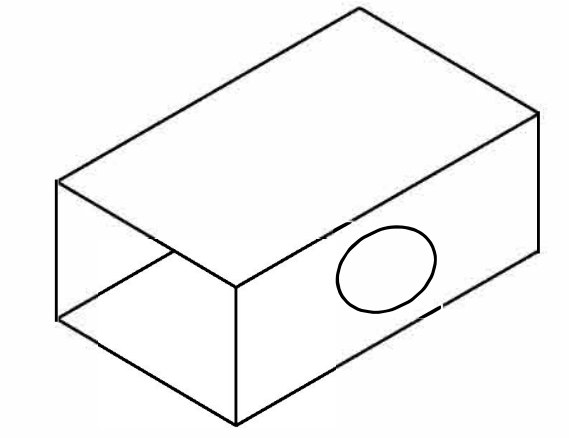
**E DUCTWORK RADIUS ELBOW DETAIL**  
MB1 NO SCALE



**STRAIGHT TAP BUTT FLANGE**

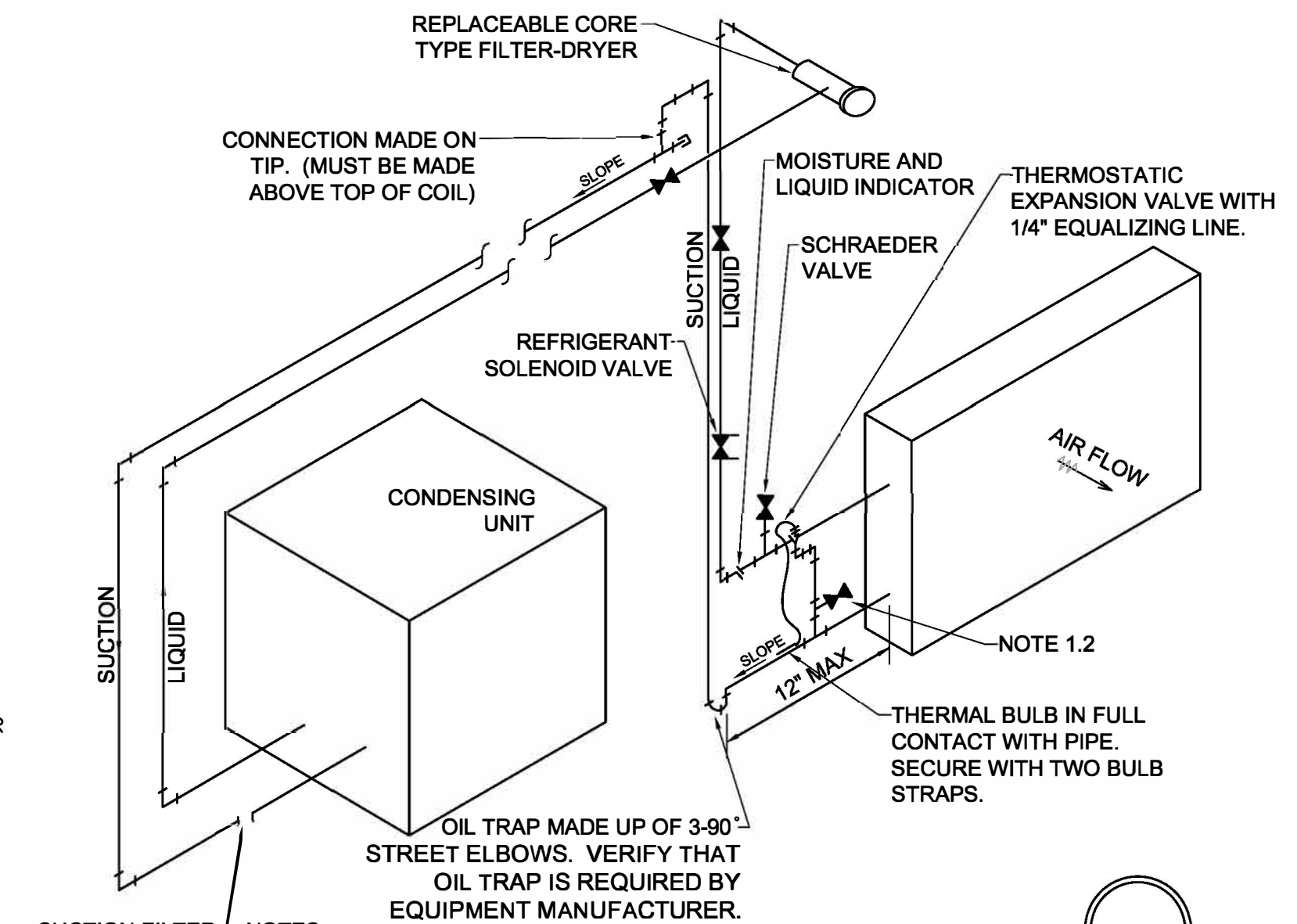


**45 DEGREE ENTRY @ 45°**  
(L=4\"/>



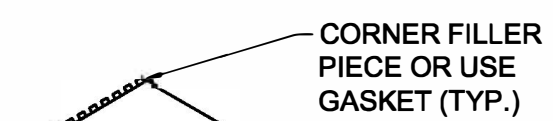
**45 DEGREE ENTRY @ 45°**

**A BRANCH CONNECTIONS DETAIL**  
MB1 NO SCALE

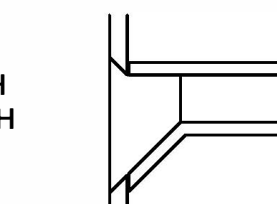


**NOTES:**  
1.1. THIS DIAGRAM IS SCHEMATIC IN NATURE. UNIT MFR. SHALL SUBMIT DETAILED PIPING DIAGRAM SHOWING RECOMMENDED PIPING ARRANGEMENT IF DIFFERENT FROM ABOVE.  
1.2. INSTALL 1/4\"/>

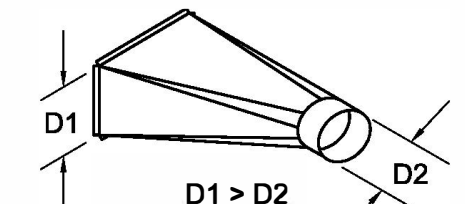
**B REFRIGERANT PIPING DETAIL**  
MB1 NO SCALE



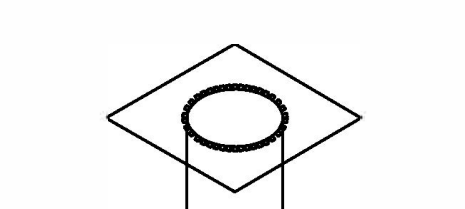
**CORNER FILLER PIECE OR USE GASKET (TYP.)**



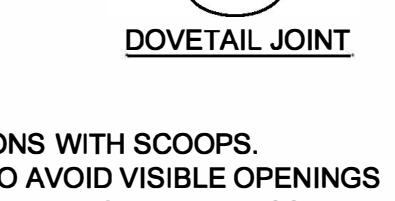
**CLINCH LOCK**



**LINED DUCT CONNECTION (NO EXPOSED LINER EDGES)**

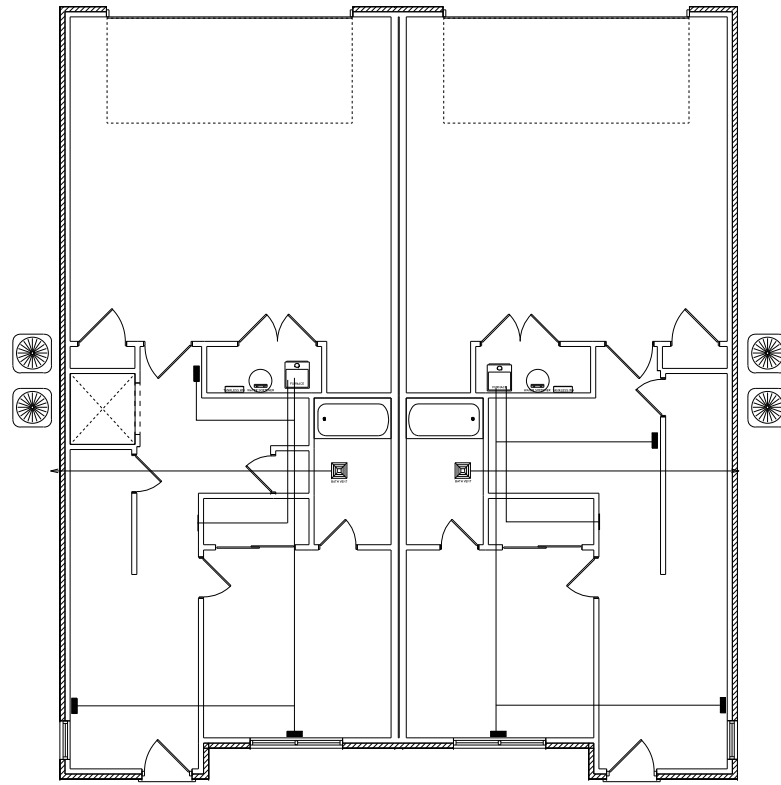


**45 DEGREE LEAD IN**

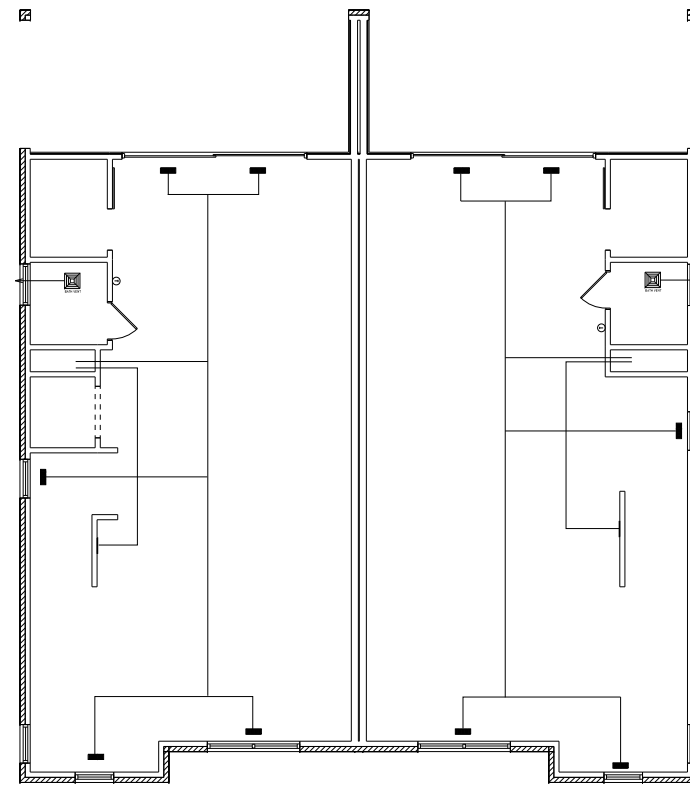


**DOVETAIL JOINT**

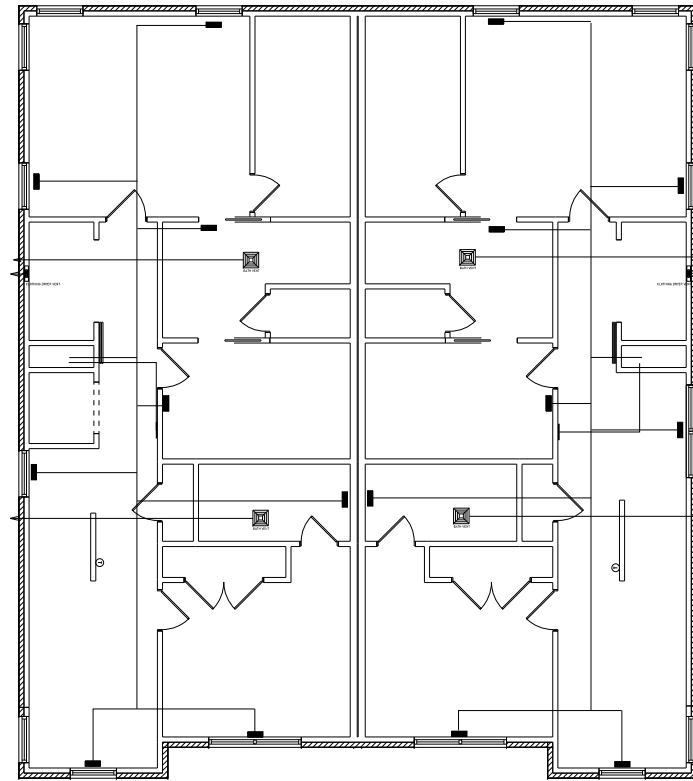
**NOTE:**  
1. DO NOT USE CONNECTIONS WITH SCOOPS.  
2. FIT ALL CONNECTIONS TO AVOID VISIBLE OPENINGS AND SECURE THEM SUITABLY FOR THE PRESSURE CLASS.  
3. ADDITIONAL MECHANICAL FASTENERS ARE REQUIRED FOR 4\"/>



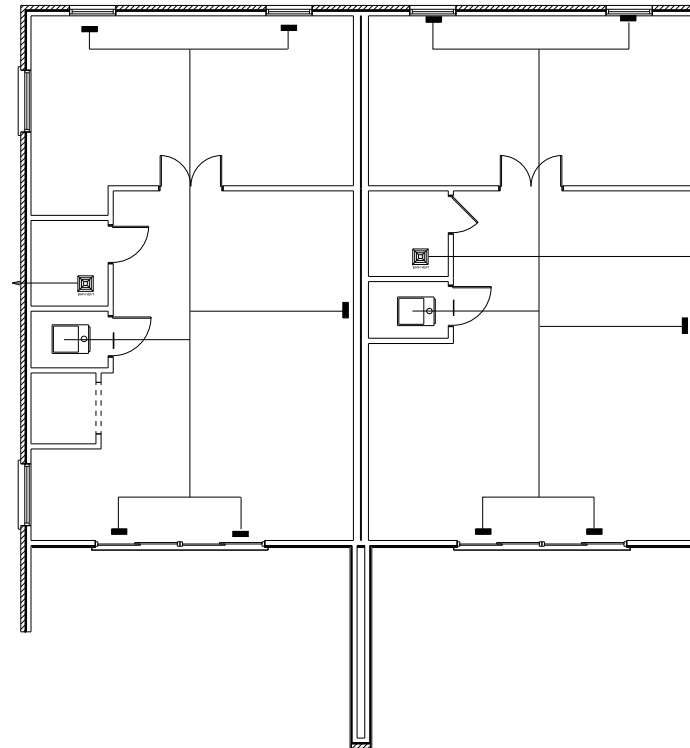
FIRST FLOOR - HVAC



SECOND FLOOR - HVAC



THIRD FLOOR - HVAC



FORTH FLOOR - HVAC



Liberty at Lockerbie Square

544 & 548 Park Ave

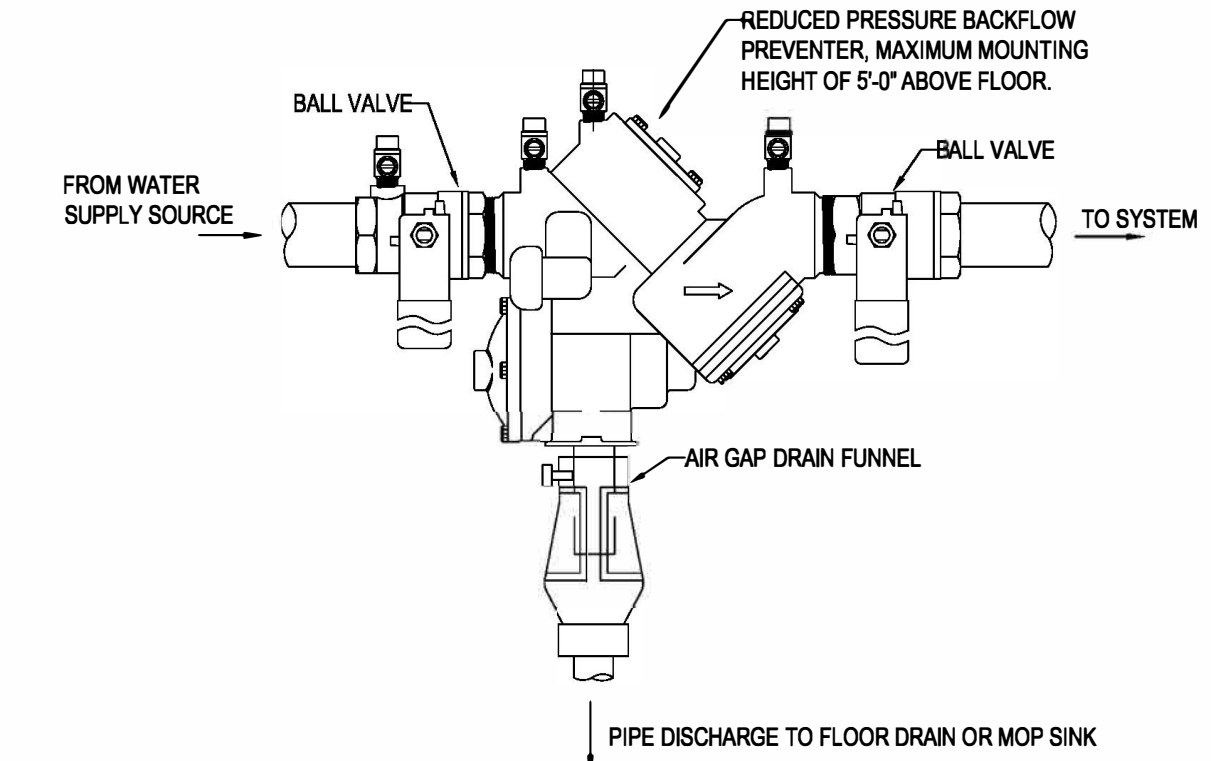
Indianapolis IN 46204

DATE:

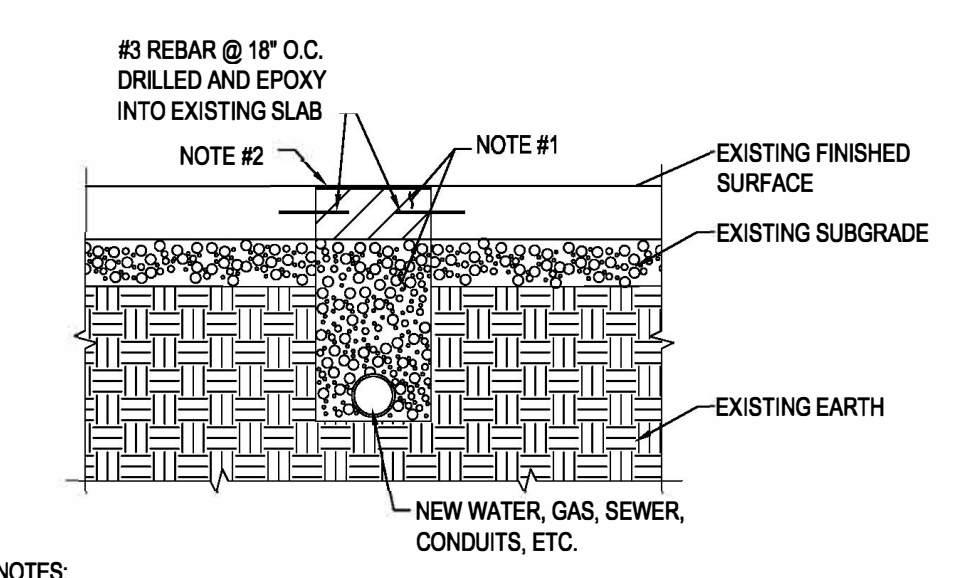
Monday, October 21, 2024

H1

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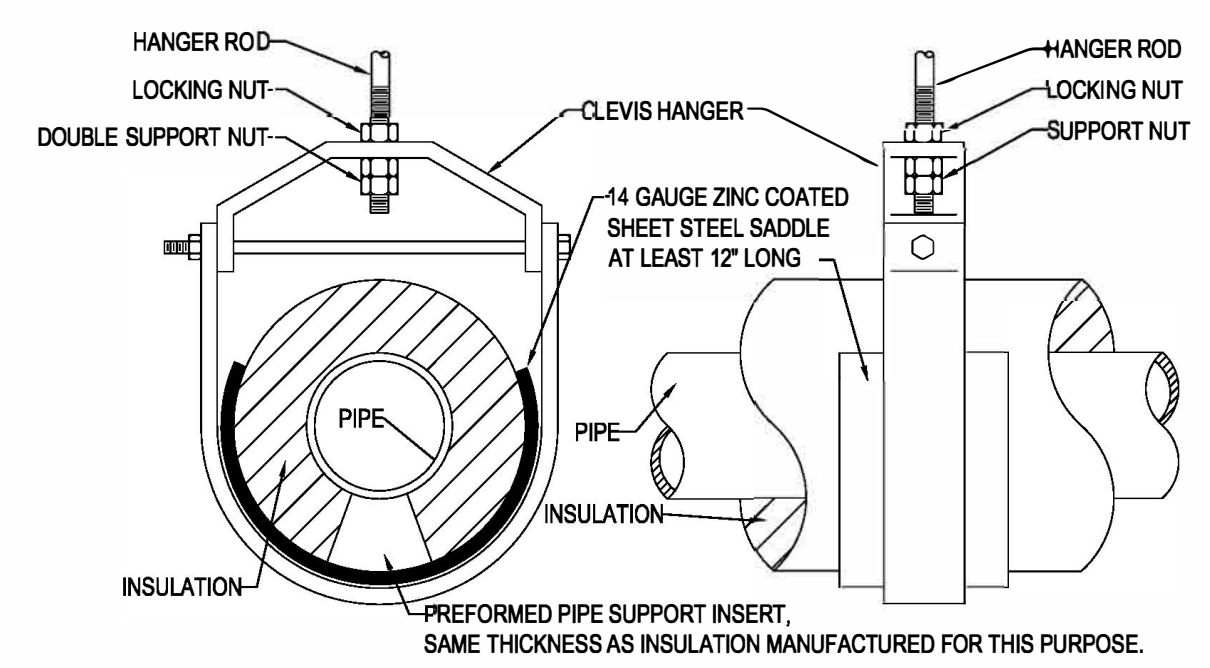


**C BACKFLOW PREVENTER DETAIL**  
Pg. 1

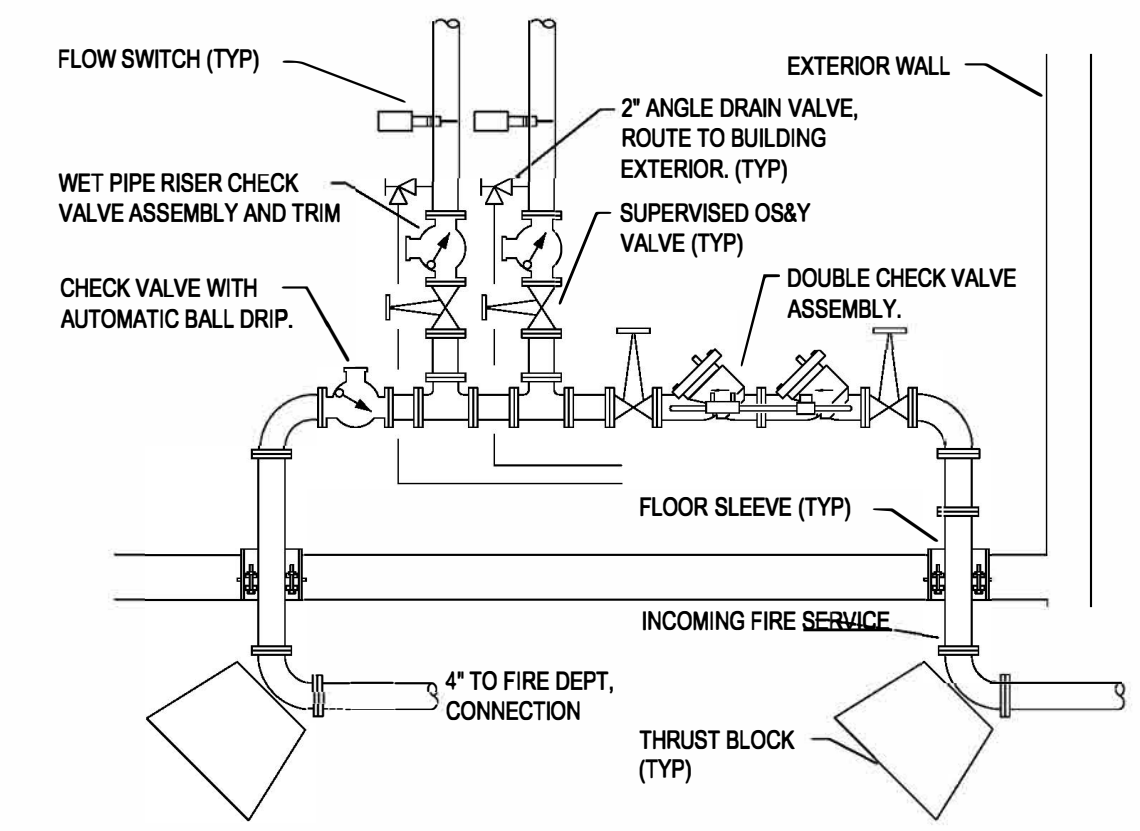


**NOTES:**  
1. IF A REQUIRED AREA OF FLOOR CUTTING OR REMOVAL HAS NOT BEEN NOTED OR IDENTIFIED ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS, THE CONTRACTOR INSTALLING THE NEW UTILITY SERVICE SHALL MAKE THE CUT, EXCAVATE, INSTALL NEW SERVICE, INSTALL AN APPROVED GRAVEL BACKFILL TO TOP OF SUBGRADE, AND HAUL AWAY EXCESS MATERIAL.  
2. PROVIDE FINAL FINISH TO MATCH ADJACENT UNLESS NOTED OR INDICATED OTHERWISE.

**C FLOOR CUTTING DETAIL**  
Pg. 1

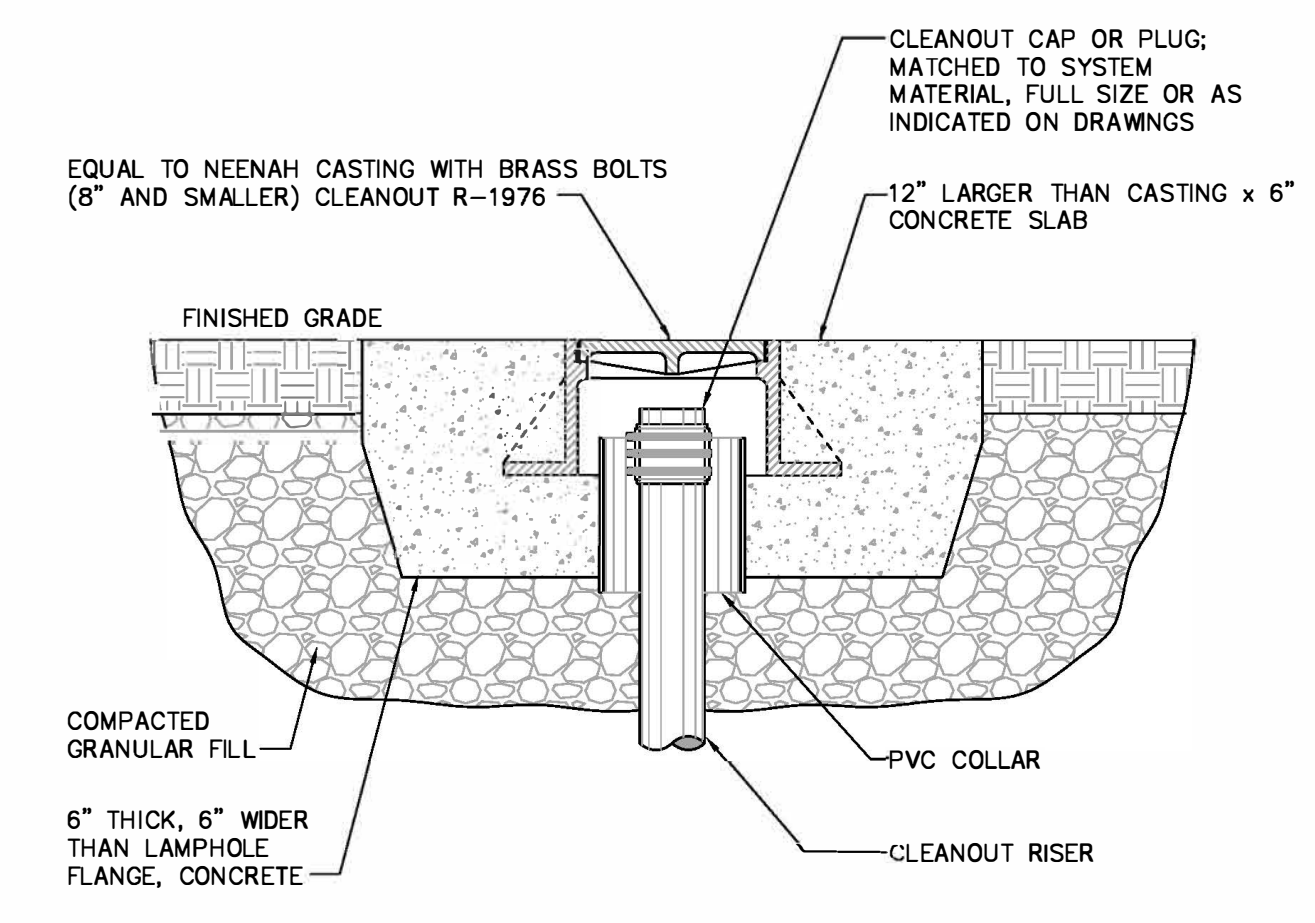


**B PIPE HANGER DETAIL**  
SCALE: NOT TO SCALE  
Pg. 1

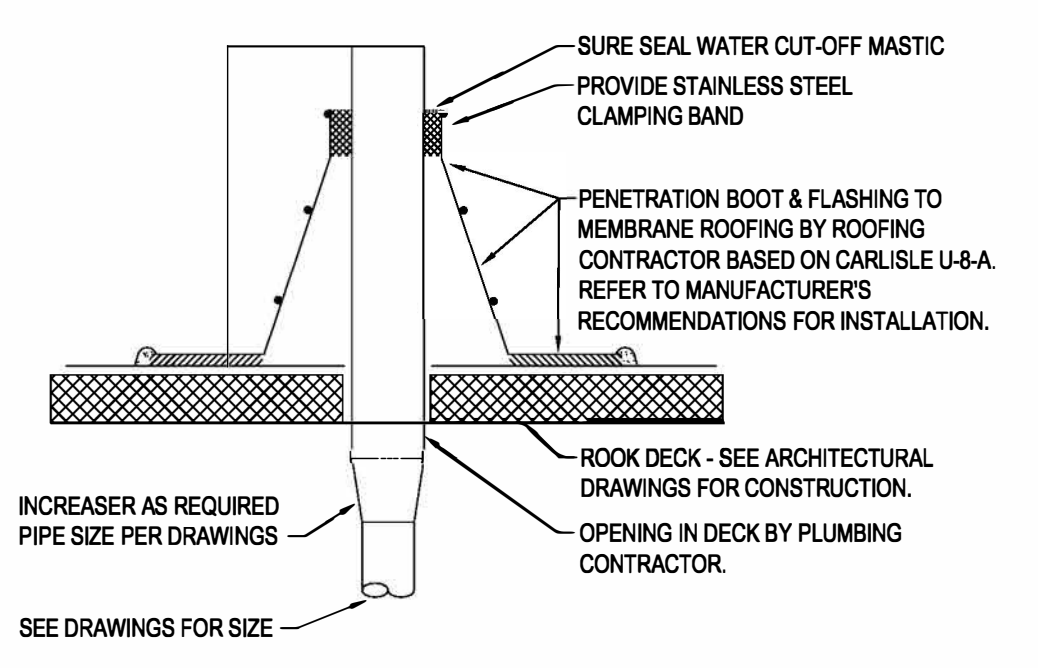


**A FIRE SUPPRESSION RISER DETAIL**  
Pg. 1

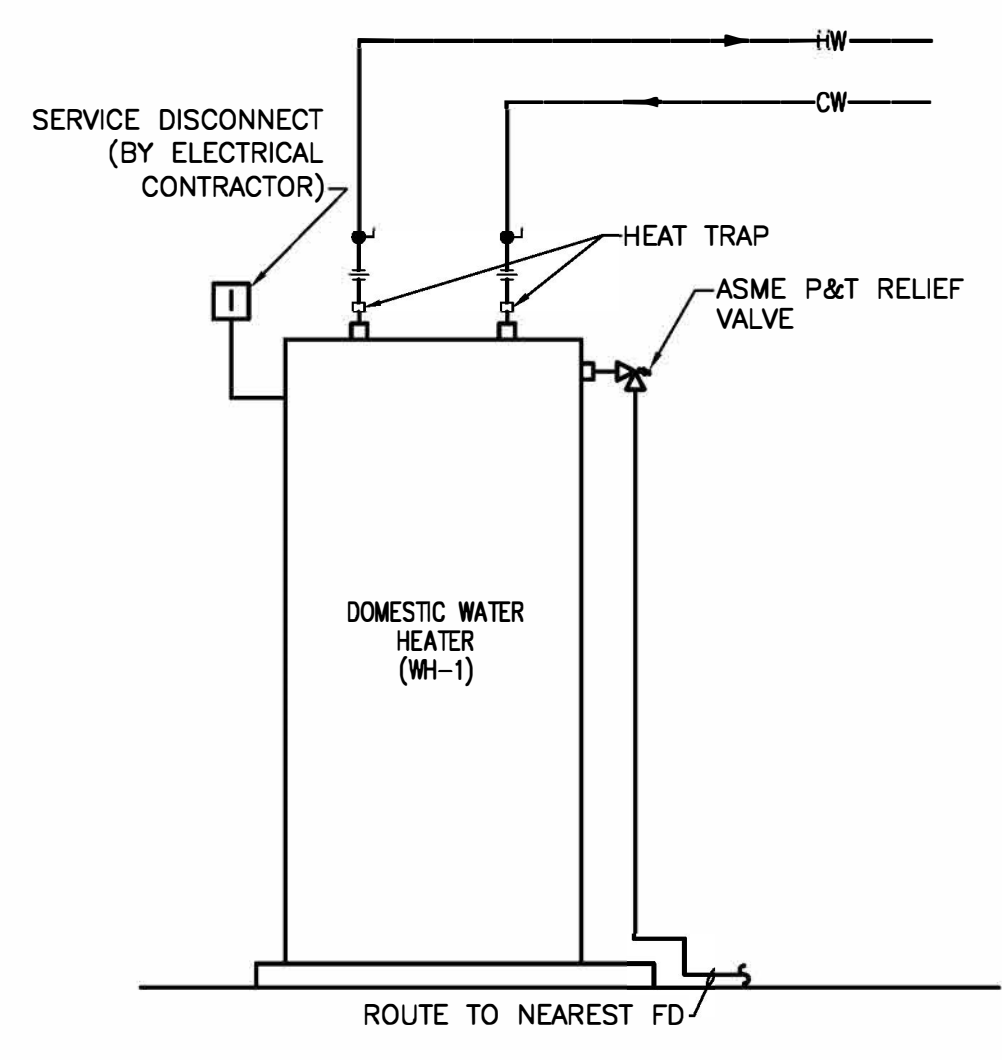
**NOTE:** DETAIL FOR GENERAL REFERENCE ONLY - COORDINATE ACTUAL INSTALLATION CONDITIONS WITH FIRE PROTECTION DRAWINGS AND INSTALLER AS REQUIRED



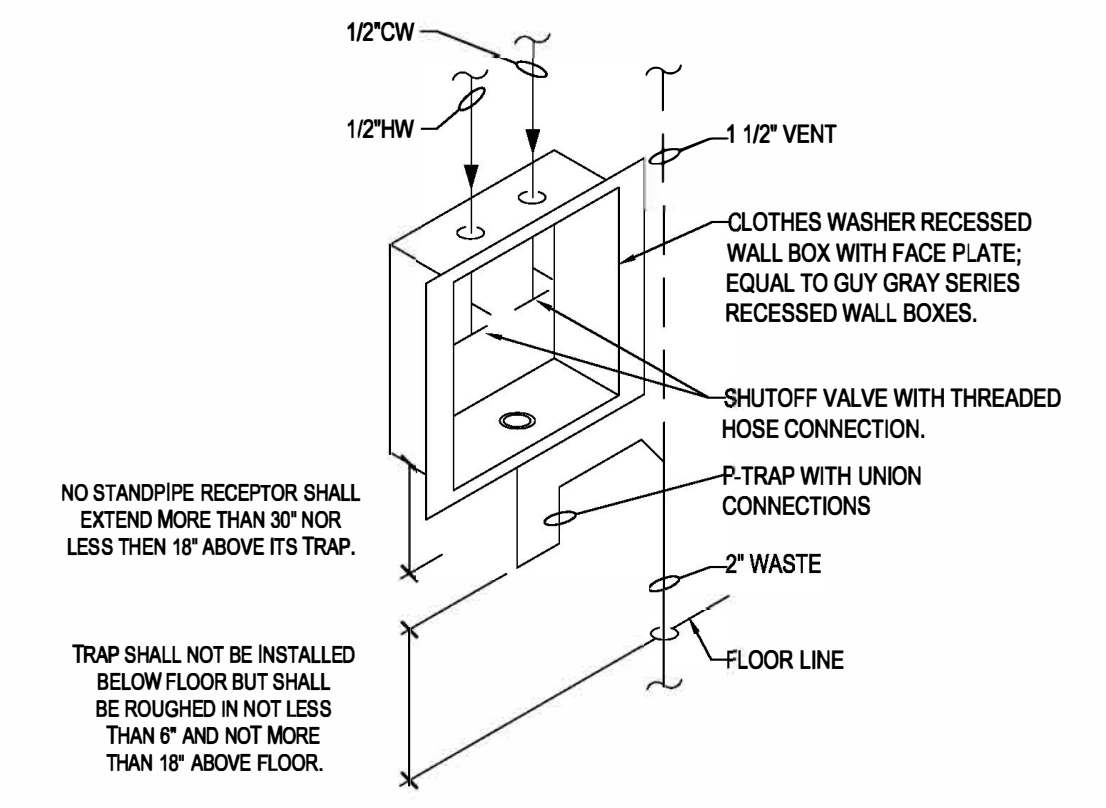
**F EXTERIOR CLEANOUT DETAIL**  
Pg. 1



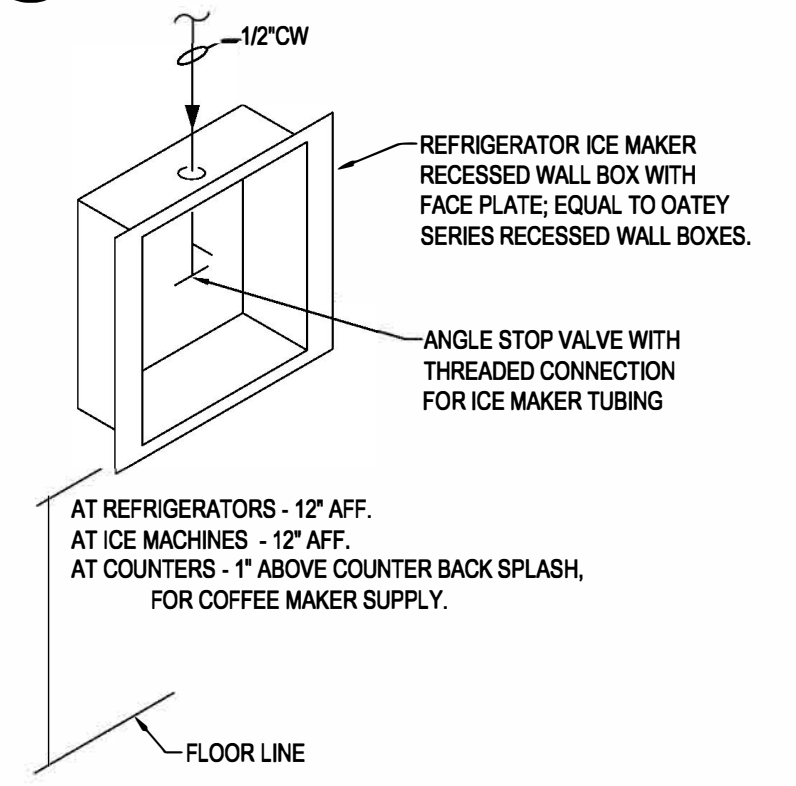
**E VENT THRU ROOF DETAIL**  
Pg. 1



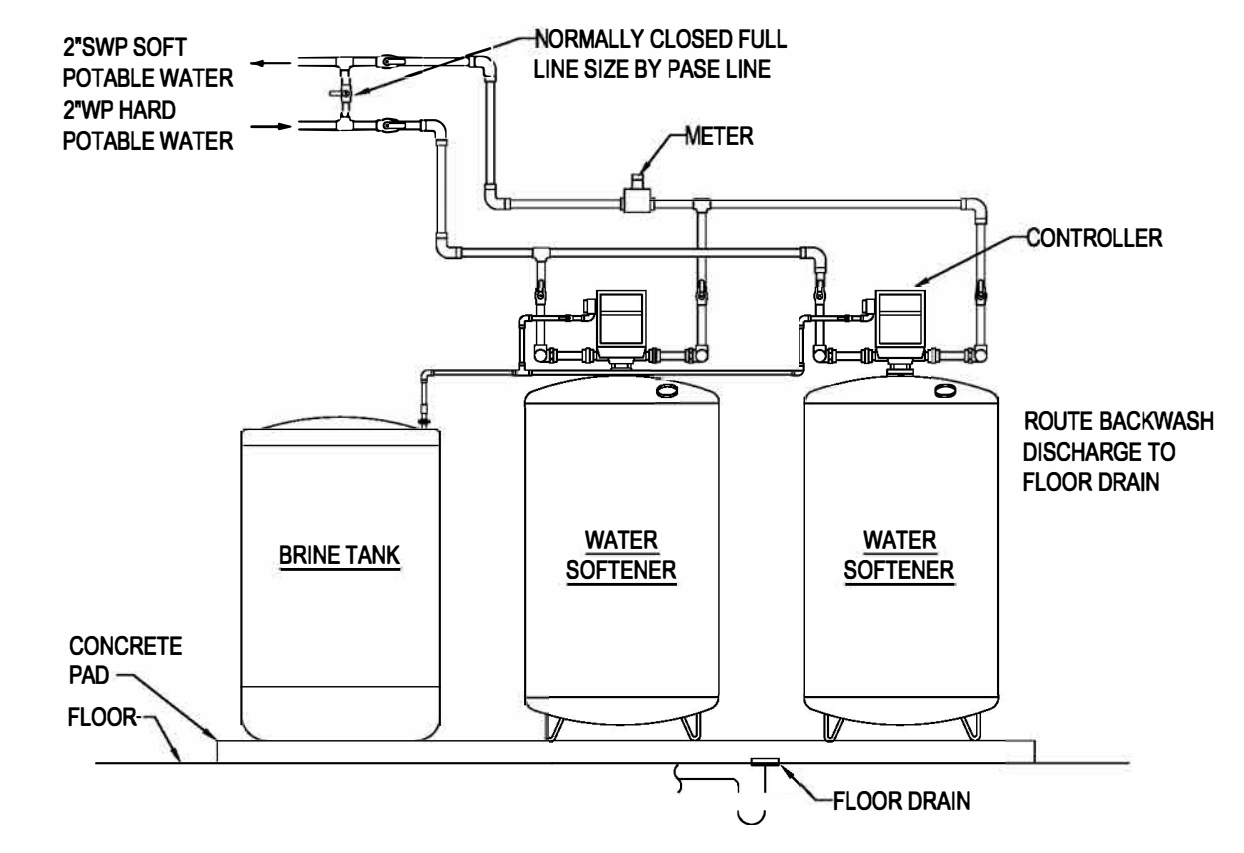
**D WATER HEATER PIPING DETAIL**  
Pg. 1



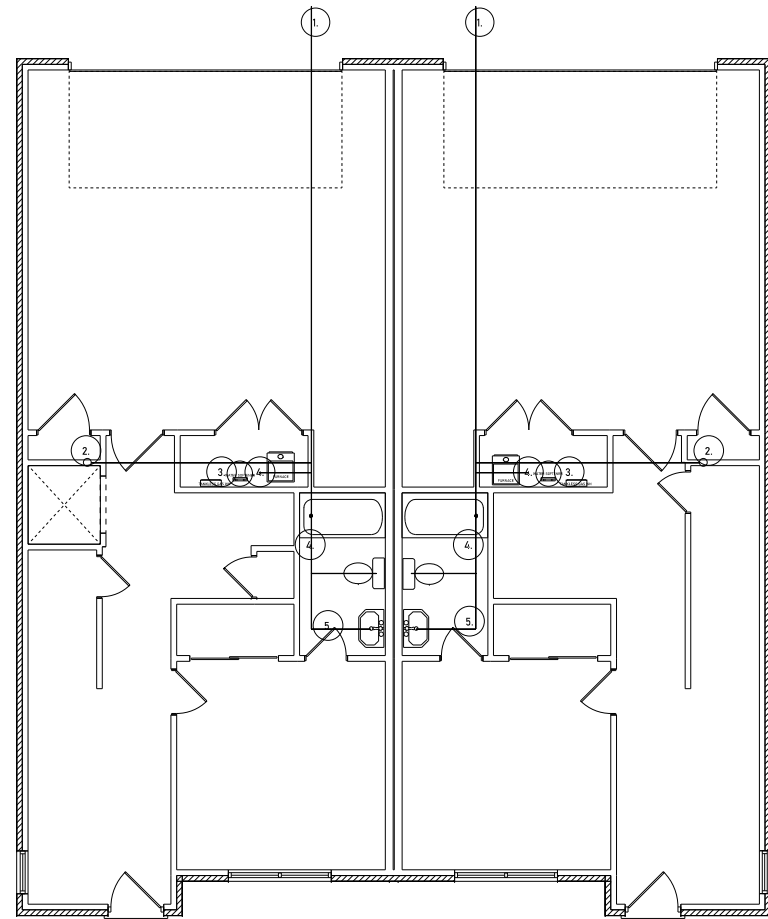
**J CLOTHES WASHER BOX PIPING DETAIL**  
Pg. 1



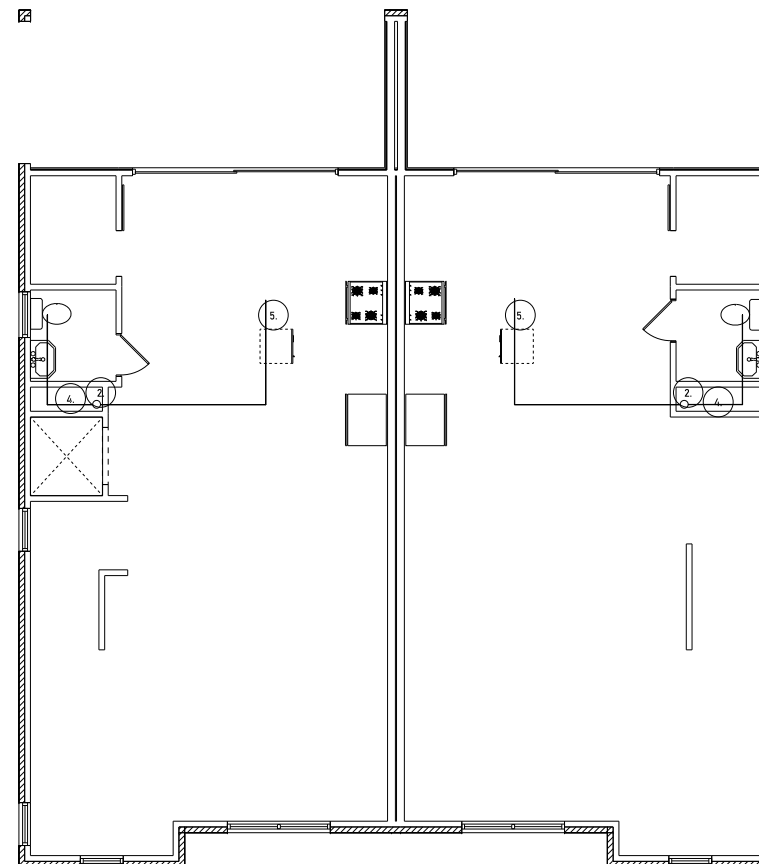
**H ICE MAKER RECESSED WALL BOX DETAIL**  
Pg. 1



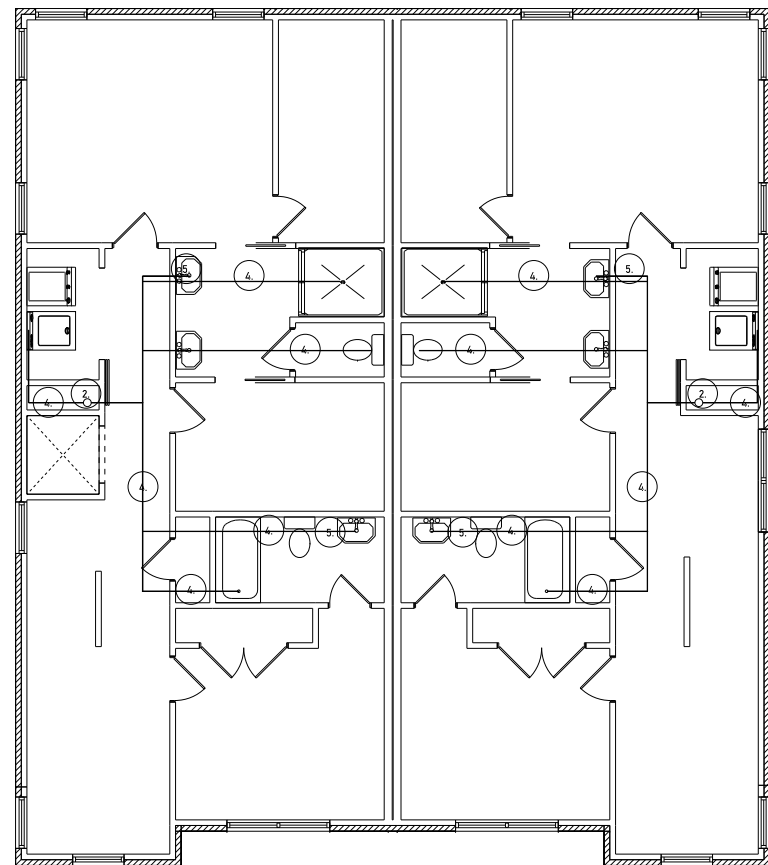
**G WATER SOFTENER PIPING DETAIL**  
Pg. 1



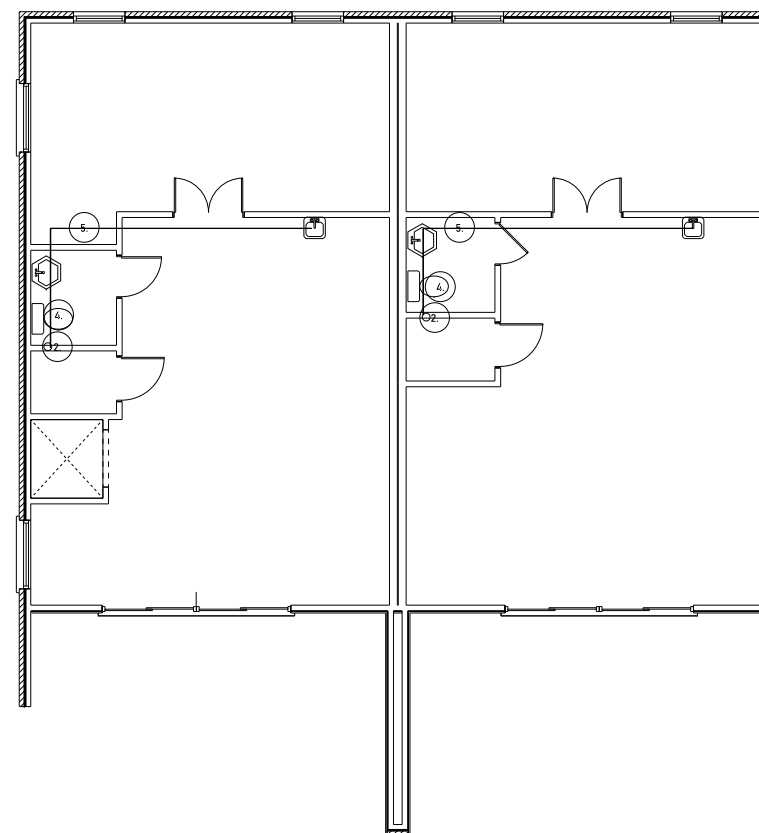
FIRST FLOOR - SANITARY WASTE



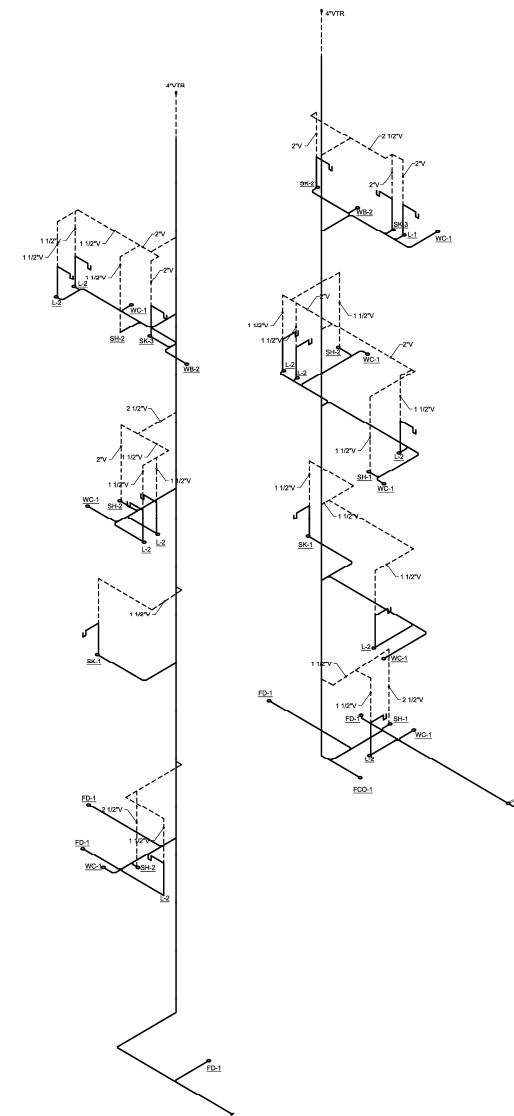
SECOND FLOOR - SANITARY WASTE



THIRD FLOOR - SANITARY WASTE



FOURTH FLOOR - SANITARY WASTE



SANITARY WASTE & VENT ISOMETRIC

**GENERAL PLUMBING NOTES:**

1. ALL VANITY VENTS TO BE STAGGERED TO SIDE OF CENTER LINE OF VANITY TO ALLOW LIGHTING TO BE CENTERED.

**PLUMBING NOTES:**

1. Extend to 5' outside of foundation of building, coordinate with civil drawings
2. 4" sanitary waste riser
3. Water main shut off
4. 4" sanitary waste
5. 2" sanitary waste
6. Water heater; to be installed min. 18" above FF, no ignition sources below



**Liberty at Lockerbie Square**

544 & 548 Park Ave  
Indianapolis IN 46204

DATE:

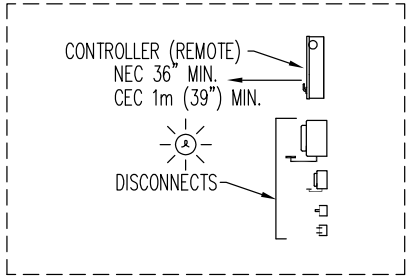
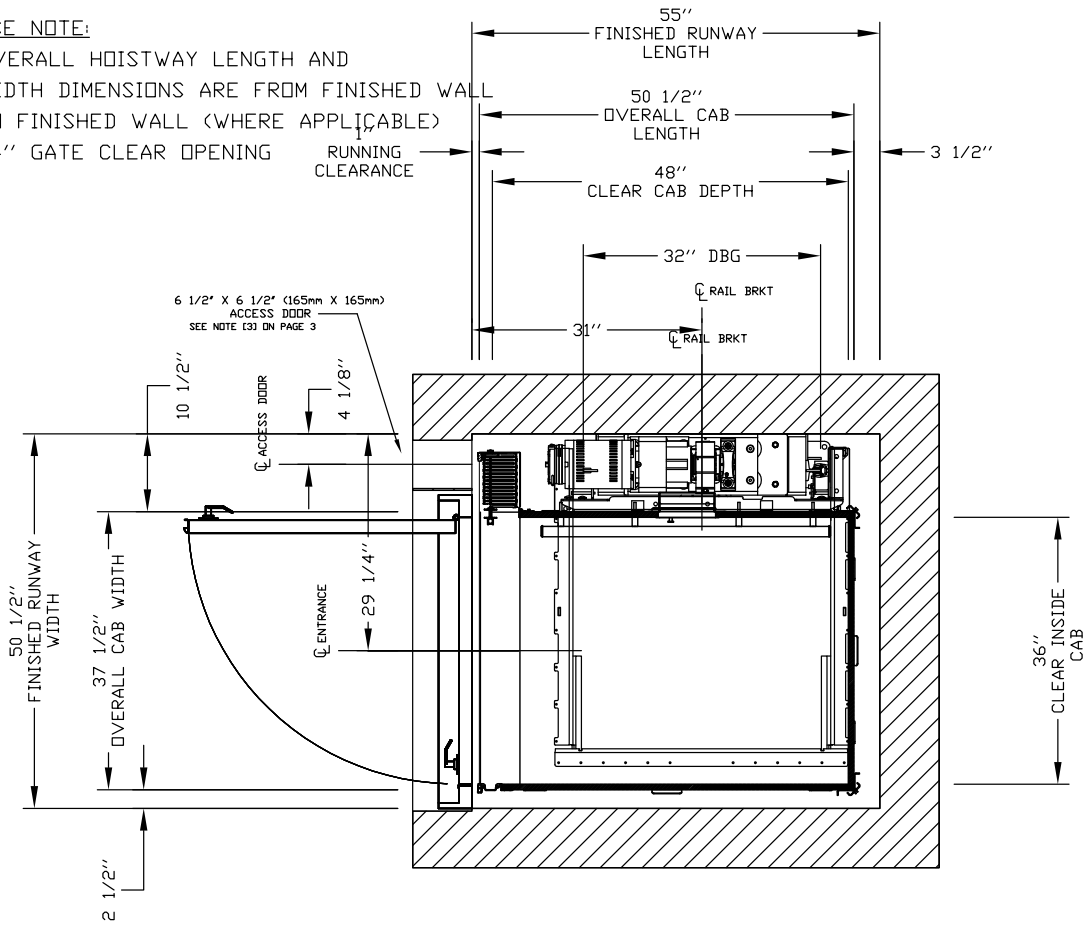
Monday, October 21, 2024

**P1**

PLUMBING

**PLEASE NOTE:**

- OVERALL HOISTWAY LENGTH AND WIDTH DIMENSIONS ARE FROM FINISHED WALL TO FINISHED WALL (WHERE APPLICABLE)
- 34" GATE CLEAR OPENING



DISCONNECTS AND CONTROLLER (REMOTE)

**PRELIMINARY DRAWING ONLY  
DRAWING APPROVAL:**

THIS DRAWING REFLECTS OUR INTERPRETATION OF THE INFORMATION PROVIDED BY THE DEALER ON THE ORDER FORM. THIS INFORMATION IS THE DEALER'S RESPONSIBILITY, AND IS THE BASIS FROM WHICH THIS LIFT IS DESIGNED AND MANUFACTURED. PLEASE INDICATE THE REQUESTED ACTION BY CHECKING ONE OF THE FOLLOWING BOXES AND SIGNING BELOW TO AUTHORIZE COMPLETION OF THIS ORDER.

- APPROVED WITH NO EXCEPTIONS  
MANUFACTURE PRODUCT AS PER DRAWING
- APPROVED WITH EXCEPTIONS, NO REAPPROVAL  
REQUIRED  
MAKE CHANGES AS NOTED, NO REAPPROVAL DRAWING REQUIRED
- CHANGE AS NOTED, REAPPROVAL REQUIRED  
MAKE CHANGES AS NOTED, SEND CORRECTED DRAWING FOR  
REAPPROVAL BEFORE MANUFACTURE

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

- CHANGES REQUEST:
- \_\_\_\_\_
  - \_\_\_\_\_
  - \_\_\_\_\_
  - \_\_\_\_\_

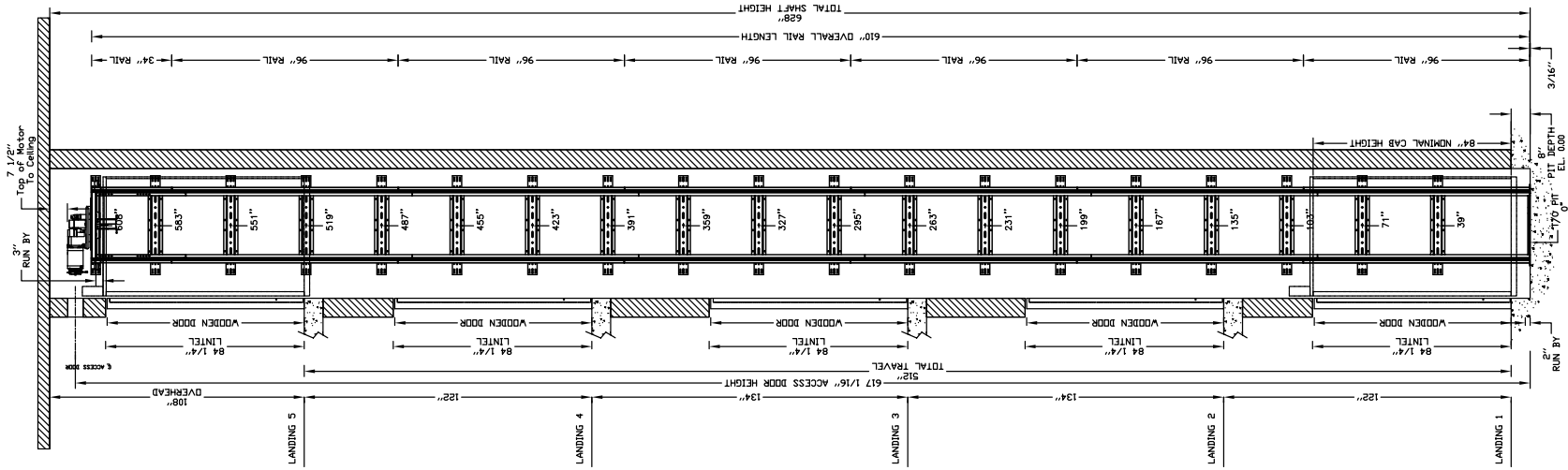
**CAUTION:** ONCE THE DRAWING IS APPROVED, JOB CANCELLATION FEES WILL APPLY



PLAN VIEW

<i>OFFICE USE ONLY:</i>		Part No. <b>ECLIPSE</b>
CONFIGURATION VERSION STAMP: 0.0	MODULE VERSION STAMP: E-S-7443	Variant No. 1033755
CUSTOMER: ACCESS MOBILITY INC.	DATE: 11/19/21	
PROJECT: Liberty Place	REVISION DATE: 11/19/21	
ADDRESS: No. Street, City	COMPLETED BY: [signature]	
	EMAIL: [email]	
	JOB No. P-000000	SHEET No. 1 OF 4

Please refer to rail centerline on the plan view



Part No. **ECLIPSE**  
 Variant No. **1033755**

OFFICE USE ONLY:  
 CONFIGURATION VERSION STAMP: **0.0**  
 MODEL VERSION STAMP: **E-57443**

**savaria.**  
 JOB No. **P-000000** SHEET No. **2** OF **4**

CUSTOMER: **ACCESS MOBILITY INC.**  
 PROJECT: **LIBERTY PIED**  
 ADDRESS: **No. Street, City**  
 DATE: **11/19/21**  
 DESIGN DATE: **11/19/21**  
 COMPLETED BY: **[Signature]**

**ELEVATION VIEW B-B**

# PROVISIONS BY OTHERS

## \*HOISTWAY, CONSTRUCTION SITE, CLEARANCE

- HOISTWAY CONSTRUCTION AND PIT BY OTHERS, DUE TO LIMITED SPACE WITHIN THE HOISTWAY IT IS ESSENTIAL THAT THE PIT IS LEVEL AND WALLS ARE SQUARE AND PLUMB THROUGHOUT THE HOISTWAY. THE HOISTWAY FRAMING MUST BE WITHIN 1/2" (13mm) OF PLUMB AND SQUARE FROM TOP TO BOTTOM FOR PROPER OPERATION OF THE ELEVATOR THROUGHOUT THE HOISTWAY.
- DISTANCE BETWEEN THE HOISTWAY SIDE OF THE LANDING DOOR AND THE CAR DOOR OR GATE SHALL NOT EXCEED 4"(102 MM) USING THE CODE MEASURING TOOL. FOR ACCORDION PANEL FOLD GATES, YOU MUST HAVE FLUSH DOORS (NOT THE 3/4" SETBACK). 3/4" SETBACK IS POSSIBLE ONLY WHEN THE CAR DOORS ARE BIFOLD OR SLIM DOORS. RECOMMEND SOLID CORE DOOR SLAB
- HOISTWAY MUST HAVE A MINIMUM LOCKABLE ACCESS HATCH (PROVIDED BY SAVARIA CONCORD) LOCATED AT THE TOP OF THE HOISTWAY. LOCATION MUST BE IN AN AREA WHICH WILL PROVIDE ACCESS TO THE ELEVATOR DRIVE ASSEMBLY BY THE MANUAL LOWERING HANDLE. MANUAL LOWERING HANDLE WILL ENABLE USER TO OVERPOWER BRAKE AND LOWER CAR WITHOUT BODILY ENTRY TO THE HOISTWAY
- THE PIT FLOOR SHALL BE CONSTRUCTED TO WITHSTAND AN IMPACT LOAD OF 6400 LBS (2903kg). REF. CSA B44 SECTION 2.11 (ASME/ANSI A17.1 SECTION 106)
- HOISTWAY TO BE FREE OF ALL PIPES, WIRING AND OBSTRUCTIONS NOT RELATED TO THE OPERATION OF THE ELEVATOR.
- FOR COMPLYING WITH LOCAL CODES.
- HOISTWAY CONSTRUCTION REQUIREMENTS MAY VARY FROM REGION TO REGION. DIMENSIONS GIVEN ARE MANUFACTURERS RECOMMENDED CLEARANCES. THEY REFLECT THE RUNNING AND ACCESS CLEARANCES. CONSULT YOUR LOCAL AUTHORITY TO ASSURE COMPLIANCE WITH LOCAL CODES.

**DIMENSIONS WARNING**  
CONTRACTOR/CUSTOMER TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO OUR OFFICE IMMEDIATELY.

- ### \*STRUCTURAL
- A LOAD BEARING WALL IS REQUIRED TO SUSTAIN RAIL REACTIONS AS SPECIFIED ON DRAWING. BUILDING CONTRACTOR TO DETERMINE IF SUPPORTING WALL WILL SUSTAIN RAIL REACTIONS FOR COMPLYING WITH LOCAL CODES. STRUCTURE TO ANCHOR A CRANK SHAFT AND SAFETY HARNESS, WHERE APPLICABLE/NEEDED, TO BE PROVIDED BY OTHERS.
  - SUITABLE LINTELS MUST BE PROVIDED BY OTHERS.
  - DOOR FRAMES ARE NOT DESIGNED TO SUPPORT OVERHEAD WALL LOADS.
  - SUITABLE LINTELS MUST BE PROVIDED BY OWNER/AGENT. ALL FULL HEIGHT DOORS MUST BE ALIGNED WITH THE DOOR CENTERLINE SHOWN ON PLAN DETAIL. DOOR WITH THE CORE IS BETTER THAN THE HOLLOW DOOR.
  - DOOR HANDLES ARE REQUIRED FOR ALL FULL SIZE DOORS.
  - SEE INSTALLATION MANUAL FOR DETAILS ON THE INTERLOCKS. INTERLOCKS ARE REQUIRED FOR ALL FULL SIZE DOORS.

- ### \*ELECTRICAL
- THE ELEVATOR CONTROLLER IS 24.4" (620mm) WIDE X 23" (584mm) HIGH X 6.7" (170mm) DEEP. THE CONTROLLER IS PROVIDED BY SAVARIA CONCORD AND IS EITHER :  
A : ATTACHED TO THE RAIL WALL INSIDE THE HOISTWAY BETWEEN THE "T" RAILS WITH ACCESS EITHER UNDER THE CAB OR THROUGH THE CAB OF THE ELEVATOR OR B : IN A REMOTE LOCATION EXTERNAL TO HOISTWAY, THAT NEEDS PROPER STRUCTURAL WALL TO SUPPORT THE CONTROLLER ON ALL 4 CORNERS. HOLE POSITIONS ARE = 23.5" (597mm) WIDE BY 21.5" (546mm) HIGH.
  - ARRANGE FOR A POWER SUPPLY WITHIN SIGHT OR NEXT TO THE ELEVATOR CONTROLLER PRIOR TO DELIVERY OF THE UNIT (BOTH 240 VOLT AND 115 VOLT). THE 240 VOLT, SINGLE PHASE, DEDICATED CIRCUIT (WITH GROUND) SHALL ORIGINATE FROM A LOCKABLE 2 POLE FUSED DISCONNECT (20 AMP RK 5 RATED FUSES) WITH AUXILIARY CONTACT. THE 115 VOLT, SINGLE PHASE, DEDICATED CIRCUIT (WITH GROUND) SHALL ORIGINATE FROM A LOCKABLE DISCONNECT (15 AMP FUSE). ALL ELECTRICAL TO DISCONNECTS SHALL BE PROVIDED AND INSTALLED BY OTHERS AND MUST COMPLY WITH APPLICABLE CODES.

	DISCONNECT SIZE	TIME DELAY FUSE SIZE	VOLTS	PHASE	AMPERAGE
MOTOR & EQUIP	30 AMPS	20 AMPS	230-240	1	20.2 AMPS
CAB LIGHTS	15 AMPS	15 AMPS	115	1	

- FIELD ELECTRICAL WIRING AND CONNECTIONS TO HALL-CALLS, PIT SWITCH AND INTERLOCKS ARE PROVIDED.
- LIGHTING SHALL BE A MINIMUM OF 10 FOOT CANDLES (100 LUX) IN CONTROLLER SPACE. THE SWITCH FOR THE LIGHT MUST BE WITHIN 18" (457mm) OF THE HOISTWAY ACCESS. THE LIGHT MUST BE GUARDED TO PREVENT ACCIDENTAL BREAKAGE OR CONTACT WITH THE HOT BULB. THE SWITCH, LIGHT, AND GUARD ARE PROVIDED AND INSTALLED BY OTHERS. (MUST COMPLY WITH APPLICABLE CODES) LIGHTING OF 100 LX MIN. AT PLATFORM AND LANDINGS. LIGHTING WITH SWITCH AND ELECTRICAL GFCI OUTLET IN HOISTWAY PIT.
- A TELEPHONE CIRCUIT IS REQUIRED. JACK IS PROVIDED AND INSTALLED BY OTHERS. THIS CIRCUIT SHALL BE BROUGHT TO A LOCATION NEXT TO THE CONTROLLER AND BE AVAILABLE TO CONNECT AND TEST UPON ELEVATOR INSTALLATION.
- THE APPROPRIATE ENVIRONMENT FOR THE ECLIPSE IS BETWEEN 0C TO +40C (32F TO 104F), 20-80% HUMIDITY (NON-CONDENSING). VF DRIVE RELIABILITY IMPROVES IN ENVIRONMENTS WITHOUT WIDE TEMPERATURE FLUCTUATIONS.
- SAVARIA LINK - ENSURE THAT YOU HAVE AN ETHERNET CONNECTION WITH INTERNET CAPABILITY IN THE VICINITY OF UNITS CONTROLLER

**WHEN CONTROLLER EXTERNAL**  
19- LOCATION / ACCESS- "CONTROLLER ROOM" LOCATED AT THE LOWEST LEVEL ADJACENT TO HOISTWAY, UNLESS SHOWN OTHERWISE ON THE LAYOUT DRAWINGS. FIELD ADJUSTMENT BY INSTALLER MAY BE NECESSARY TO MEET JOB SITE CONDITIONS OR REGULATIONS. ACCESS TO CONTROLLER ROOM TO BE THROUGH A SELF CLOSING LOCKABLE DOOR WHERE CODE CONSIDER IT AS A MACHINE ROOM. WHEN APPLICABLE SLEEVES FOR ELECTRIC LINES.

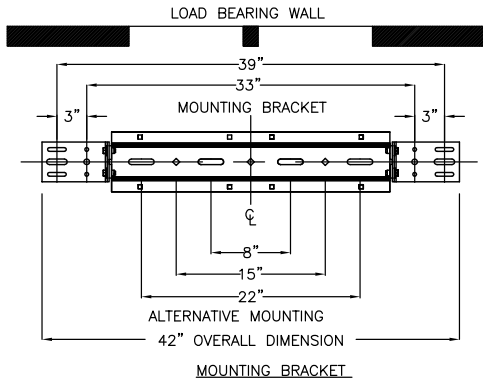
\*CODE  
20- ALTHOUGH THE ELEVATOR IS DESIGNED TO MEET CSA B44 (ANSI A17.1), LOCAL CODES MAY VARY. DEALER IS RESPONSIBLE FOR COMPLYING WITH LOCAL CODES.

## GENERAL

CLASSIFICATION: \_\_\_\_\_ Residential Building  
APPLIED CODE: \_\_\_\_\_ ASME A17.1-2019 SEC. 5.3  
MODEL: \_\_\_\_\_ Eclipse  
CAPACITY: \_\_\_\_\_ 950lbs  
NOMINAL SPEED: \_\_\_\_\_ 40 fpm [0.20 m/s] UP AND DOWN  
TRAVEL: \_\_\_\_\_ 512 "  
PIT DEPTH: \_\_\_\_\_ 8 "  
POWER SUPPLY: \_\_\_\_\_ 60 Hz Single Phase 240 volt

## DRIVE UNIT

DRIVE ASSEMBLY MFR. \_\_\_\_\_ SAVARIA  
MOTOR: \_\_\_\_\_ 2.0 Hp W/Integral Brake FROM NORD  
GEAR MODEL: \_\_\_\_\_ 42:17:1 Ratio Gear Box  
MOTOR CONTROLLER: \_\_\_\_\_ Preprogrammed VF Drive.



## FIRST DOOR BY LANDING CHART

	LANDING 1	LANDING 2	LANDING 3	LANDING 4	LANDING 5
DOOR TYPE	Frame only	Frame only	Frame only	Frame only	Frame only
ENTRANCE SIDE	Side A	Side A	Side A	Side A	side A
DOOR SWING	Right Hand Swing	Right Hand Swing	Right Hand Swing	Right Hand Swing	Right Hand Swing
LOCK TYPE	Porta Lock	Porta Lock	Porta Lock	Porta Lock	Porta Lock
AUTO DOOR OPENER					
HALL CALL KEY SWITCH					
FLOOR MARKING	B	1	2	3	4

RAIL FORCES	
* R1	* R2
138.2 kg [304 lbf]	88.2 kg [194 lbf]
RAIL WEIGHT : 24.5 kg / m [18.0 lbs / ft]	

**R3 NOTE:**  
PIT FLOOR TO SUPPORT LOAD OF:  
2909 kg \* (INCLUDES IMPACT)  
[6400 lbs]

4 WALL ANCHOR POINTS MIN. PER BRACKET  
2 PER SIDE OF RAIL BRACKET CENTER LINE.  
PULL OUT FORCE PER FASTENER 69 kg [152 lbs]

## CAR FINISH DETAILS

CAB PANEL SELECTION: \_\_\_\_\_ To Be Determine  
CAB SPECIAL FINISH: \_\_\_\_\_ Not applicable  
CEILING SELECTION: \_\_\_\_\_ standard (white)  
POT LIGHT FINISH: \_\_\_\_\_ Silver  
TRIM COLOUR: \_\_\_\_\_ Clear Anodized Aluminum  
CAR STATION PLATE: \_\_\_\_\_ Stainless Steel/PI  
HAND RAIL TYPE: \_\_\_\_\_ Cylindrical S/S #4 Finish  
CAB FLOORING: \_\_\_\_\_ Plywood Floor 3/4"  
FINISHED FLOOR THICKNESS: \_\_\_\_\_ 3/4" finish  
TELEPHONE BOX: \_\_\_\_\_ No, Key pad phone in COP  
TELEPHONE BOX FINISH: \_\_\_\_\_ Not Applicable  
HALL CALL STATIONS: \_\_\_\_\_ Call Stations are the Same  
HALL CALL FINISH: \_\_\_\_\_ Rectangular S/S #4 Finish  
HALL CALL DIGITAL DISPLAY: \_\_\_\_\_ Not applicable

## CAR DIMENSIONS/PLATFORM GATES

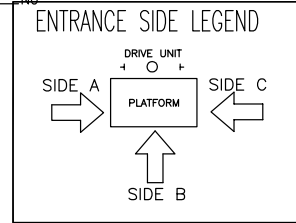
CAB TYPE: \_\_\_\_\_ Type 1 Left Hand  
CAB OPERATION: \_\_\_\_\_ auto  
GATES REQUIRED: \_\_\_\_\_ Manual Gates  
GATE TYPE: \_\_\_\_\_ PanelFold(CLR)ANTQ WHT 3 Plexi  
GATE FINISH: \_\_\_\_\_ Gate Finish : Hard Hinges /locking mechanism  
LANDING DOOR FINISH: \_\_\_\_\_ N/A

## SUSPENSION

TYPE: \_\_\_\_\_ DUAL #60 ROLLER CHAIN RATIO 1:1  
CONSTRUCTION: \_\_\_\_\_ ANSI B29.1  
NOMINAL STRENGTH: \_\_\_\_\_ 9020 LBS PER CHAIN  
CHAIN LENGTH: \_\_\_\_\_ 563 "  
SAFETIES: \_\_\_\_\_ TYPE A

## OPTIONS

FASTENERS: \_\_\_\_\_ Lag Bolts  
ADDITIONAL CABLE: \_\_\_\_\_ Additional Cable Not Required  
TEMP. RUN BUTTON: \_\_\_\_\_ Temp Run Button not included  
DISCONNECT: \_\_\_\_\_ By Others  
BUFFER SPRING: \_\_\_\_\_ no  
PHONE: \_\_\_\_\_ Key pad phone in COP  
TRAVELING CABLE: \_\_\_\_\_ Flat Travelling Cable provided  
LED POT LIGHT: \_\_\_\_\_ LED Pot Light  
FLOOD SWITCH: \_\_\_\_\_ Not Required  
ECLIPSE WHEELS UPGRADE: \_\_\_\_\_ Guide shoe  
CW SAFETY REQUIRED: \_\_\_\_\_ No  
FAN OPTION: \_\_\_\_\_ Not Applicable  
NY CAM KIT: \_\_\_\_\_ No  
CONCURRENT LANDINGS: \_\_\_\_\_ No Concurrent Landings  
LANDING DOOR LINER: \_\_\_\_\_ No



# DATA SHEET

CUSTOMER: **ACCESS MOBILITY INC.**  
PROJECT: **Liberty Place**  
ADDRESS: **No. Street, City**

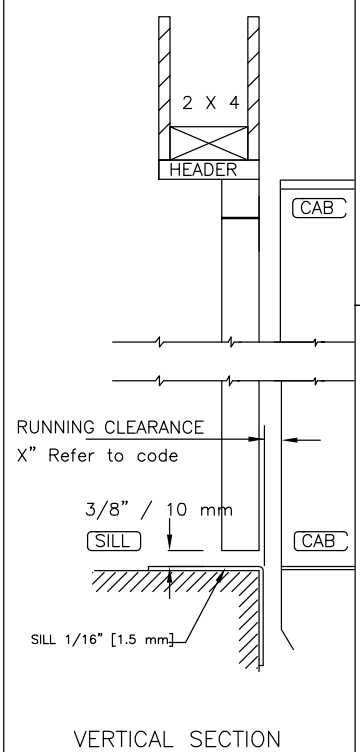
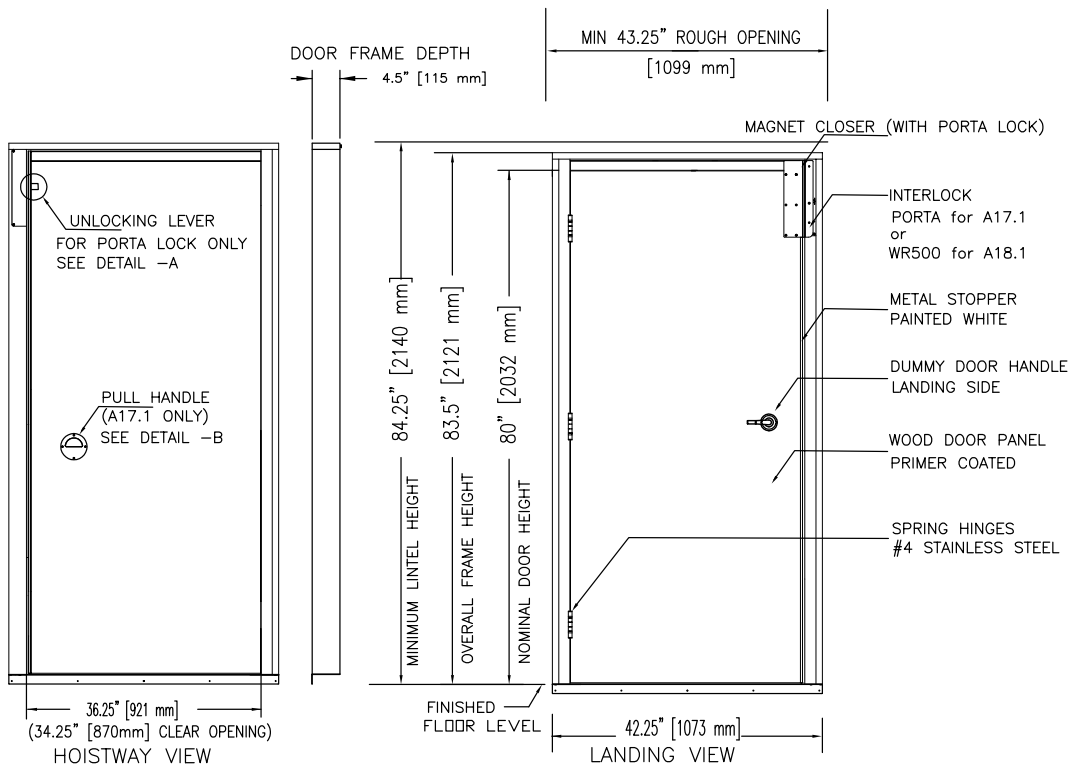
**OFFICE USE ONLY:**  
CONFIGURATION VERSION STAMP: **0.0**  
MODULE VERSION STAMP: **[S-7443]**

Part No. **ECLIPSE**  
Variant No. **1033755**

DATE: **11/19/21**  
REVISION DATE: **11/19/21**  
COMPLETED BY: **[Signature]**

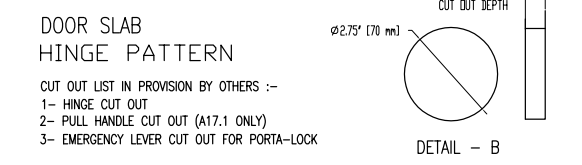
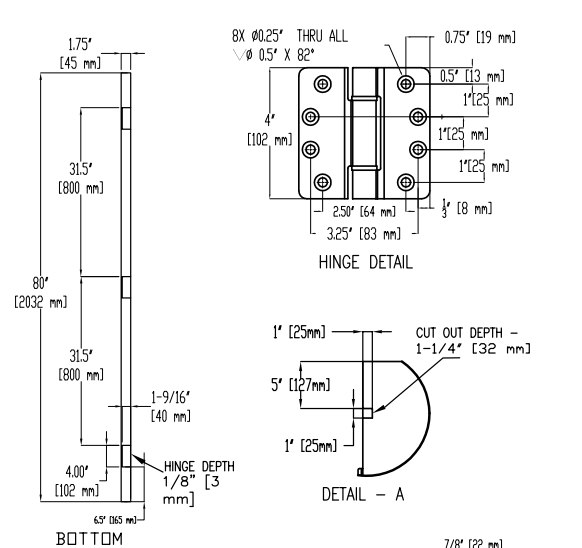
**savaria.**

JOB No. **P-000000** SHEET No. **3 OF 4**

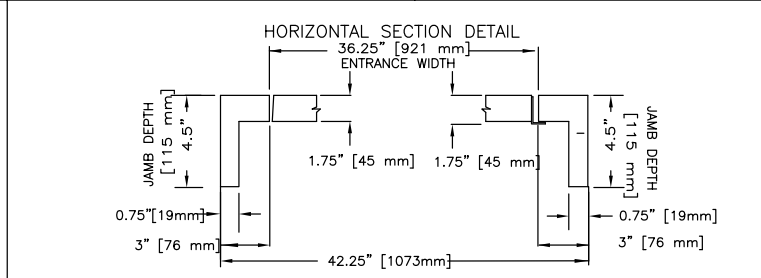
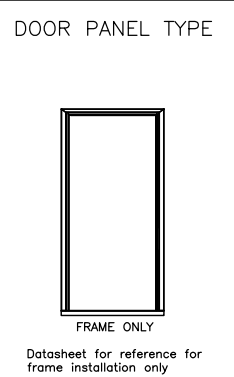
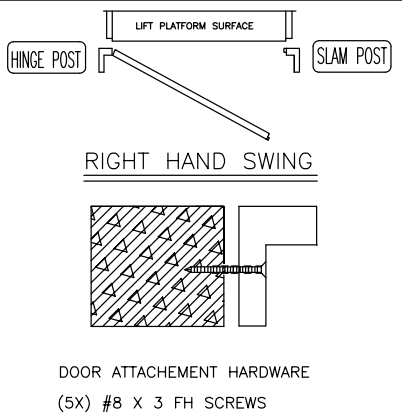


**PROVISION BY OTHERS ALL DOORS**  
 - DRYWALL OR PARGING AROUND DOOR  
 - FRAMES AROUND DOOR SHALL BE WOOD CONSTRUCTION WITH ALL EDGES AND JOINTS SANDED TO A SMOOTH  
 - FINAL PAINT  
 - FINISH MOLDING AROUND DOOR FRAME  
 - SEE DATASHEET OF THE INSTALLATION DRAWING FOR LANDING ENTRANCE SCHEDULE.

**ADD. PROVISION FOR DOOR SLAB BY OTHERS**  
 - DOOR SHALL BE SOLID-CORE, SWINGING TYPE  
 - 1.75 THICK, 36" x 80" DOOR SLAB  
 - DUMMY DOOR HANDLE  
 - SEE BELOW FOR CUT OUT LIST FOR DOOR BY OTHERS  
 NOTE: ALL INFORMATION IS SUBJECT TO CHANGE.



<b>OFFICE USE ONLY:</b>		Part No. <b>ECLIPSE</b>
CONFIGURATION VERSION STAMP: 0.0	MODULE VERSION STAMP: E-S-7443	Variant No. 1033755



**DOOR**

CUSTOMER: ACCESS MOBILITY INC.  
 PROJECT: Liberty Place  
 ADDRESS: No. Street, City

DATE: 11/19/21	REVISION DATE: 11/19/21	COMPLETED BY: greg@accessmob.com
JOB No. P-000000		SHEET No. 4 OF 4

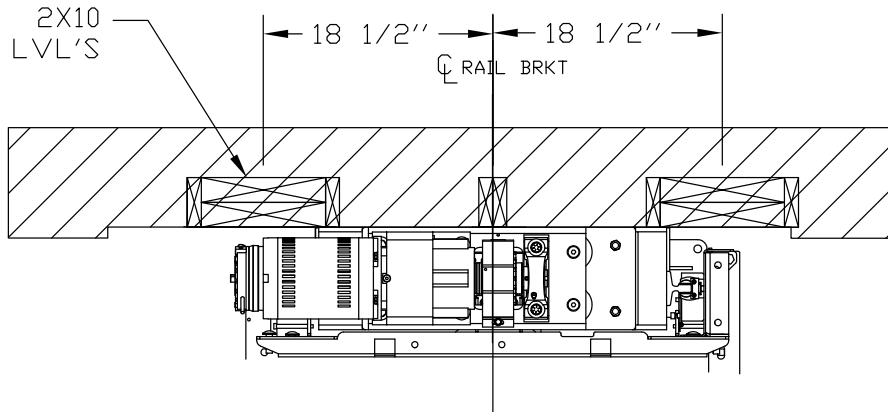
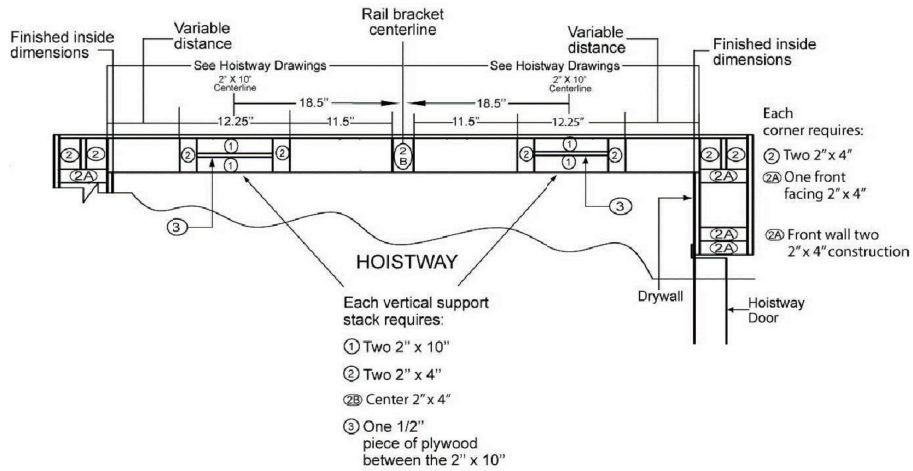




NOTE:

- 1: THIS DRAWING IS FOR REFERENCE ONLY. BUILDING STRUCTURAL ENGINEER TO ENSURE THAT THE BUILDING AND HOISTWAY WILL SAFELY SUPPORT ALL LOADS IMPOSED BY THE LIFT EQUIPMENT
2. FIRE RATING OF HOISTWAY IS SUBJECT TO LOCAL BUILDING CODES.

EXAMPLE OF MINIMUM SUPPORT WALL IN WOOD

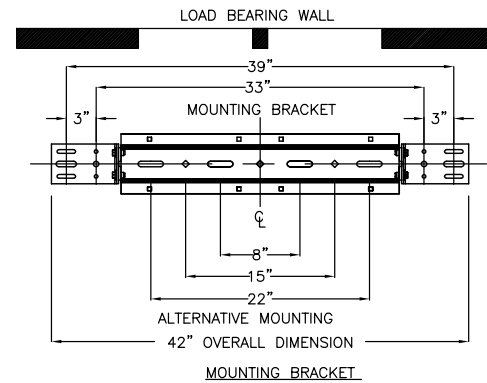


RAIL FORCES	
* R1	* R2
138.2 kg [304 lbf]	88.2 kg [194 lbf]
RAIL WEIGHT : 24.5 kg / m [18.0 lbs / ft]	

R3 NOTE:
PIT FLOOR TO SUPPORT LOAD OF: 2909 kg * (INCLUDES IMPACT) [6400 lbs]

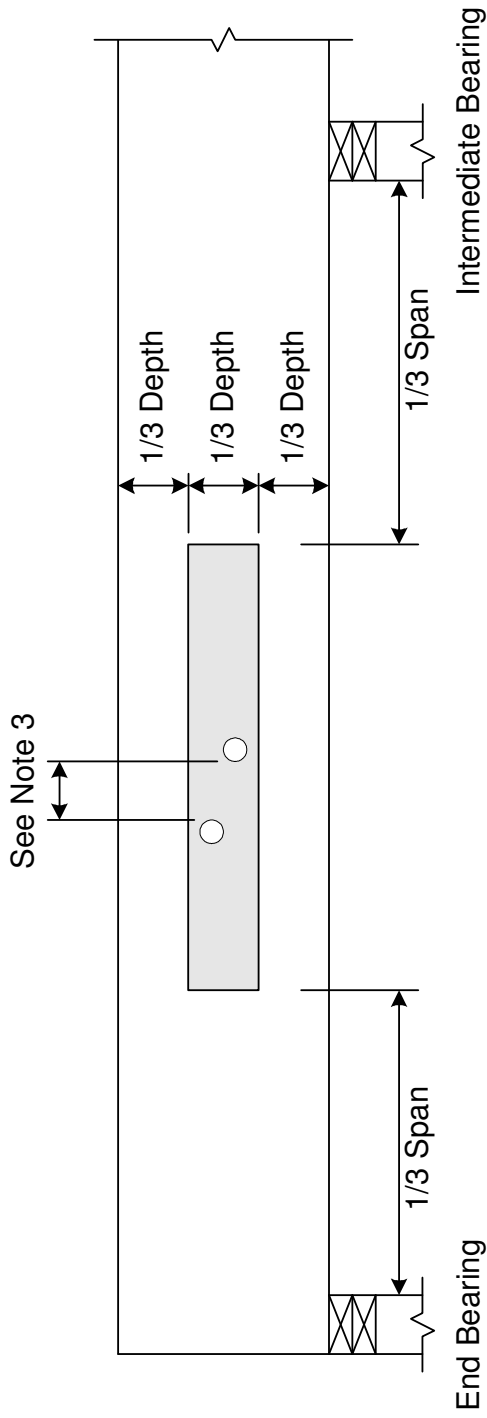
4 WALL ANCHOR POINTS MIN. PER BRACKET  
2 PER SIDE OF RAIL BRACKET CENTER LINE  
PULL OUT FORCE PER FASTENER 69 kg [152 LBS]

FASTENERS PROVIDED WITH ELEVATOR ARE:  
1/2" X 3" ZINC GRADE 5 CARBON STEEL  
HEX HEAD LAG FOR WOOD BLOCKING OR  
1/2" X 3" HEX NUT SLEEVE ANCHOR  
STEEL ZINC FOR CONCRETE BLOCKING





## Versa-Lam® Allowable Hole Chart



**Notes:**

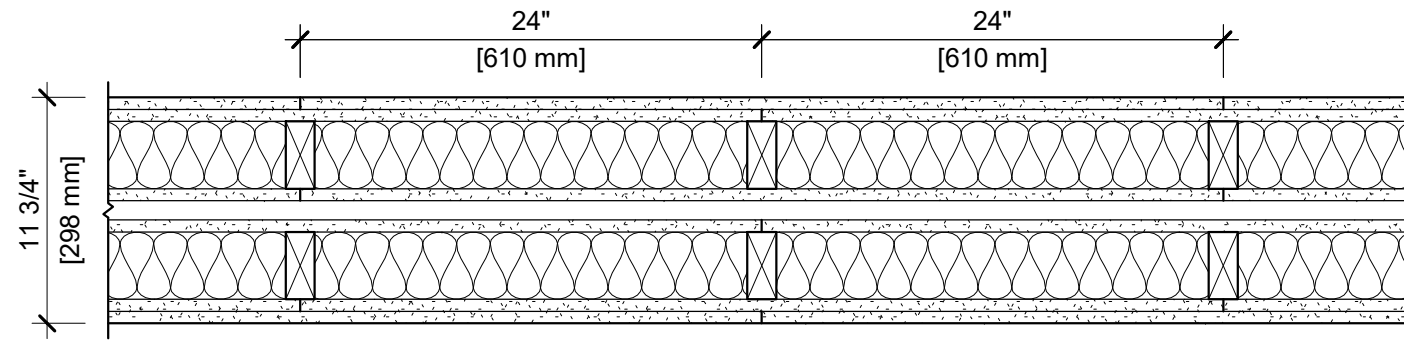
- 1) Square and rectangular holes are not permitted.
- 2) Round holes may be drilled or cut with a hole saw anywhere within the shaded area of the beam.
- 3) The horizontal distance between adjacent holes shall be at least two times the diameter of the larger hole. This restriction also applies to the location of access holes relative to bolt holes in multi-ply beams.
- 4) Do not drill more than three access holes in any four foot long section of beam.
- 5) The maximum round hole diameter permitted is:

Beam Depth	5 1/2"	7 1/4"	9 1/4" – 24"
Maximum Hole Diameter	3/4"	1"	2"

- 6) These limitations apply to holes drilled for plumbing or wiring access only. The size and location of holes drilled for fasteners are governed by the provisions of the *National Design Specification® for Wood Construction*.
- 7) Beams deflect under load. Size holes to provide clearance where required.
- 8) This hole chart is valid for beams supporting uniform load only. For beams supporting concentrated loads or for beams with larger holes, contact Boise Cascade EWP Engineering.
- 9) Hole chart valid for all grades of Versa-Lam.

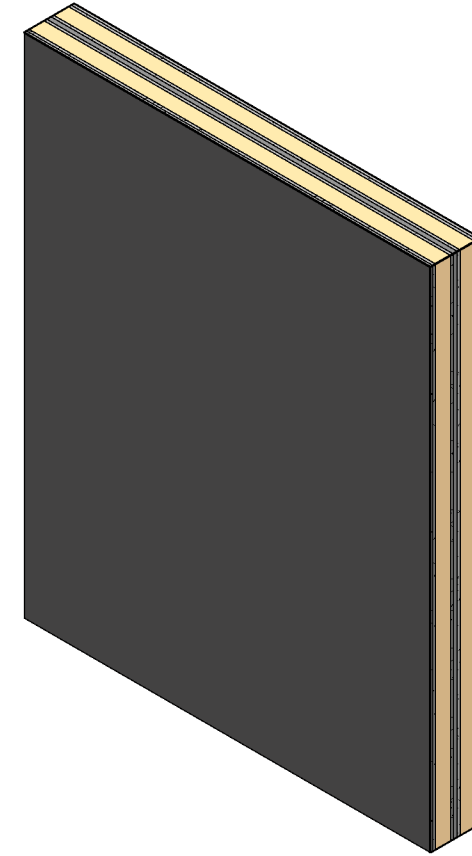
**DESIGN NO. GA WP 4232**

FIRE RATING: 2 HOURS  
 STC RATING: 60  
 SOUND TEST: USG-171133  
 SYSTEM THICKNESS: 11-3/4" [298 MM]  
 LOCATION: INTERIOR  
 FRAMING TYPE: WOOD STUD (LOAD-BEARING)



**ASSEMBLY REQUIREMENTS:**

GYPSUM PANELS: TWO LAYERS 5/8" [15.9 MM] SHEETROCK® GYPSUM PANEL (UL TYPE SCX)  
 WOOD STUDS: 2" X 4" [38 X 89 MM] WOOD STUDS, 24" [610 MM] O.C.  
 INSULATION: 3-1/2" [89 MM] FIBERGLASS INSULATION  
 GYPSUM PANELS: ONE LAYER 5/8" [15.9 MM] SHEETROCK® GYPSUM PANEL (UL TYPE SCX)  
 AIR SPACE: 1" [25 MM] AIR SPACE  
 GYPSUM PANELS: ONE LAYER 5/8" [15.9 MM] SHEETROCK® GYPSUM PANEL (UL TYPE SCX)  
 WOOD STUDS: 2" X 4" [38 X 89 MM] WOOD STUDS, 24" [610 MM] O.C.  
 INSULATION: 3-1/2" [89 MM] FIBERGLASS INSULATION  
 GYPSUM PANELS: TWO LAYERS 5/8" [15.9 MM] SHEETROCK® GYPSUM PANEL (UL TYPE SCX)

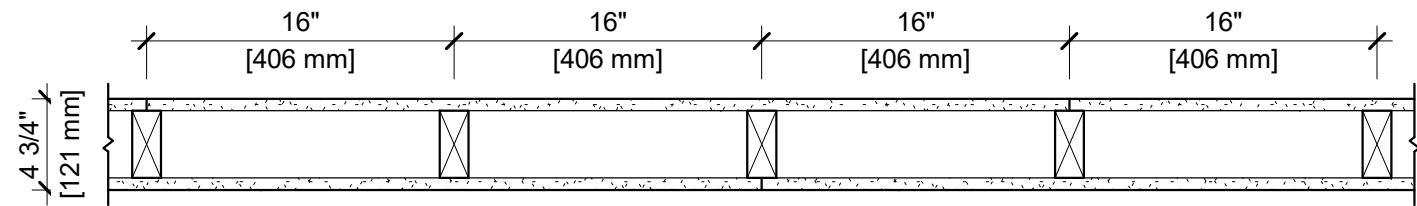


**GENERAL WALL NOTES:**

1. REFER TO APPLICABLE CODES REQUIREMENTS TO ENSURE COMPLIANCE PRIOR TO CONSTRUCTION.
2. FOR THE MOST UP-TO-DATE DETAILS, INCLUDING CONSTRUCTION VARIATIONS, REFER TO THE PUBLISHED DESIGN.
3. WHERE DESIGN NO. INDICATES "PER", THE FIRE RATING IS BASED ON LABORATORY TEST DATA OF THE REFERENCED SIMILARLY CONSTRUCTED ASSEMBLIES.
4. STUD SIZES AND INSULATION THICKNESS ARE MINIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
5. STUD AND FASTENER SPACINGS ARE MAXIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
6. PANEL ORIENTATION SHALL BE AS SPECIFIED IN THE PUBLISHED DESIGN.
7. FIRE-RATINGS ARE FROM BOTH SIDES UNLESS OTHERWISE STATED.
8. FIRE-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, INCREASE STUD MATERIAL THICKNESS, DECREASE STUD SPACING, DECREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH.
9. WHERE ACOUSTICAL PERFORMANCE IS PROVIDED IN AN ESTIMATED RANGE, THE VALUES ARE BASED ON LABORATORY TEST DATA OF SIMILARLY CONSTRUCTED ASSEMBLIES.
10. SOUND-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, DECREASE STUD MATERIAL THICKNESS, INCREASE STUD SPACING, INCREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH. MODIFICATIONS MUST NOT EXCEED LIMITATIONS OF FIRE RATING.

**DESIGN NO. UL U305**

FIRE RATING: 1 HOUR  
 STC RATING: 33  
 SOUND TEST: USG-151234  
 SYSTEM THICKNESS: 4-3/4" [121 MM]  
 LOCATION: INTERIOR  
 FRAMING TYPE: WOOD STUD (LOAD-BEARING)



**ASSEMBLY REQUIREMENTS:**

GYPSUM PANELS: ONE LAYER 5/8" [15.9 MM] SHEETROCK® ECOSMART GYPSUM PANEL (UL TYPE ULIX™)  
 WOOD STUDS: 2" X 4" [38 X 89 MM] WOOD STUDS, 16" [406 MM] O.C.  
 GYPSUM PANELS: ONE LAYER 5/8" [15.9 MM] SHEETROCK® ECOSMART GYPSUM PANEL (UL TYPE ULIX™)



**GENERAL WALL NOTES:**

1. REFER TO APPLICABLE CODES REQUIREMENTS TO ENSURE COMPLIANCE PRIOR TO CONSTRUCTION.
2. FOR THE MOST UP-TO-DATE DETAILS, INCLUDING CONSTRUCTION VARIATIONS, REFER TO THE PUBLISHED DESIGN.
3. WHERE DESIGN NO. INDICATES "PER", THE FIRE RATING IS BASED ON LABORATORY TEST DATA OF THE REFERENCED SIMILARLY CONSTRUCTED ASSEMBLIES.
4. STUD SIZES AND INSULATION THICKNESS ARE MINIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
5. STUD AND FASTENER SPACINGS ARE MAXIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
6. PANEL ORIENTATION SHALL BE AS SPECIFIED IN THE PUBLISHED DESIGN.
7. FIRE-RATINGS ARE FROM BOTH SIDES UNLESS OTHERWISE STATED.
8. FIRE-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, INCREASE STUD MATERIAL THICKNESS, DECREASE STUD SPACING, DECREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH.
9. WHERE ACOUSTICAL PERFORMANCE IS PROVIDED IN AN ESTIMATED RANGE, THE VALUES ARE BASED ON LABORATORY TEST DATA OF SIMILARLY CONSTRUCTED ASSEMBLIES.
10. SOUND-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, DECREASE STUD MATERIAL THICKNESS, INCREASE STUD SPACING, INCREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH. MODIFICATIONS MUST NOT EXCEED LIMITATIONS OF FIRE RATING.





**2024-COA-446 (ONS) & 2024-VHP-013**  
**1565 NORTH PARK AVENUE**





Kroger

PUBLIC



Kroger

RESERVED  
PARKING





**2025-COA-039 (LS)**  
**711 EAST VERMONT STREET**

VERMONT STREET  
( 60' right-of-way )

Temporary Fence  
North Property Line

Alum. mon. stamped  
"Firm #0001" Ind

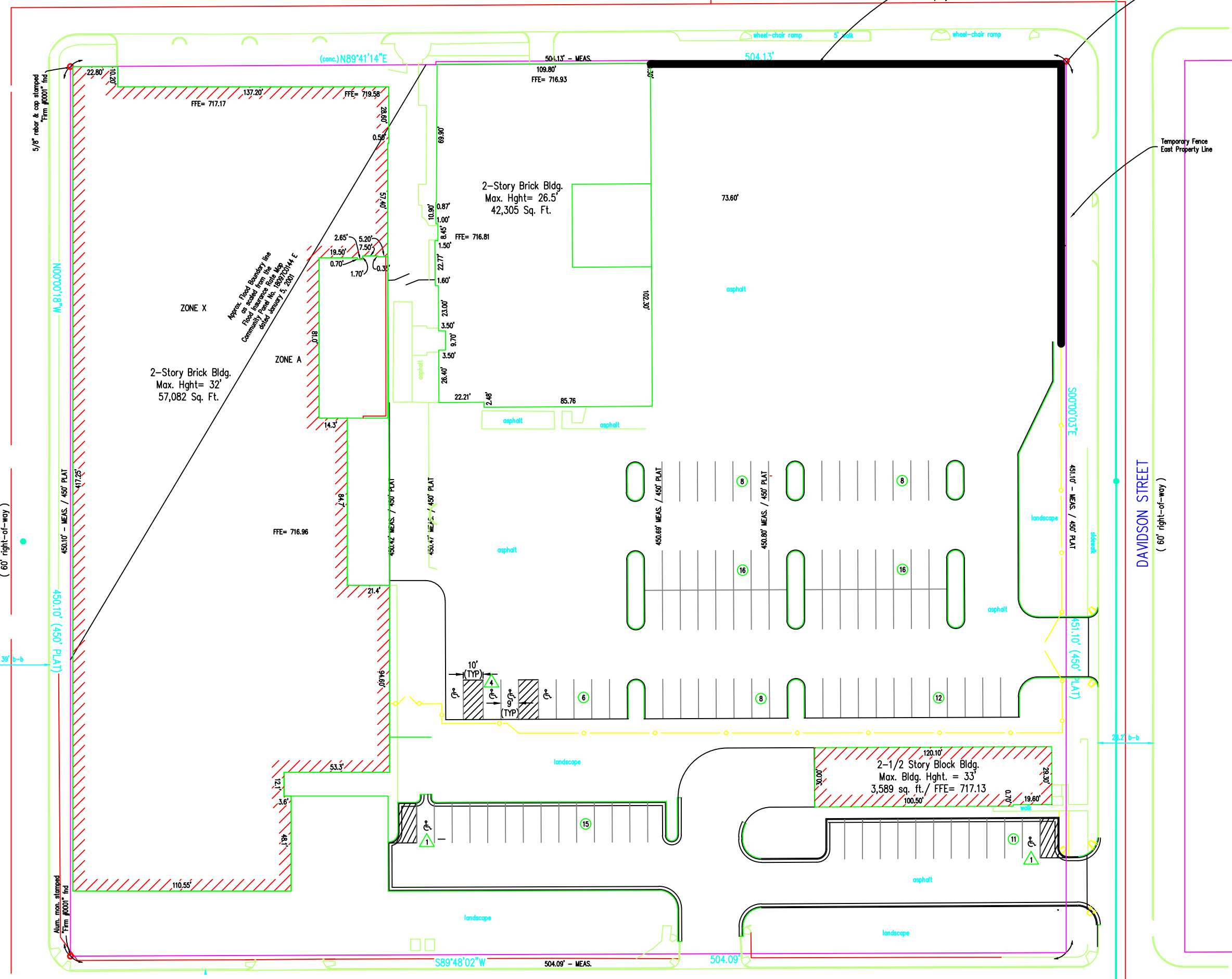
Temporary Fence  
East Property Line

5/8" rebar & cap stamped  
"Firm #0001" Ind

Alum. mon. stamped  
"Firm #0001" Ind

COLLEGE AVENUE  
( 60' right-of-way )

DAVIDSON STREET  
( 60' right-of-way )



**ALSCO**

BRANCH	INDIANAPOLIS, IN	
TITLE	SITE PLAN	
DATE	1/23/06	ENGINEER
SCALE	1" = 1'	DWG NUMBER