

**FEBRUARY 5, 2025**  
**SUBMITTALS**

**INTRODUCTION TO  
COMMON PLAN FOR  
HISTORIC PRESERVATION**

# Common Plan for Historic Preservation

A Preserve Indy Initiative



# Overview

- Introduction
  - History of Indianapolis Historic Preservation Commission
  - The benefits of Historic Preservation
  - The Designation Process
  - The Review Process
- Recommendations
- Plan Goals and Objectives
- Historic and Architectural Significance
- Architectural Standards and Guidelines



# Why this is needed

- The IHPC Includes:
  - 12 Historic Districts
  - 5 Conservation Districts
  - 15 Protected Properties (AKA Individual Properties)
- Many of these have common elements
- The Common Plan is a resource for all Historic Properties no matter the classification within the IHPC



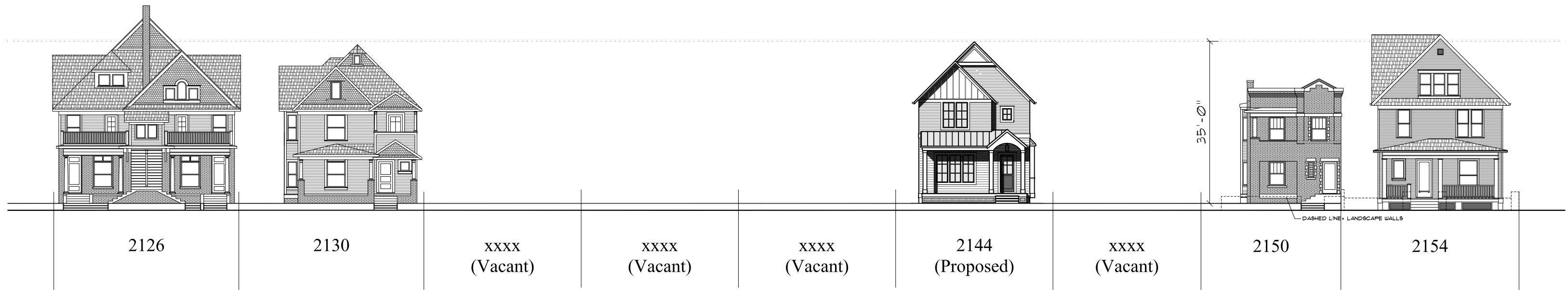
# Benefits of the Plan

- A common and user-friendly resource for residents of our districts
- Accessible and beneficial for anyone with a historic property in Indianapolis
- A tool to help educate the public on what the Indianapolis Historic Preservation Commission is and what we do



**2024-COA-453 (HMP)**

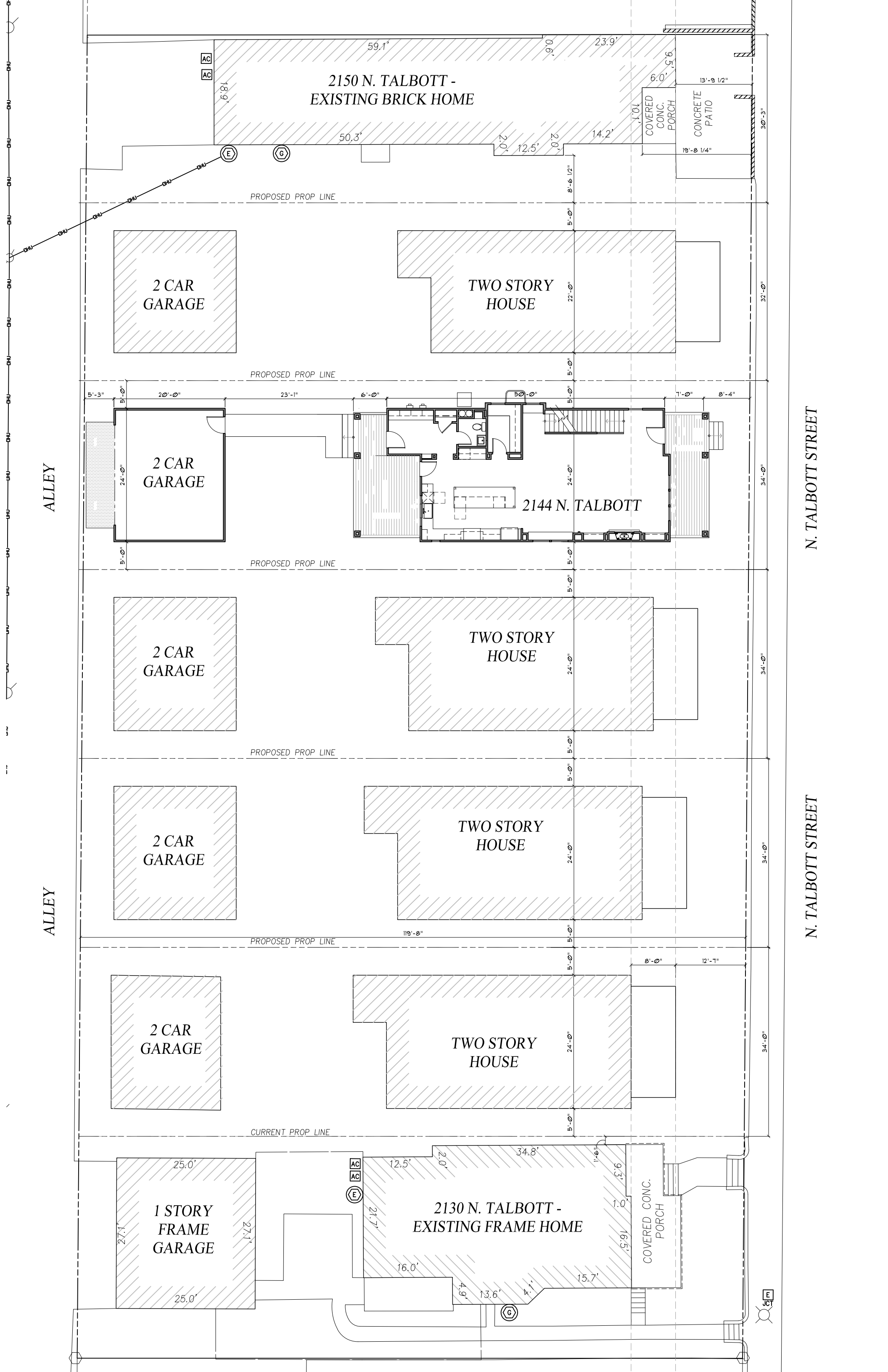
**2144 NORTH TALBOTT STREET**



# TALBOTT STREET STREETSCAPE

SCALE: NTS





2150 N. TALBOTT -  
EXISTING BRICK HOME

2 CAR  
GARAGE

TWO STORY  
HOUSE

2 CAR  
GARAGE

2144 N. TALBOTT

2 CAR  
GARAGE

TWO STORY  
HOUSE

2 CAR  
GARAGE

TWO STORY  
HOUSE

2 CAR  
GARAGE

TWO STORY  
HOUSE

1 STORY  
FRAME  
GARAGE

2130 N. TALBOTT -  
EXISTING FRAME HOME

COVERED CONC.  
PORCH

ALLEY

ALLEY

N. TALBOTT STREET

N. TALBOTT STREET

AC  
AC

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G

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PROPOSED PROP LINE

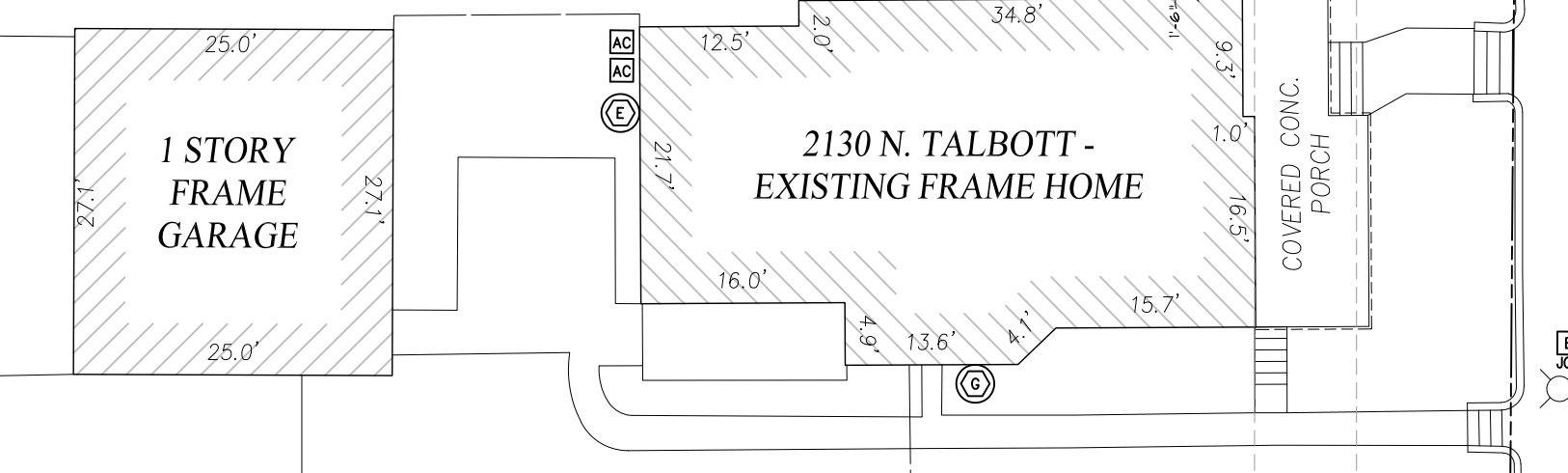
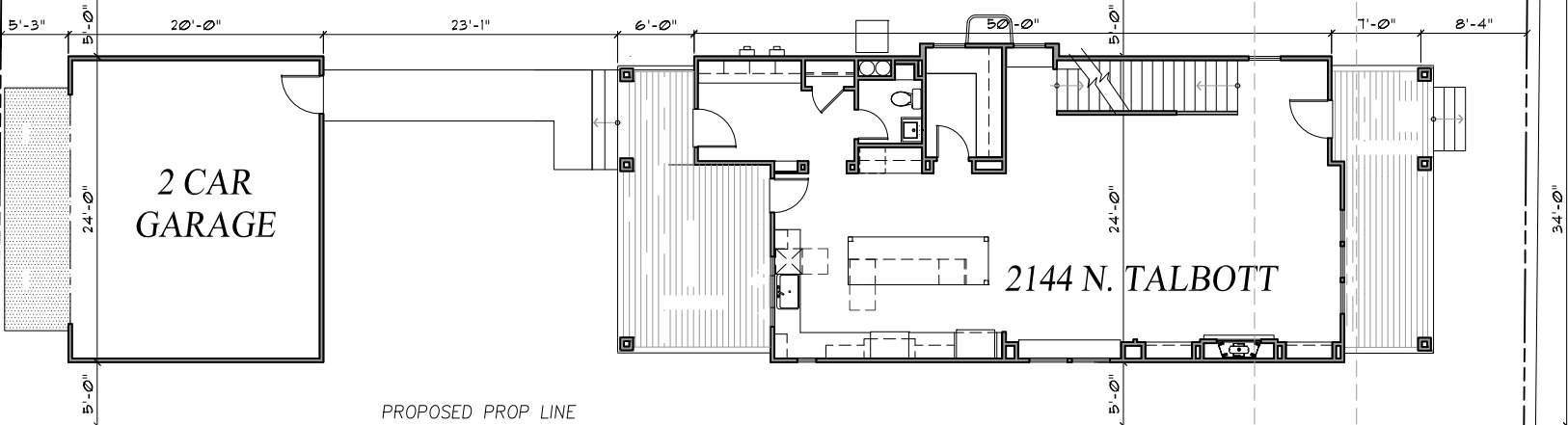
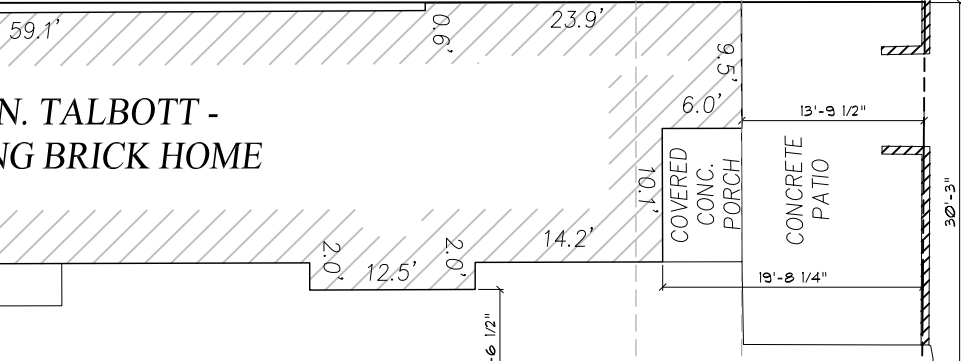
PROPOSED PROP LINE

PROPOSED PROP LINE

PROPOSED PROP LINE

PROPOSED PROP LINE

CURRENT PROP LINE

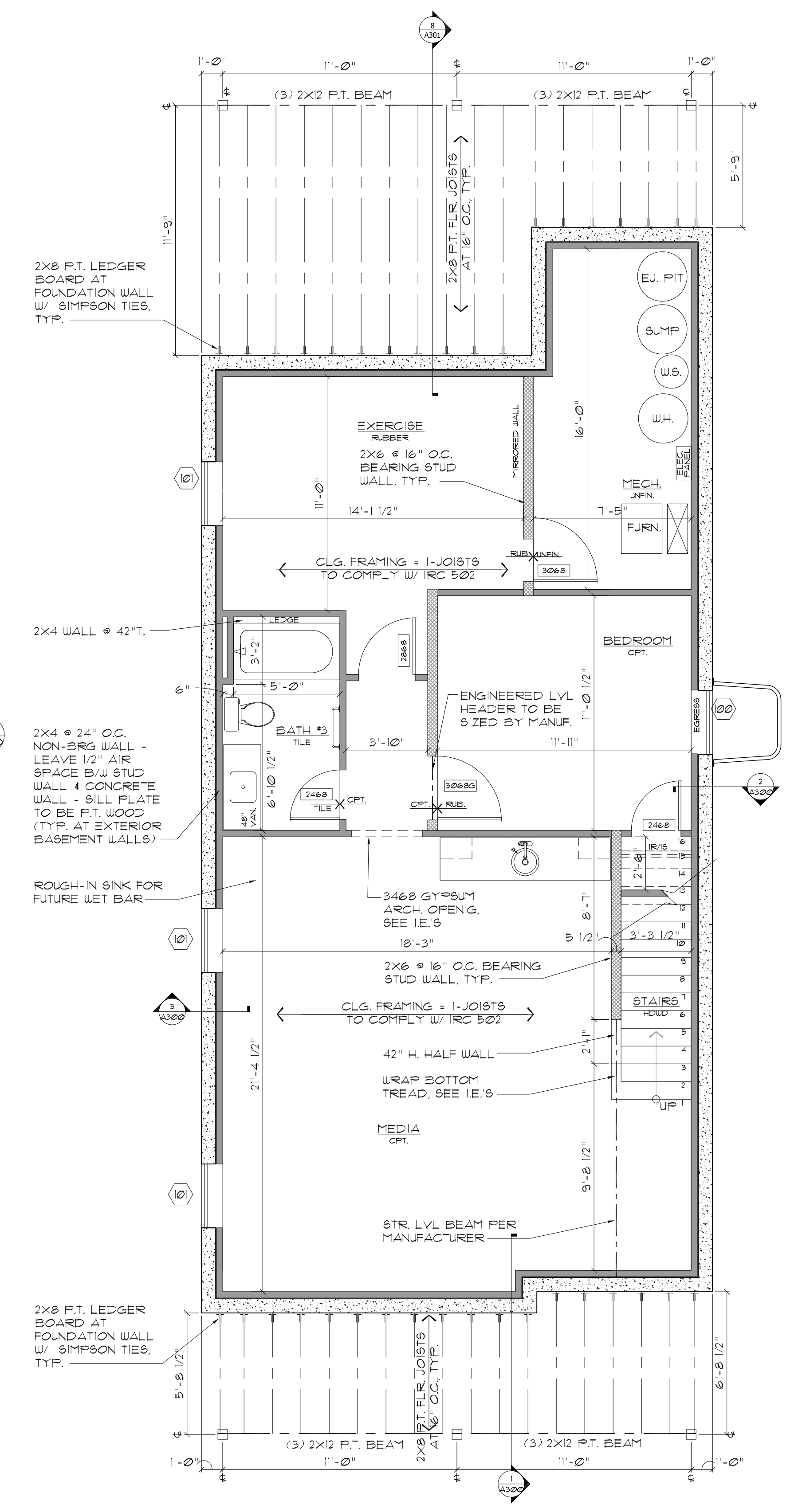
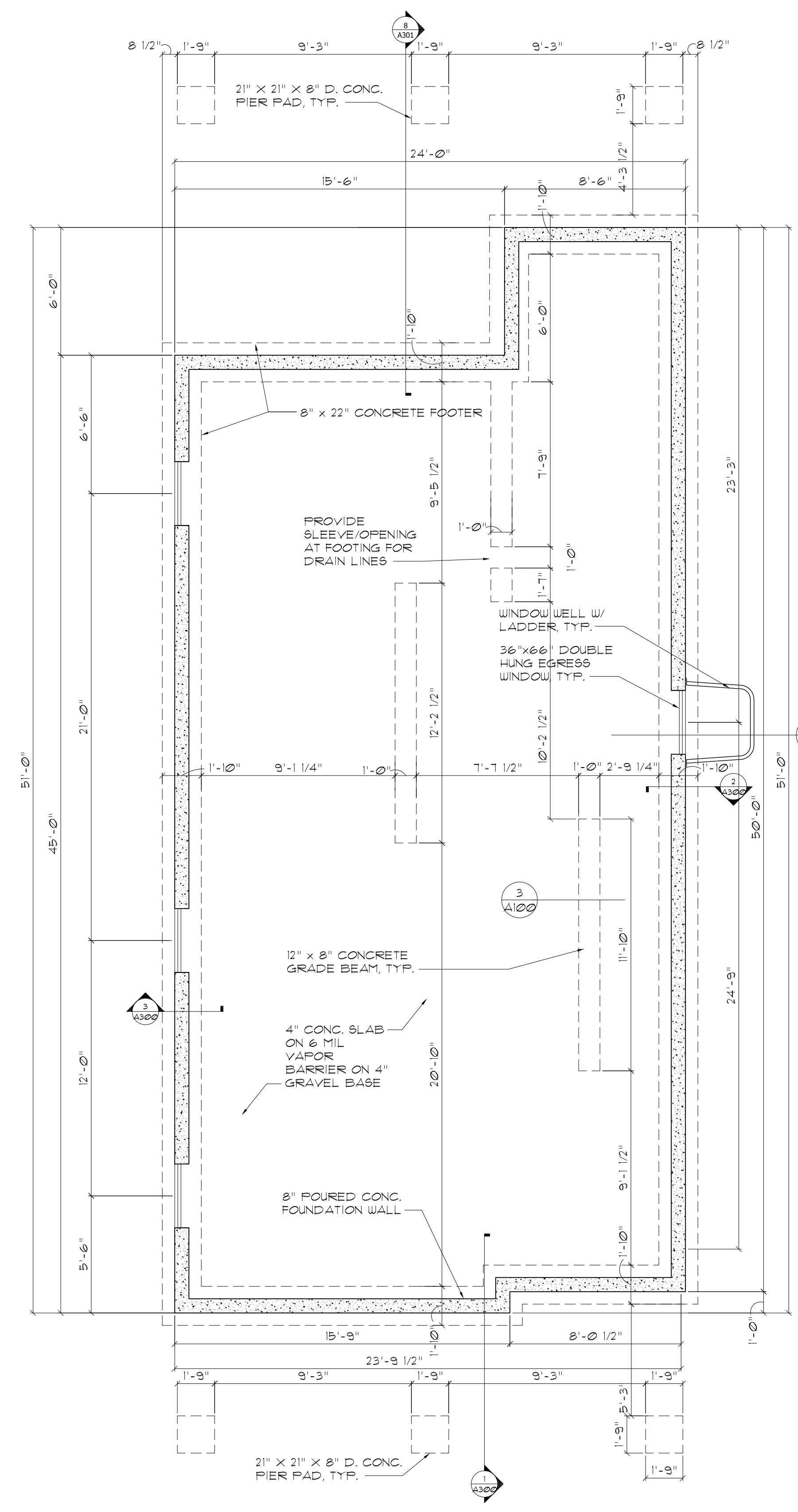
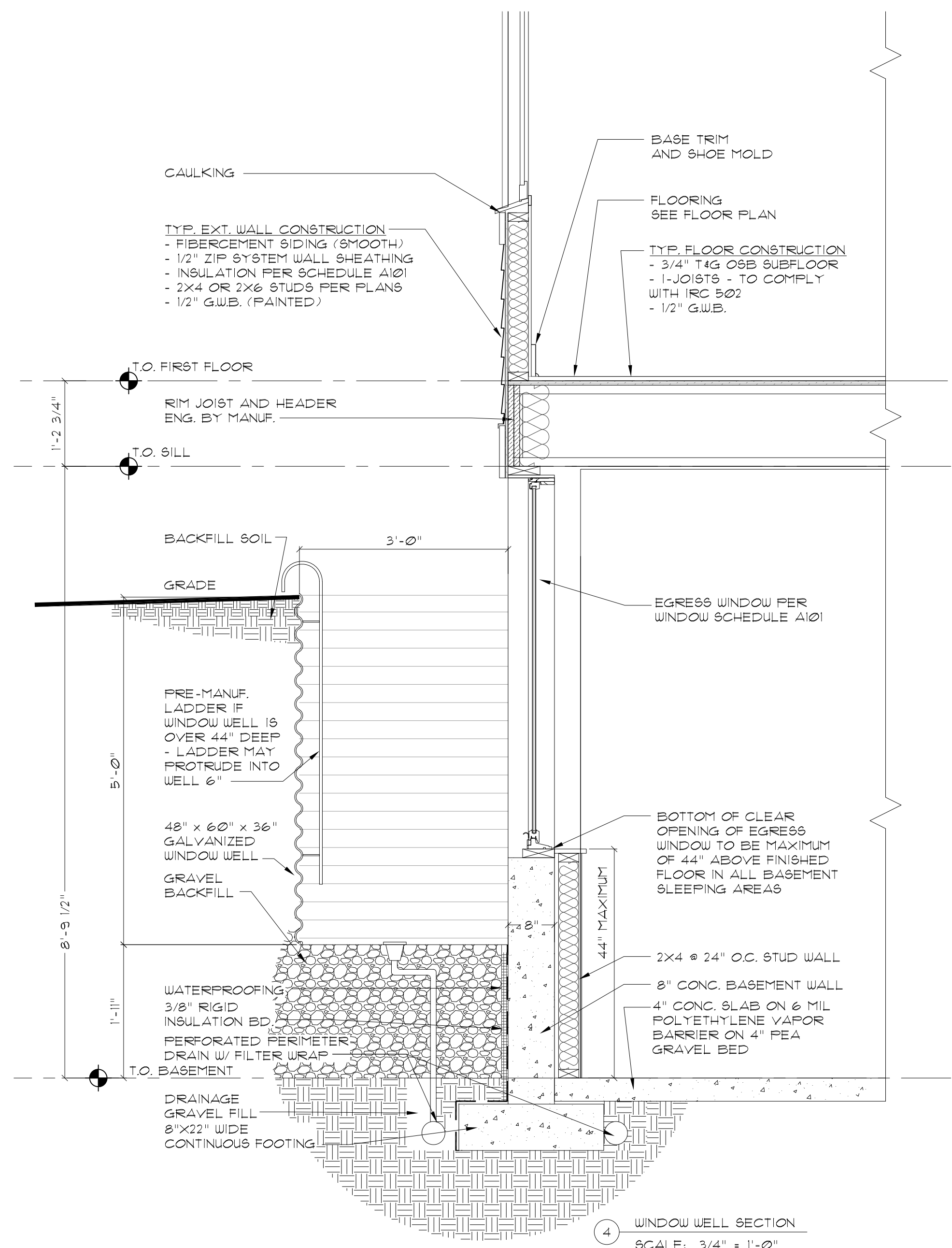
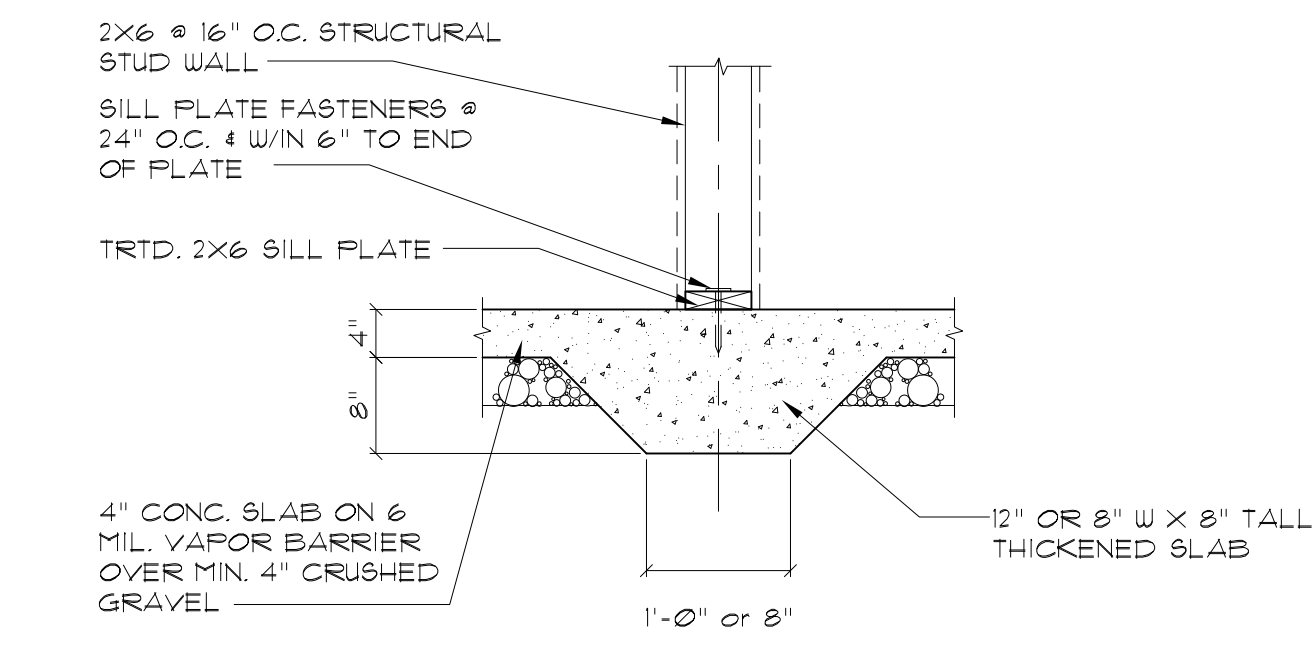


**FOUNDATION LEGEND**

PARTIAL HEIGHT CONCRETE	
FULL HEIGHT CONCRETE	
FOOTING/ TRENCH FOOTING	
BRICK VENEER	

**KEY**

	LOAD BEARING WALL (2X6 @ 16" O.C.)
	NON-LOAD BEARING WALL



1 2144 TALBOTT STREET FOUNDATION PLAN SCALE: 1/4" = 1'-0" N

2 2144 TALBOTT STREET BASEMENT FLOOR PLAN SCALE: 1/4" = 1'-0" N  
SQUARE FOOTAGE: 1123 SF (MEASURED TO EXTERIOR OF WALL)

**GENERAL PLAN NOTES**

WHERE DISCREPANCIES EXIST BETWEEN THE STANDARD COMMENTS, NOTES FROM THE DESIGN PROFESSIONAL OR THE CODE, THE MOST RESTRICTIVE SHALL APPLY. ALL CONSTRUCTION SHALL COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) AND THE 2020 INDIANA AMENDMENTS.

- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED. ALL WALLS ARE 2x4 @ 16" O.C. UNLESS NOTED OTHERWISE.
- LAY OUT ROOF FLOOR JOISTS TO ELIMINATE CONFLICTS WITH PLUMBING STACKS, TOILET PLUMBING AND FURNACE FLENUMS. MAXIMUM SPACING SHALL BE TO CODE.
- ALL 2x4 BEARING WALL STUDS SHALL BE SPACED A MAXIMUM OF 16" O.C. W/ DOUBLE TOP PLATE. ALL 2x6 BEARING WALL STUDS SHALL BE SPACED A MAXIMUM OF 16" O.C. W/ DOUBLE TOP PLATE. PROVIDE MIN. 3 STUDS @ EACH BEARING POINT. TYPICAL NON-BEARING WALL CONSTRUCTION SHALL BE 2x4 WALLS @ 16" O.C. W/ HEADER MIN. 2x4x4 PROVIDE BLOCKING @ CEILING LINE FOR PROPER DRYWALL ATTACHMENT.
- CEILING AND WALL HEIGHTS VARY AS NOTED IN SECTION.
- FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. SEE SECTION 602.2 OF THE 2018 IRC.
- SEAL ALL PENETRATIONS AND OPENINGS IN FLOORS AND WALLS TO MINIMIZE THE TRANSFER OF DRAFTS AND MOISTURE. SHEATHING PENETRATION SHALL BE PATCHED AND REPAIRED TO MANUF. SPECS.
- SLOPE ALL CONC. STAIRS, PORCHES, WALKS AND GARAGE SLABS 1/8" IN 12" TO DRAIN OR AS NOTED ON PLANS.
- ALL DESIGNS FOR MANUFACTURED FLOOR JOISTS, RAFTERS AND TRUSSES SHALL BE CERTIFIED BY THE MANUFACTURER. INSTALLATION OF SUCH ITEMS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SHOP DRAWINGS AND RECOMMENDATIONS.
- CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF CODES NOTED ON COVER SHEET, ALL LOCAL CODES AND AMENDMENTS, AND FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS.

**INSULATION NOTES**

- BASEMENT:**
- 2x4 STUD WALLS @ 24" O.C. -- R-13 UNFACED BATT INSULATION
- FIRST AND SECOND FLOORS:**
- 2x4 @ 16" O.C. EXTERIOR WALLS -- R-15 BLOWN IN INSULATION
- ATTIC:**
- R-50 BLOWN-IN INSULATION IN VENTED ROOF
- CATHEDRAL CEILING:**
- R-50 BATT INSULATION WITH BAFFLES IN VENTED ROOF
- BAND JOISTS:**
- R-19 UNFACED BATTS OR SPRAY FOAM PER HOMEOWNER
- POLY CELL CAN SPRAY FOAM INSULATION ALL WINDOWS, DOORS, ELECTRICAL BOXES, FRAMING GAPS

**STRUCTURAL NOTES**

- HEADERS IN BEARING WALLS**
- ALL HEADERS ABOVE CLEAR OPENINGS IN STRUCTURAL WALLS TO BE DESIGNED BY MANUFACTURER
  - IN SOME INSTANCES, THE HEADER WILL NEED TO BE IN THE FLOOR SYSTEM ABOVE. SEE 3/A300 FOR WALL SECTION DETAILS.
  - WINDOW HEAD HT. IS HIGHER THAN STANDARD UNLESS OTHERWISE NOTED BY MANUF.
- HEADERS IN NON-BEARING WALLS**
- NOT REQUIRED UNLESS OTHERWISE NOTED

FLOOR	CROWN	CASING	BASE
BASEMENT	N/A	1x4 MDF	1x6 MDF
FIRST	N/A	1x4 MDF	1x8 MDF
SECOND	N/A	1x4 MDF	1x6 MDF

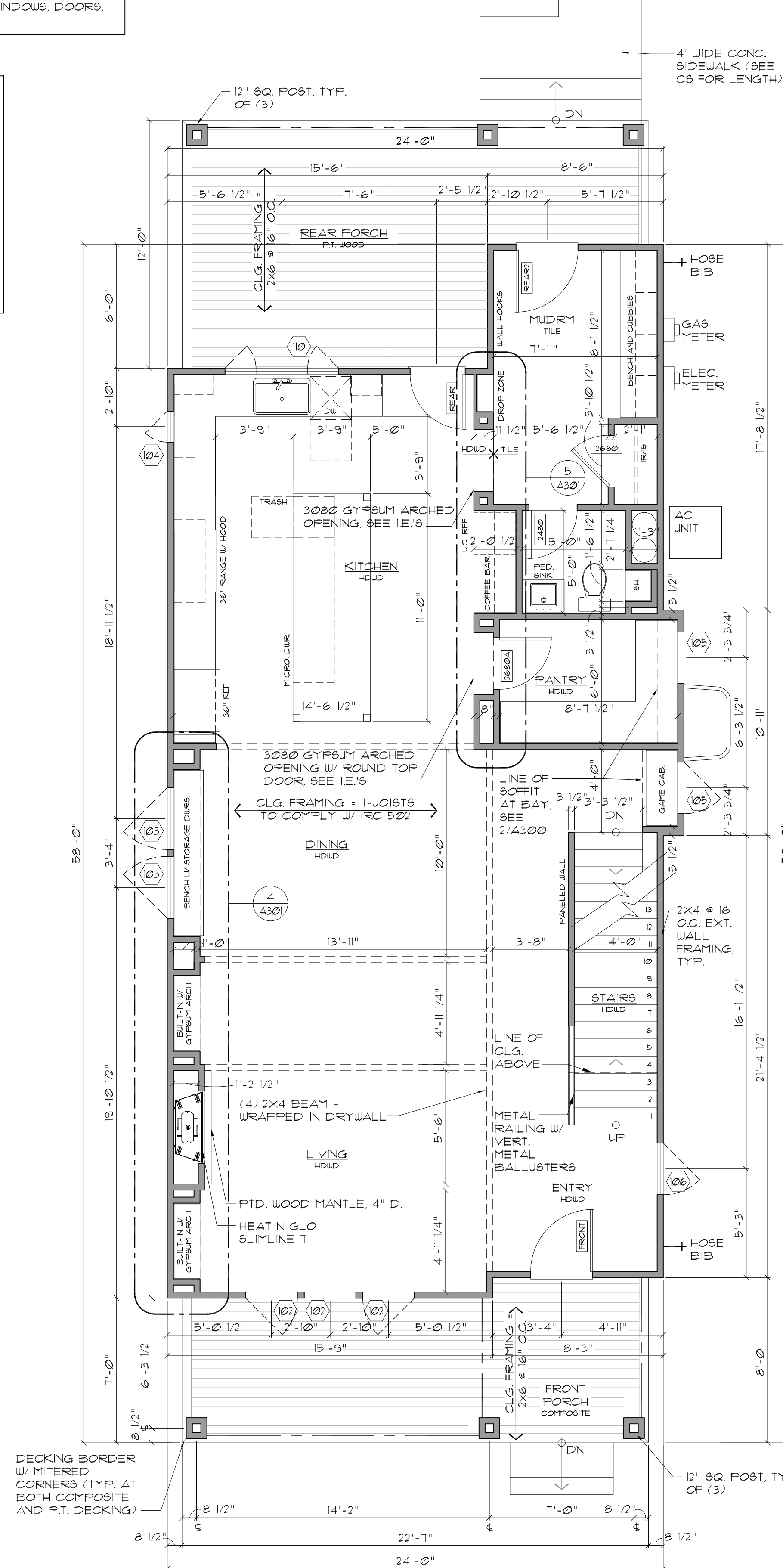
REFER TO INTERIOR ELEVATIONS FOR TRIM DETAILS

WINDOW NUMBER	TYPE	ACTUAL SIZE		ROUGH OPENING		EGRESS	QTY.
		WIDTH	X HEIGHT	WIDTH	X HEIGHT		
100	DOUBLE HUNG	3'-0"	X 5'-6"			YES	1
101	FIXED	3'-0"	X 1'-6"			NO	3
102	FIXED/CASEMENT (SEE ELEVS FOR OPERATION)	2'-6"	X 6'-0"			NO	3
103	CASEMENT	3'-0"	X 6'-0"			YES	4
104	CASEMENT	1'-6"	X 4'-0"			NO	1
105	FIXED/CASEMENT (SEE ELEVS FOR OPERATION)	2'-6"	X 4'-6"			NO	2
106	CASEMENT	2'-6"	X 5'-0"			YES	4
107	CASEMENT	2'-6"	X 5'-6"			YES	2
108	AWNING	2'-0"	X 3'-0"			NO	2
109	AWNING	2'-0"	X 2'-6"			NO	1
110	CSMT/FIXED/CSMT (SEE ELEVS FOR OPERATION)	1'-6" 2'-6" 1'-6"	X X X 4'-0" 4'-0" 4'-0"	5'-6"	X X X 4'-0"	NO	1

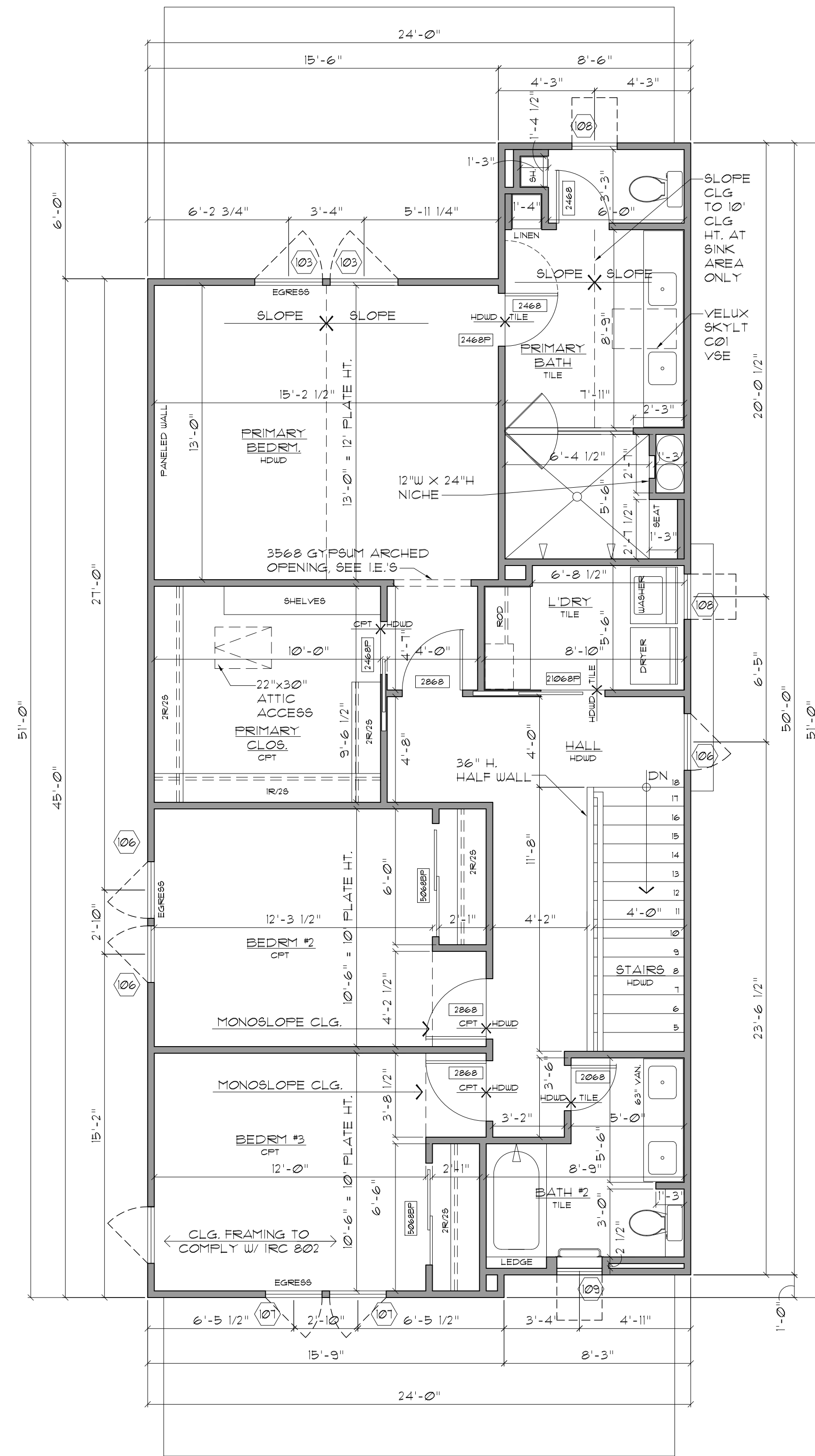
- NOTES:**
- ALL WINDOWS TO BE ANDERSEN 100 SERIES. COLOR SELECTION BY OWNER.
  - TEMPERED GLASS AS REQUIRED BY CODE.
  - MUNTIN PATTERN PER ELEVATIONS. MUNTINS TO BE S.D. W/ SPACER BAR B/W GLASS.
  - WINDOW SIZES ARE GENERIC FOR BID SET.
  - FIXED OR CASEMENT WINDOWS MARKED PER PLANS AND ELEVATIONS.

DOOR TAG	SIZE	TYPE	LOCKSET	REMARKS	QTY.
FRONT	3'-0"x8'-0"x1 3/4"	WOOD, PRE-HUNG	PRIVACY 4 DEADBOLT 4 JAMB ARMOR	PRE-HUNG UNIT W/ ADJ. THRES. WEATHER STRIP, JAMB SAVERS	1
REAR1	2'-8"x8'-0"x1 3/4"	FIBERGLASS, PRE-HUNG	PRIVACY 4 DEADBOLT 4 JAMB ARMOR	PRE-HUNG UNIT W/ ADJ. THRES. WEATHER STRIP, JAMB SAVERS	1
REAR2	3'-0"x8'-0"x1 3/4"	FIBERGLASS, PRE-HUNG	PRIVACY 4 DEADBOLT 4 JAMB ARMOR	PRE-HUNG UNIT W/ ADJ. THRES. WEATHER STRIP, JAMB SAVERS	1
248B	2'-4"x8'-0"x1 3/8"	MASONITE, PRE-HUNG	PRIV. OR P&G FER PLANS	MDF 4 PANEL TRADITIONAL (VERT.) SQUARE SMOOTH	1
268B	2'-6"x8'-0"x1 3/8"	MASONITE, PRE-HUNG	PRIV. OR P&G FER PLANS	MDF 4 PANEL TRADITIONAL (VERT.) SQUARE SMOOTH	1
268B-A	2'-6"x8'-0"x1 3/8"	MASONITE, PRE-HUNG	PRIV. OR P&G FER PLANS	MDF 4 PANEL TRADITIONAL (VERT.) SQUARE SMOOTH	1
206B	2'-0"x6'-8"x1 3/8"	MASONITE, PRE-HUNG	PRIV. OR P&G FER PLANS	MDF 4 PANEL TRADITIONAL (VERT.) SQUARE SMOOTH	1
246B	2'-4"x6'-8"x1 3/8"	MASONITE, PRE-HUNG	PRIV. OR P&G FER PLANS	MDF 4 PANEL TRADITIONAL (VERT.) SQUARE SMOOTH	3
246B-P	2'-4"x6'-8"x1 3/8"	MASONITE, POCKET	PRIV. OR P&G FER PLANS	MDF 4 PANEL TRADITIONAL (VERT.) SQUARE SMOOTH	2
286B	2'-8"x6'-8"x1 3/8"	MASONITE, PRE-HUNG	PRIV. OR P&G FER PLANS	MDF 4 PANEL TRADITIONAL (VERT.) SQUARE SMOOTH	4
2106B-P	2'-10"x6'-8"x1 3/8"	MASONITE, POCKET	PRIV. OR P&G FER PLANS	MDF 4 PANEL TRADITIONAL (VERT.) SQUARE SMOOTH	1
306B	3'-0"x6'-8"x1 3/8"	MASONITE, PRE-HUNG	PRIV. OR P&G FER PLANS	MDF 4 PANEL TRADITIONAL (VERT.) SQUARE SMOOTH	1
306B-G	3'-0"x6'-8"x1 3/8"	MASONITE, PRE-HUNG GLASS	PRIV. OR P&G FER PLANS	MDF FRENCH DOOR SQUARE SMOOTH W/ 2/4 DIVIDED LITE GLASS PANEL	1
406B-P	(2) 2'-0"x6'-8"x1 3/8"	MASONITE, PRE-HUNG BYPASS	PRIV. OR P&G FER PLANS	MDF 4 PANEL TRADITIONAL (VERT.) SQUARE SMOOTH	1
506B-P	(2) 2'-6"x6'-8"x1 3/8"	MASONITE, BYPASS	PRIV. OR P&G FER PLANS	MDF 4 PANEL TRADITIONAL (VERT.) SQUARE SMOOTH	2

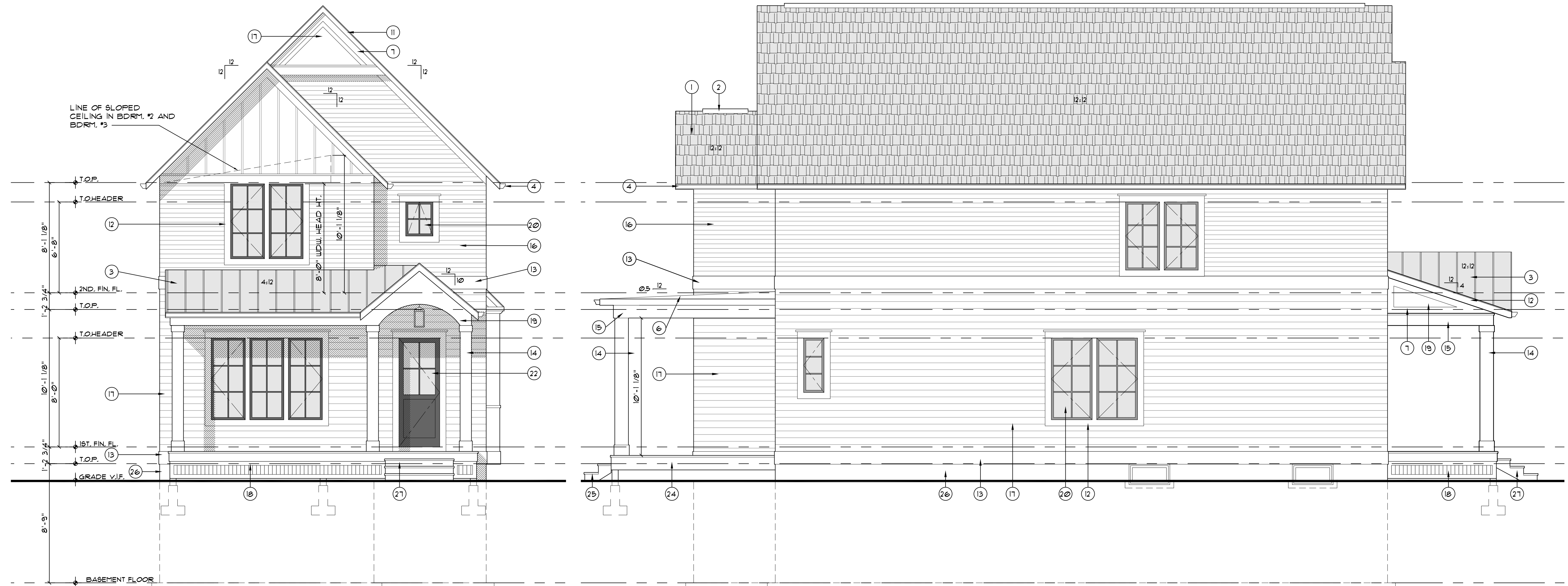
- NOTES:**
- BASEMENT AND SECOND FLOOR DOOR HEIGHT = 6'-8"
  - FIRST FLOOR DOOR HEIGHT = 8'-0"
  - ALL BEDROOM AND BATHROOM LOCKSETS TO BE PRIVACY. ALL OTHERS TO BE PASSAGE. EXTERIOR DOOR LOCKSETS PER HOMEOWNER SPECIFICATIONS.
  - POCKET DOORS MARKED PER PLANS.



① 2144 TALBOTT STREET  
SCALE: 1/4" = 1'-0"  
FIRST FLOOR PLAN  
SQUARE FOOTAGE: 1134 SF  
(MEASURED TO EXTERIOR OF WALL)



② 2144 TALBOTT STREET  
SCALE: 1/4" = 1'-0"  
SECOND FLOOR PLAN  
SQUARE FOOTAGE: 1123 SF  
(MEASURED TO EXTERIOR OF WALL)

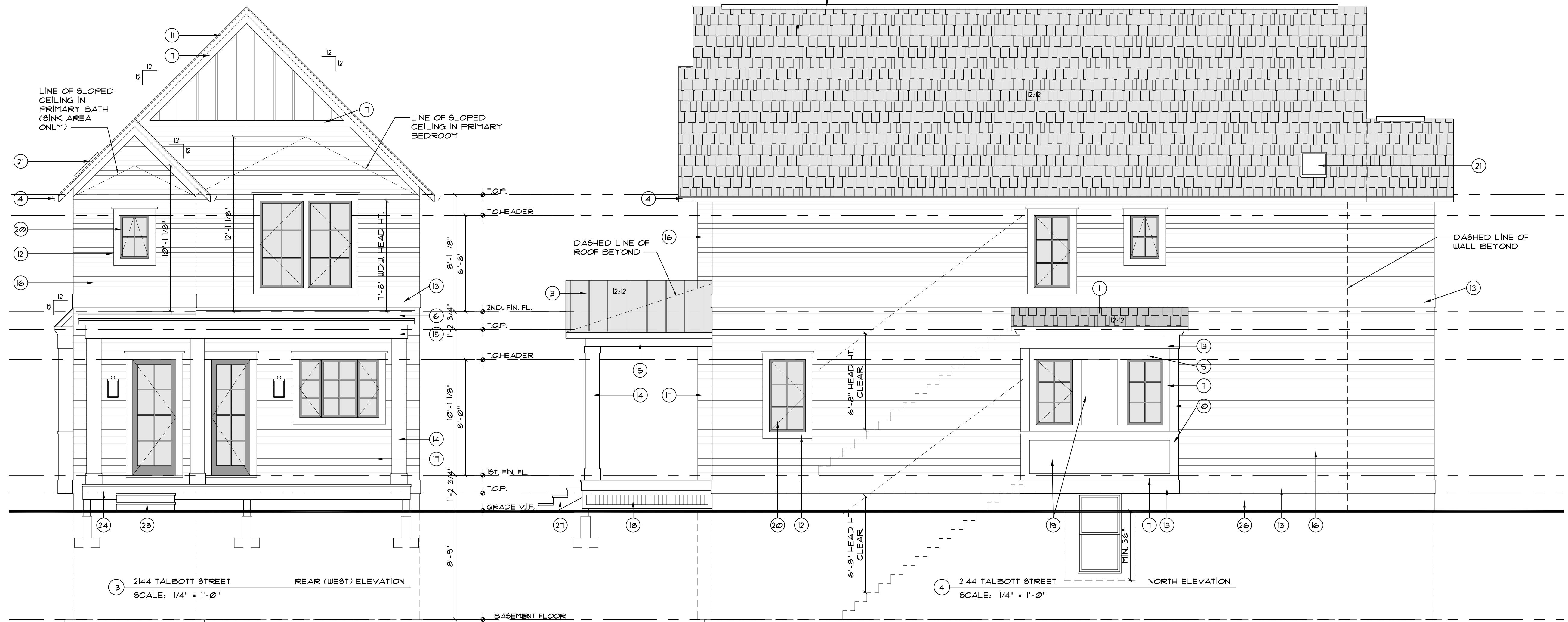


1 2144 TALBOTT STREET  
SCALE: 1/4" = 1'-0"

2 2144 TALBOTT STREET  
SCALE: 1/4" = 1'-0"

**EXTERIOR MATERIALS KEY**

- 1 3-DIMENSIONAL FIBERGLASS ROOF SHINGLES
- 2 RIDGE VENT
- 3 STANDING SEAM METAL ROOF
- 4 ALUMINUM GUTTER
- 5 ALUMINUM DOWNSPOUT
- 6 EPDM ROOFING
- 7 1X6 SMARTSIDE TRIM BOARD (SMOOTH)
- 8 1X8 SMARTSIDE TRIM BOARD (SMOOTH)
- 9 1X12 SMARTSIDE TRIM BOARD (SMOOTH)
- 10 5/4X SMARTSIDE TRIM BOARD (SMOOTH)- CUT TO SIZE
- 11 5/4X4 SMARTSIDE TRIM BOARD (SMOOTH)
- 12 5/4X6 SMARTSIDE TRIM BOARD (SMOOTH)
- 13 5/4X12 SMARTSIDE TRIM BOARD (SMOOTH)
- 14 10" SQ. FRAME BUILT COLUMN, WRAPPED IN TRIM W/ 1X6 TRIM CAP AND 1X10 BASE TRIM - FINISH TBD
- 15 NOT USED
- 16 FIBERCEMENT BOARD SIDING, 4" EXPOSURE (SMOOTH) - METAL CAPS @ CORNERS
- 17 FIBERCEMENT BOARD 4 BATTEN SIDING, 6" O.C. (SMOOTH) - METAL CAPS @ CORNERS
- 18 FRONT PORCH SKIRTBOARD, PAINTED; 2X8 SMARTSIDE TRIM (SMOOTH), 5/4X4 SMARTSIDE TRIM W/ 1X4 SKIRT AND 1/4" GAP BETWEEN BOARDS
- 19 FIBERCEMENT BOARD PANEL (SMOOTH)
- 20 ANDERSEN 100 SERIES WINDOWS
- 21 VELUX SKYLIGHT C01 VSE
- 22 STAIN GRADE EXTERIOR DOOR
- 23 NOT USED
- 24 P.T. WOOD DECKING, STAINED
- 25 P.T. WOOD STEPS, STAINED
- 26 CONCRETE FOUNDATION
- 27 COMPOSITE DECKING TREADS W/ PAINTED RISERS (FRONT STEPS)

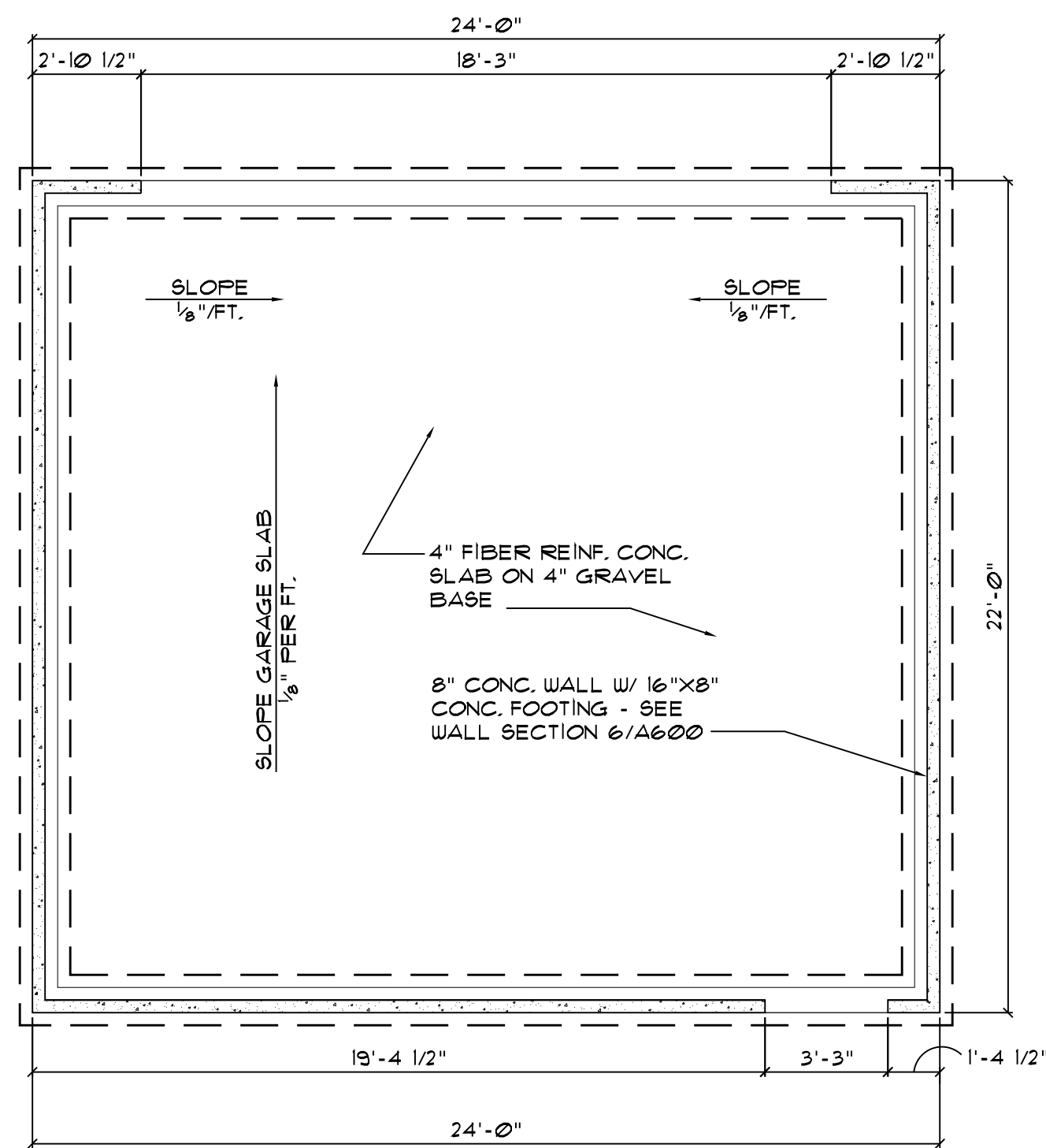


3 2144 TALBOTT STREET  
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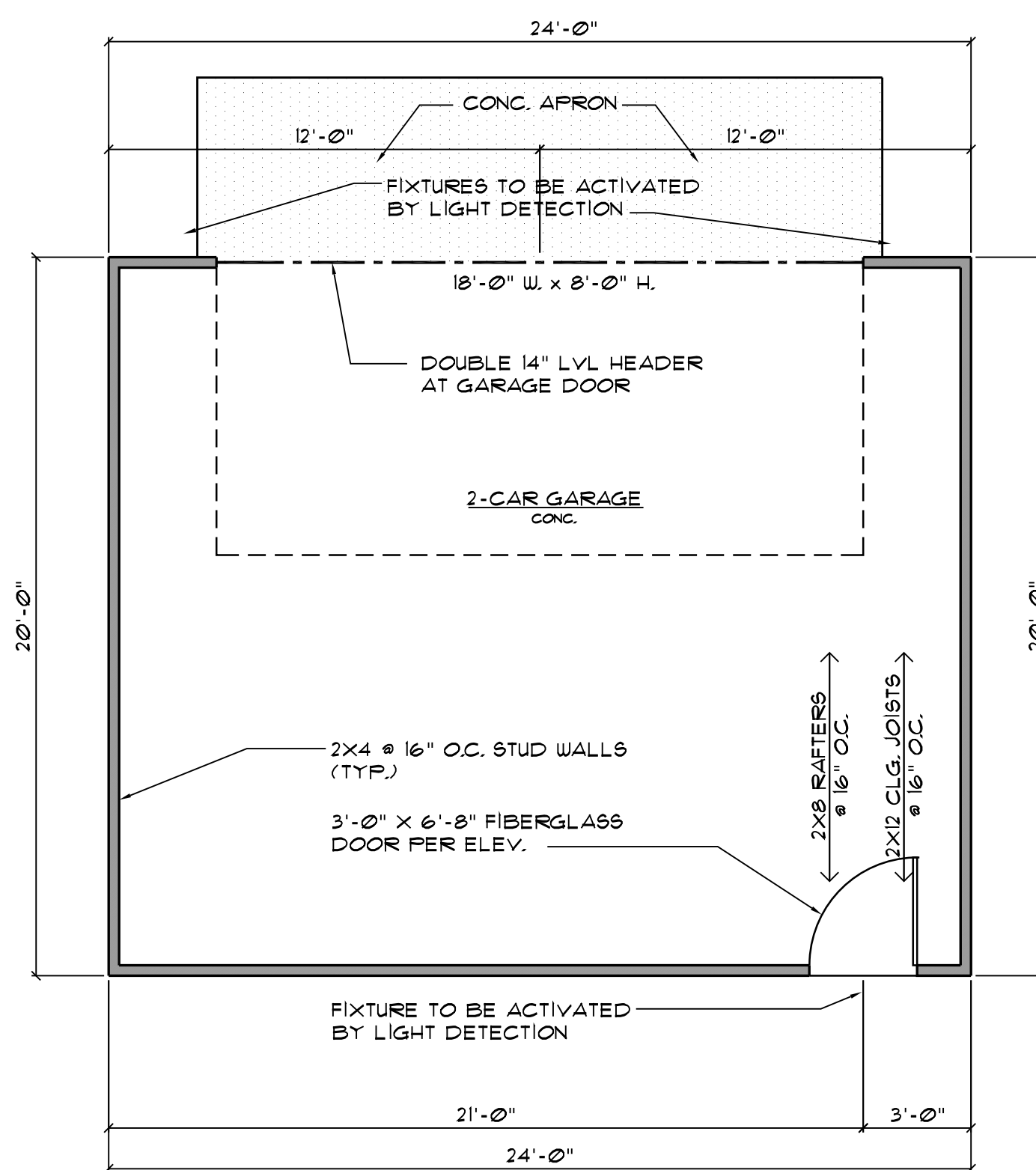
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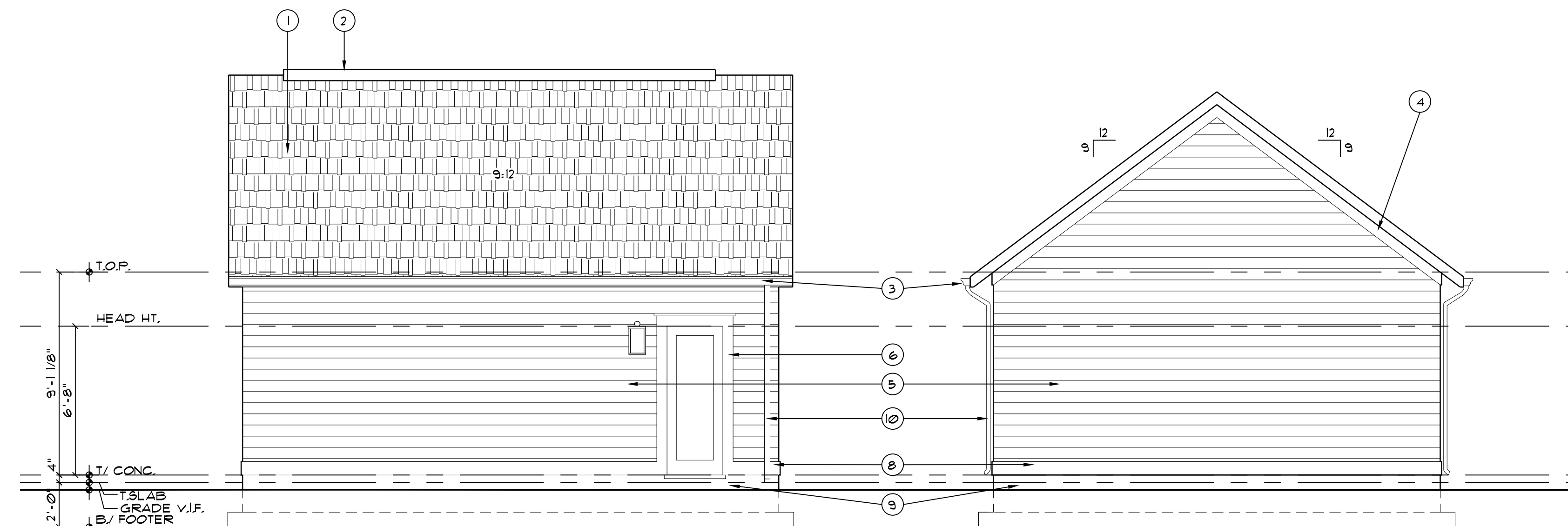
- 1 3-DIM. FIBERGLASS ROOF SHINGLES
- 2 RIDGE VENT
- 3 ALUMINUM GUTTER ON 1x6 SMARTSIDE TRIM (SMOOTH)
- 4 5/4x6 SMARTSIDE RAKE BD. ABOVE 1x6 SMARTSIDE SUB-RAKE BD. (SMOOTH)
- 5 FIBERCEMENT BOARD SIDING - 8" EXPOSURE (SMOOTH) - METAL CAPS @ CORNERS
- 6 5/4x6 SMARTSIDE TRIM BD. (SMOOTH)
- 7 OVERHEAD GARAGE DOOR
- 8 5/4x8 SMARTSIDE BAND BD. (SMOOTH)
- 9 CONCRETE FOUNDATION
- 10 DOWNSPOUTS



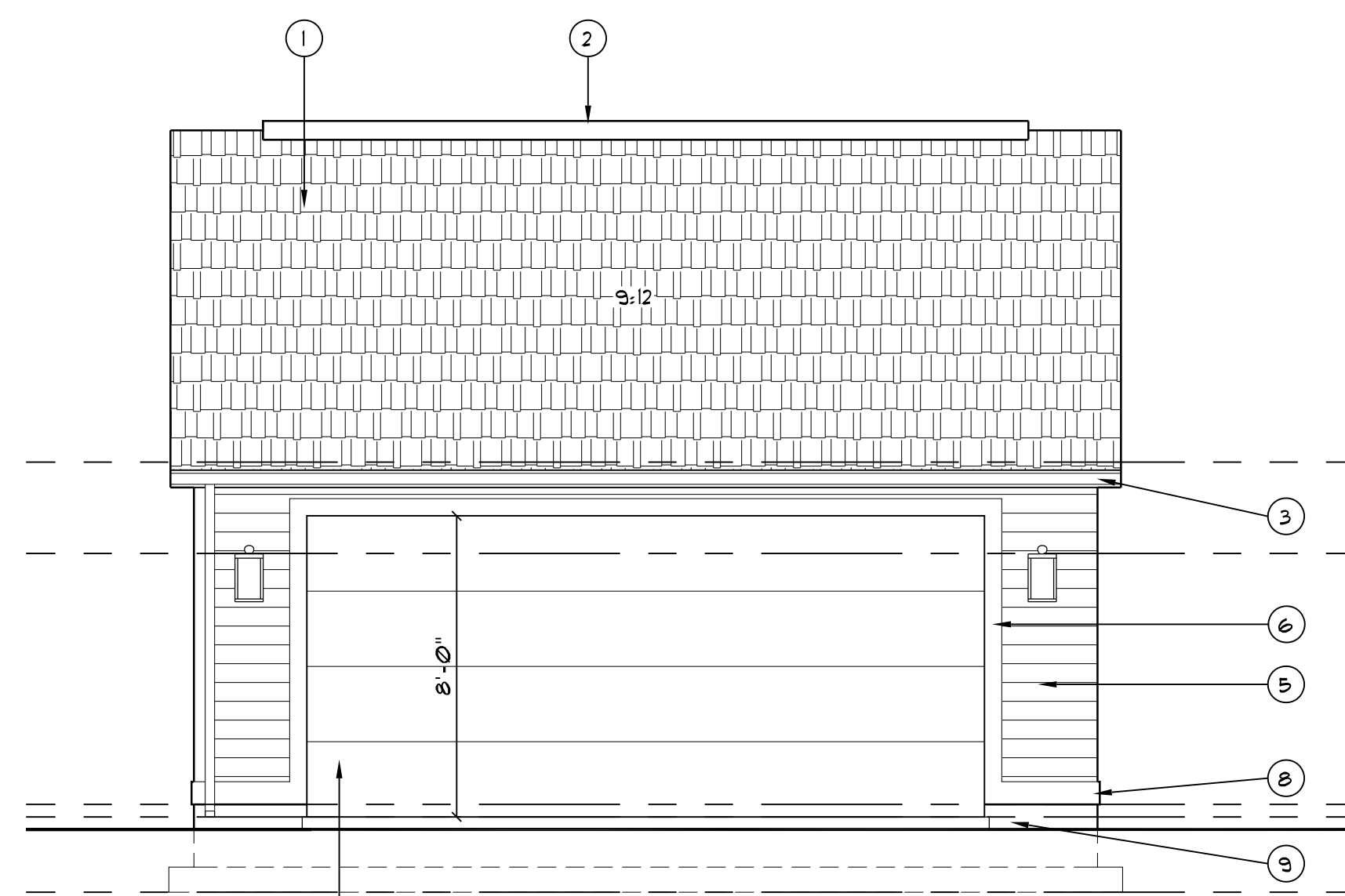
1 2-CAR GARAGE FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



2 2-CAR GARAGE FLOOR PLAN  
SCALE: 1/4" = 1'-0" 484 SQUARE FEET

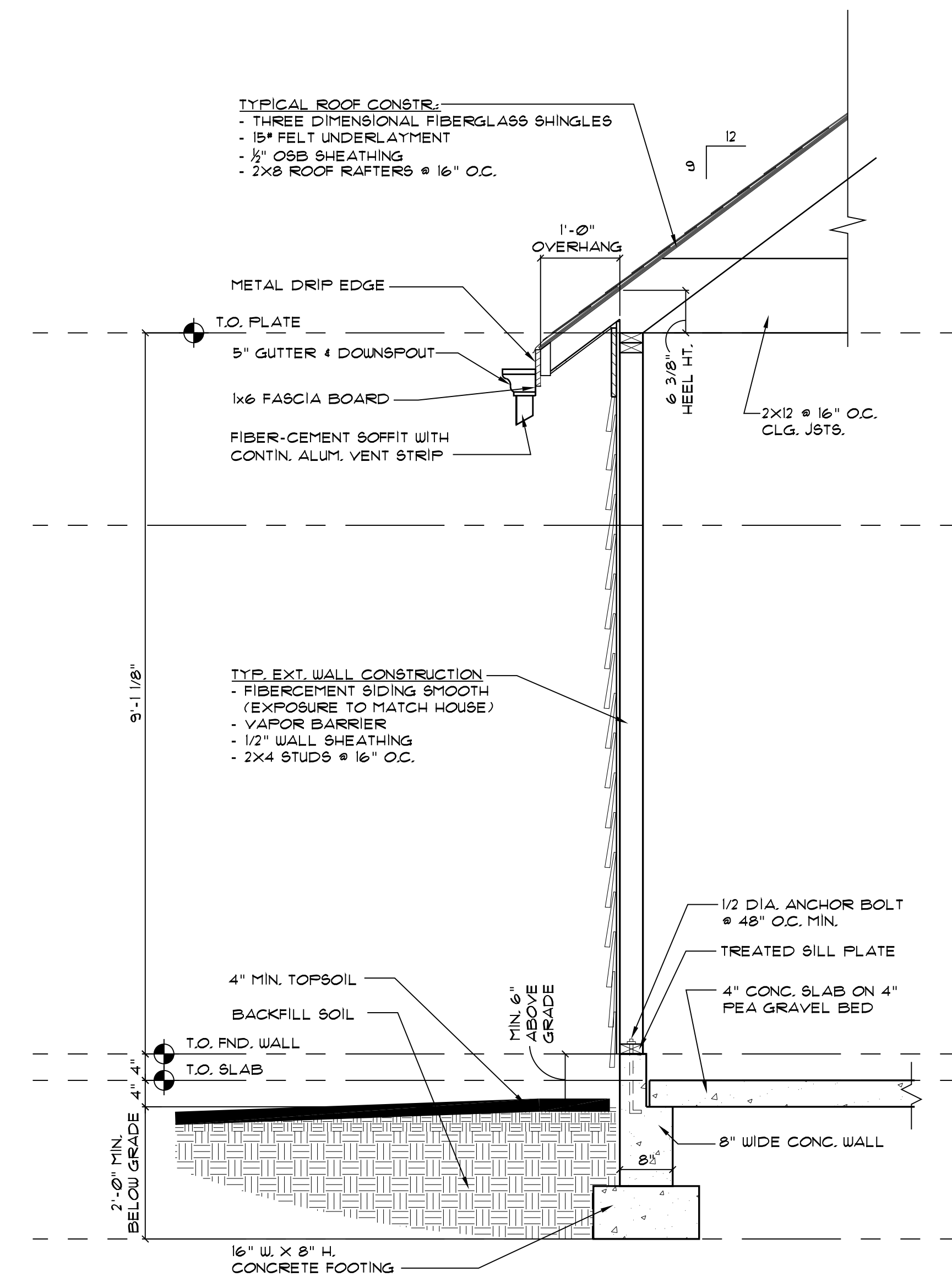


3 EAST ELEVATION SCALE: 1/4" = 1'-0"  
4 NORTH AND SOUTH ELEVATION SCALE: 1/4" = 1'-0"



5 WEST ELEVATION SCALE: 1/4" = 1'-0"

TYPICAL ROOF CONSTR.  
- THREE DIMENSIONAL FIBERGLASS SHINGLES  
- 15" FELT UNDERLAYMENT  
- 1/2" OSB SHEATHING  
- 2x8 ROOF RAFTERS @ 16" O.C.



6 WALL SECTION @ GARAGE SCALE: 3/4" = 1'-0"

GENERAL PLAN NOTES

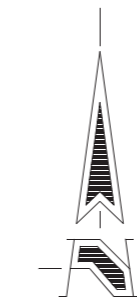
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1. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED. ALL EXTERIOR WALLS ARE 2x4 @ 16" O.C.
2. ALL 2x4 BEARING WALL STUDS SHALL BE SPACED A MAXIMUM OF 16" O.C. W/ DOUBLE TOP PLATE. ALL 2x6 BEARING WALL STUDS SHALL BE SPACED A MAXIMUM OF 24" O.C. W/ DOUBLE TOP PLATE. PROVIDE MIN. 3 STUDS @ EACH BEARING POINT. TYPICAL NON-BEARING WALL CONSTRUCTION SHALL BE 2x4 WALLS @ 16" O.C. W/ HEADER MIN. 2-2x4. PROVIDE BLOCKING @ CEILING LINE FOR PROPER DRYWALL ATTACHMENT.
3. SEAL ALL PENETRATIONS AND OPENINGS IN FLOORS AND WALLS TO MINIMIZE THE TRANSFER OF DRAFTS AND MOISTURE. SHEATHING PENETRATION SHALL BE PATCHED AND REPAIRED TO MANUF. SPECS.
4. SLOPE ALL CONC. STOOPS, PORCHES, WALKS AND GARAGE SLABS 1/8" IN 12" TO DRAIN OR AS NOTED ON PLANS.
5. ALL DESIGNS FOR MANUFACTURED FLOOR JOISTS, RAFTERS AND TRUSSES SHALL BE CERTIFIED BY THE MANUFACTURER. INSTALLATION OF SUCH ITEMS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SHOP DRAWINGS AND RECOMMENDATIONS.
6. CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF CODES NOTED ON COVER SHEET, ALL LOCAL CODES AND AMENDMENTS, AND FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS.

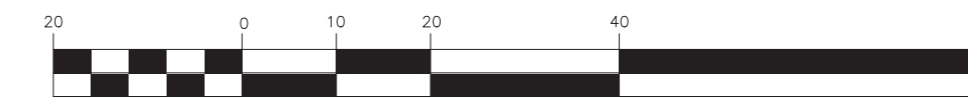
# CHUMLEY TALBOTT STREET REPLAT

## PRIMARY PLAT

PART OF THE S. 1/2, S.W. 1/4 SEC. 25, T.16N., R.3E., CENTER TOWNSHIP, MARION COUNTY, INDIANA.  
A REPLAT OF LOTS 76, 77, 78 and 79 IN LAZARUS AND PEIRCE'S MERIDIAN PLACE ADDITION PER PLAT BOOK 8, PAGE 192 AND LOT 80 IN LAZARUS AND PEIRCE'S RESUBDIVISION PER PLAT BOOK 11, PAGE 22.



Scale: 1"=20'  
GRAPHIC SCALE



BASIS OF BEARINGS: INDIANA STATE PLANE COORDINATES, EAST ZONE



LEGEND			
Chain Link Fence	Electric Meter	Utility Pole	R/W Right of Way
Board Fence	Water Meter	Utility Pole w/ light	RCP Reinforced Concrete Pipe
Open Wire Fence	Telephone Junction Box	Utility Pole w/ trans.	CMP Corrugated Metal Pipe
Iron Fence	Electric Junction Box	Sign	CPP Corrugated Plastic Pipe
Overhead Utility Line	Bollard	Light Standard	VCP Vertified Clay Pipe
Flow line of ditch	Gate Post	Gas Valve	(P) Plat Dimension per Instr. # 2008-0031490
Buried Gas Line	Electric Manhole	Fire Hydrant	(M) Measured Dimension
Buried Water Line	Traffic Manhole	Air Conditioner	(D) Deed Dimension
Buried Telephone Line	Traffic Signal Pole	Gas Meter	(C) Calculated Dimension
Buried Electric Line	Parking Meter	Water Valve	(F) Fire Protection Valve
High Pressure Petroleum Pipeline	Fuel Filler Cap	Sprinkler Control Valve	(PI) Post Indicator Valve
Sanitary Sewer Line	Fuel Tank lid	Stand Pipe	U.E. Utility Easement (per plat)
Sanitary Sewer Line (Force main-per plans)	Monitoring Well	Fiber Optic Marker	(I) Iron Pin Set (5/8" Rebar w/ red cap marked "Firm #0066")
Storm Sewer Line	Well Head	Gas Line Marker	(X) Cut "X" Set / Found
Sanitary Lift Station	Soil Boring Hole	Petroleum Pipeline Marker	(4" X 4" Concrete right of way marker
Storm Manhole	Electric Transformer	Curb Inlet	(10) Lot Number
Sanitary Manhole	Cable Pedestal	Vent Pipe	Concrete parking barrier
Telephone Manhole	Flag Pole	Telephone Pedestal	
Clean Out (Storm)	Mailbox	Telephone Cable Marker	

### DECLARANT

The undersigned, Jonathan C. Chumley, the owner of record of the real estate described herein, does hereby certify that he has laid off, platted and subdivided and does hereby lay off, plat and subdivide said real estate as shown hereon in accordance with the within plat.

This subdivision shall be known and designated as **CHUMLEY TALBOTT STREET REPLAT**, a subdivision for single family residences in Center Township, Marion County, Indiana.

All streets and alleys shown hereon, which have not been heretofore dedicated to the Public, are hereby dedicated to the City of Indianapolis, Marion County, as public right-of-way for roads and streets as shown hereon.

Subject to the Standards and Specifications of the Citizens Energy Group, Sanitation Section.

Subject to the Standards and Specifications of the Department of Public Works, Drainage Section.

Subject to the Standards and Specifications of the Department of Public Works, Transportation Section.

Subject to the Standards and Specifications of the Department of Public Works, Sanitation Section.

**Section 01. Enforcement Covenant**  
"Metropolitan Development Commission: The Metropolitan Development Commission, its successors and assigns shall have no right, power or authority to enforce any covenants, restrictions or other limitations contained herein other than those covenants, restrictions or limitations that expressly run in favor of the Metropolitan Development Commission; provided that nothing herein shall be construed to prevent the Metropolitan Development Commission from enforcing any provision of this article, or any conditions attached to approval of this plat by the Plat Committee."

**Section 02. Sight Distance Covenant**  
"Sight obstruction: No fence, wall, hedge or shrub planting that obstructs sight lines at elevations between 2.5 feet and 9 feet above the street shall be placed or permitted to remain on any corner lot within the triangular area formed by the street right-of-way lines and a line connecting points 25 feet from the intersection of such street right-of-way lines, or in the case of a rounded property corner, from the intersection of the street right-of-way lines extended. The same sight line limitations shall apply to any lot within 10 feet from the intersection of a street right-of-way line with the edge of the driveway pavement or alley line. No tree shall be permitted to remain within such distances of such intersections unless the foliage is maintained at a sufficient height to prevent obstruction of the sight lines."

**Section 03. Storm Drainage Covenant**  
"It shall be the responsibility of the owner of any lot or parcel of land within the area of this plat to comply at all times with the provisions of the drainage plan as approved for this plat by the City of Indianapolis and the requirements of all drainage permits issued for this plat."

**Section 04. Sanitary Sewer Covenant**  
"It shall be the responsibility of the owner of any lot or parcel of land within the area of this plat to comply at all times with the provisions of the sanitary sewer construction approved by the municipality and the requirements of all sanitary sewer construction permits issued for this plat. Owner further covenants that no building, structure, tree or other obstruction shall be erected, maintained, or allowed to continue on the portion of the owner's real estate in which the easement is granted without express written permission, that is then duly recorded, and shall run with the real estate. The municipality and its agents shall have the right to ingress and egress, for temporary periods only, over the owner's real estate adjoining such easement and right-of-way, when necessary to construct, repair or maintain sanitary sewer facilities." 748

**Section 05. Storm Water Best Management Practices Covenant 749**  
"This subdivision has been designed to include stormwater quality best management practices (BMPs) that must be maintained by the owner. An Operations and Maintenance Manual is available for the BMPs. Upon activation of the homeowner's association, it shall be the responsibility in perpetuity of the homeowner's association and the individual owners of any lot or parcel of land within the area of this plat, jointly and separately, to comply with the Operations and Maintenance Manual, fees and maintenance requirements."

Utility Covenant: Each lot in this subdivision is subject to an easement for utility services to the other lots in the subdivision.

### OWNERS CERTIFICATION

Owners of the lots in this subdivision shall take title to said lot, subject to the easements, covenants, and restrictions as shown on the within plat.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Jonathan C. Chumley (Owner)

STATE OF INDIANA )  
(SS:  
COUNTY OF MARION )

Before me, the undersigned Notary Public, in and for said County and State, personally appeared Jonathan C. Chumley, the owner of record, who acknowledged the execution of the foregoing as a voluntary act and deed for the purposes herein express and affixed his signature hereto.

Witness my hand and Notarial Seal this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

My County of residence is: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

SOURCE OF TITLE: INSTRUMENTS NO. 1997-0057922, 1998-0071957, A201700029620, 1997-0057923 & 2007-0126530  
Center Township, Marion County  
This Instrument was prepared by Richard A. O'Brian.

**Hahn Surveying Group, Inc.**  
LAND SURVEYORS - Established in 1975  
8925 N. MERIDIAN STREET, SUITE 120, INDIANAPOLIS, IN 46260  
PHONE: (317) 846-0840 FAX: (317) 846-4298 E-MAIL: INFO@HAHNSURVEYING.COM

SHEET  
**1**  
OF  
**1**  
Job #  
24-23060.00

**CHUMLEY TALBOTT STREET REPLAT**  
PRIMARY PLAT

ALL RIGHTS RESERVED UNDER COPYRIGHT BY HAHN SURVEYING GROUP, INC.

DWG. BY: JLE  
CK. BY: R.O.

**DMD—DEPT. METRO. DEV.**  
**STREET NAMES AND**  
**ADDRESSES APPROVED**

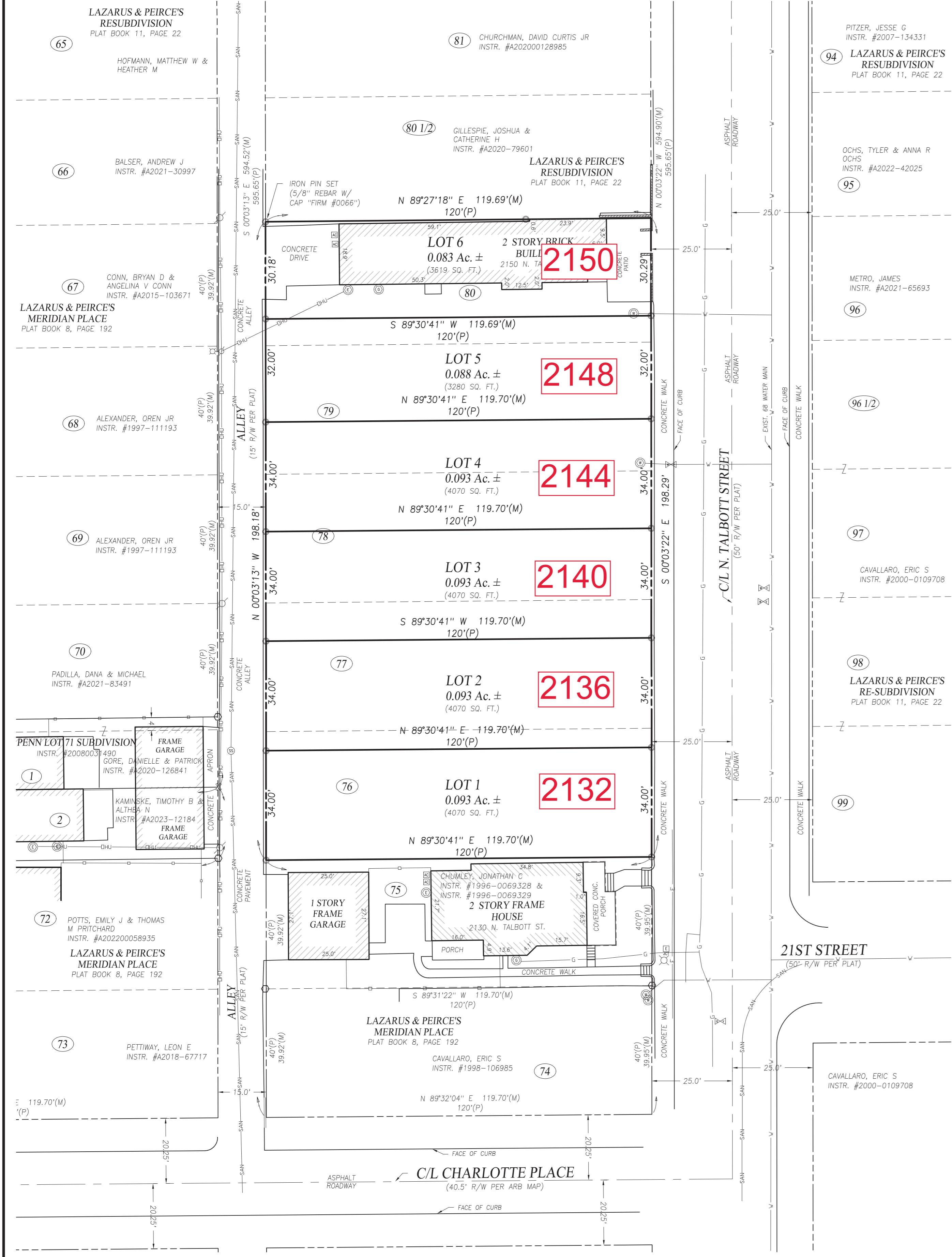
By

DATE **11/19/2024**

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law. - Richard A. O'Brian.  
This Instrument was prepared by: Richard A. O'Brian, Hahn Surveying Group, Inc.

THIS INSTRUMENT WAS PREPARED FOR:  
Compendium Group LLC  
951 N. Highland Avenue  
Indianapolis, Indiana 46202  
PREPARED BY:  
Hahn Surveying Group, Inc.  
8925 N. Meridian Street, Suite 120  
Indianapolis, IN 46260  
Office: 317-846-0840

LOT 1	LOT NUMBER
0000	LOT ADDRESS
0000	LOT AREA IN SQUARE FEET
R/W	RIGHT OF WAY
(00)	PREVIOUS LOT NUMBER (LAZARUS & PEIRCE'S MERIDIAN PLACE)
	PREVIOUS PLAT LOT LINE (LAZARUS & PEIRCE'S MERIDIAN PLACE)
C/L	Centerline



LOCATION: E:\Projects\1603\Shared\Survey\2024\24-23060\REP\_PLAT\_24-23060\_Rep Plat.dwg  
 DATE: 11/19/2024  
 TIME: 11:00 AM  
 USER: r.ostrom  
 PLOT: 11/19/2024 11:00 AM