



Indianapolis Historic Preservation Commission (IHPC)
HEARING AGENDA

Wednesday, November 6, 2024, 5:30 P.M.
2nd Floor, Public Assembly Room, City-County Building
200 E. Washington St., Indianapolis, Indiana

BUSINESS

I. CALL TO ORDER

II. APPROVAL OF MINUTES

OCTOBER 2, 2024 IHPC HEARING MINUTES

III. OLD BUSINESS – NO PUBLIC HEARING

2024-COA-188A (WP) 958 WOODRUFF PLACE MIDDLE DRIVE
ALI KHAN
Violation correction check in

Page 3

IV. NEW BUSINESS – NO PUBLIC HEARING

NONE

PUBLIC HEARING

V. REQUEST TO WITHDRAW OR CONTINUE APPLICATIONS

2024-COA-353 (FS) & 1126 PROSPECT STREET *continue to December 4, 2024*
2024-VHP-010 ALEX OSTROVSKY
Variance of Development Standards to allow less front window
transparency than required

Page 5

VI. EXPEDITED CASES

2024-COA-290 1717 NORTH ALABAMA STREET
AMENDED (HMP) MICAH HILL
Amend approved plans to include the construction of living unit in
the garage

Page 7
Submittals
Page 43

2024-COA-341 (HMP) & 1727 NORTH ALABAMA STREET
2024-VHP-009 MICAH HILL
Construct garage and for a Variance of Development Standards to
allow construction within the required clear-sight triangle

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Submittals
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VII. APPLICATIONS TO BE HEARD (CONTINUED)

NONE

VIII. APPLICATIONS TO BE HEARD (NEW)

NONE

IX. PRELIMINARY REVIEW

NONE

X. APPLICATIONS TO BE HEARD – WORK STARTED WITHOUT APPROVAL

2021-COA-613 244 EAST 10TH STREET
AMENDED (SJ) JOHN EATON
Legalize setbacks as constructed

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Submittals
Page 56

XI. OLD BUSINESS – TO BE HEARD

NONE

XII. CLOSING BUSINESS

NONE



Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date:	November 6, 2024
Case Type:	Old Business
Continued From:	
Case Number:	2024-COA-188A (WP)
Property Address:	958 Woodruff Place Middle Drive
Historic Area:	Woodruff Place
Township:	Center
Council District:	13
Applicant:	Ali Khan
Owner:	AK Realty LLC
Request:	Violation correction check in
Staff Recommendation:	No recommendation – violation correction check in
Staff Reviewer:	Shelbi Long
Case At-A-Glance:	Violation case check in.

BACKGROUND OF PROPERTY

Since the last hearing the owner has submitted proposals on the front porch/balcony columns and railing changes, decorative sill trim of the 2nd floor window, the rounded window and various sidings on front elevation. Staff has requested additional documentation on the proposals.

REQUEST

HISTORIC AREA PLAN RECOMMENDATION

STAFF RECOMMENDATION

STAFF RECOMMENDED MOTION

EXHIBITS

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Indianapolis Historic Preservation Commission (IHPC)
STAFF REPORT

IHPC STAFF REPORT SUMMARY

Hearing Date: November 6, 2024
Case Type: Work Started Without Approval
Continued From:
Case Number: 2024-COA-353 (FS) & 2024-VHP-010
Property Address: 1126 Prospect Street
Historic Area: Fountain Square
Township: Center
Council District: 18
Applicant: Alex Ostrovsky
Owner: Higher Grade LLC
Request: Variance of Development Standards to allow less front window transparency than required.
Staff Recommendation: Continue to the December 4, 2024 IHPC hearing.
Staff Reviewer: Shelbi Long

Case At-A-Glance:

BACKGROUND OF PROPERTY

REQUEST

The applicant has requested a one month continuance.

HISTORIC AREA PLAN RECOMMENDATION

STAFF RECOMMENDATION

STAFF RECOMMENDED MOTION

2024-COA-353 (FS) & 2024-VHP-010:
To continue to the December 4, 2024 IHPC hearing.

EXHIBITS

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Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date:	November 6, 2024
Case Type:	Expedited Case
Continued From:	
Case Number:	2024-COA-290 AMENDED (HMP)
Property Address:	1717 North Alabama Street
Historic Area:	Herron-Morton Place
Township:	Center
Council District:	13
Applicant:	Micah Hill
Owner:	Compendium Group LLC
Request:	Amend approved plans to include the construction of living unit in the garage.
Staff Recommendation:	Approval
Staff Reviewer:	Shelbi Long
Case At-A-Glance:	This request meets the guidelines in the historic area plan and staff is recommending approval. Staff is not aware of any opposition.

BACKGROUND OF PROPERTY

The subject property was once the site of a 1.5 story frame, single family dwelling with a frame stable and smaller outbuilding at the rear of the property. After the turn of the century, the house was converted to flats and the stable was replaced with a frame outhouse. By the 1970s the structures were demolished. The site has remained vacant since that time. At the October 2024 IHPC hearing the Commission approved 2024-COA-290 to construct single family house and detached garage.

REQUEST

The applicant is proposing to construct a second floor on top of the already approved detached garage for the site. This additional floor would house a secondary dwelling unit. The garage would be a side gable structure with front facing gables on the yard and alley sides. It would be sided in smooth fiber cement siding with 4" reveal. It would feature two overhead doors on the east / alley side and a single pedestrian door on the west / yard side.

HISTORIC AREA PLAN RECOMMENDATION

New Construction Guidelines: Additions & Accessory Buildings

- Generally, accessory buildings should be of a secondary nature and garages should be oriented to alleys.
- Additions and accessory buildings should be discernable as a product of their own time.

STAFF RECOMMENDATION

Staff is recommending approval of this request. The changes to the design are reflective of the nearby structures and are compatible with the neighborhood as a whole.

STAFF RECOMMENDED MOTION

2024-COA-290 AMENDED (HMP):

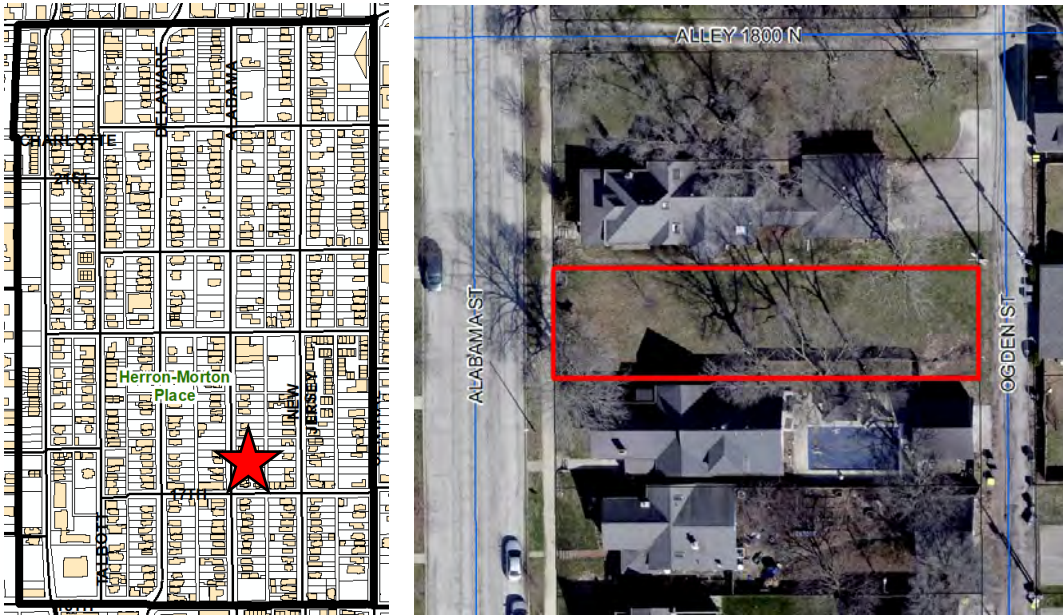
To approve a Certificate of Appropriateness to amend approved plans to include the construction of a living unit in the garage, per the submitted documentation and subject to the following stipulations:

DBNS: PERMITS MAY NOT BE ISSUED until stipulations number 1, 2, and 3 are fulfilled.

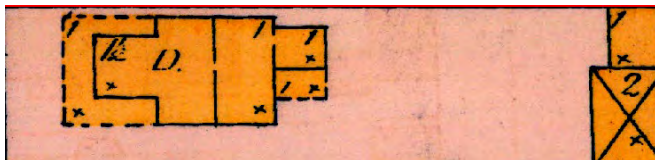
1. Construction must not commence prior to approval by the IHPC staff of final construction drawings reflecting any changes requested by the Commission. *Approved _____ Date _____*
2. A pre-construction meeting with IHPC staff, the owner, and the contractor/construction manager must be held prior to the commencement of any construction. *Approved _____ Date _____*
3. The site shall be field staked with no offsets and approved by IHPC staff prior to construction. *Approved _____ Date _____*
4. Boxed soffits (“bird boxes”) are not permitted. Rafter tails may be left exposed or sheathed with sloping soffit board parallel to pitch of roof.
5. Trim and siding shall be wood or fiber-cement, and shall have a smooth texture and be free of major imperfections. Rough-sawn finishes are not permitted. Siding reveal must match approved drawings.
6. All utility wires and cables must be located underground. No installation of utilities or meter and mechanical placement shall commence prior to IHPC staff approval.
7. Work on exterior finishes and details must not commence prior to the approval by IHPC staff of each. These may include, but are not limited to: doors, windows, foundations, exterior light fixtures, railings, roof shingles, etc.
8. Any changes to the proposed design must be approved by IHPC staff prior to commencement of work.

NOTE: Property owner is responsible for complying with all applicable codes.

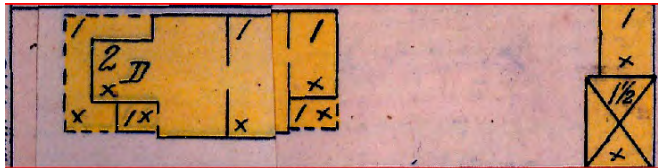
LOCATION OF SUBJECT PROPERTY



HISTORIC MAPS & IMAGES



1887



1898



1915



1956



1972

SUBJECT PROPERTY & CONTEXT



Subject property



Property to the north

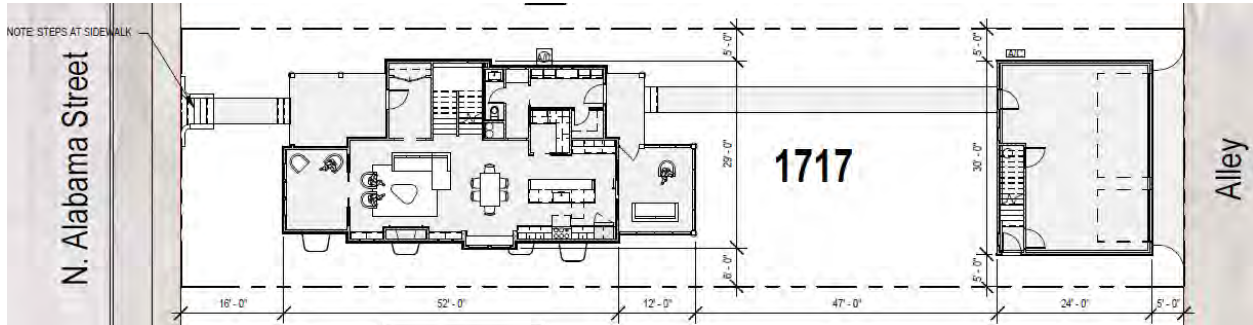


Properties to the south



Properties to the west, across North Alabama Street

PROPOSED



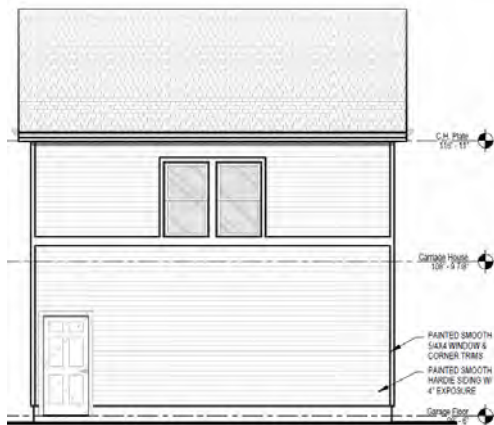
Site plan



North elevation



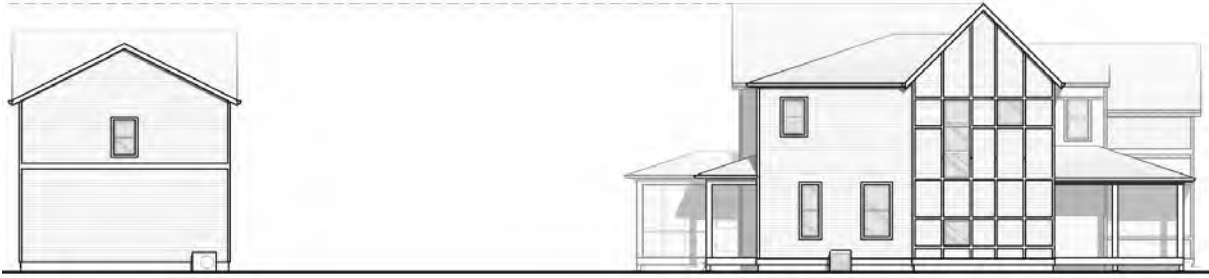
West/yard side



South elevation



East/alley elevation



North site elevation



3-D from alley



Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date:	November 6, 2024
Case Type:	Expedited
Continued From:	
Case Number:	2024-COA-341 (HMP) & 2024-VHP-009
Property Address:	1727 N. Alabama Street
Historic Area:	Herron-Morton Place
Township:	Center
Council District:	11
Applicant:	Micah Hill
Owner:	Same as above
Request:	Construct garage; Variance of Development Standards to allow construction within the required clear-sight triangle
Staff Recommendation:	Approval
Staff Reviewer:	Emily Jarzen
Case At-A-Glance:	This is a typical detached garage design. The location of the garage is consistent with others in the neighborhood, as well as others on this alley corner.

BACKGROUND OF PROPERTY

A one-story frame dwelling appears at this location on the 1887 Sanborn map. The 1898 map with paste overs shows that the original house was either enlarged or replaced by a 2-story frame dwelling.

Aerial photographs show the house was demolished between 1972 and 1979. It is currently a vacant lot.

A single-family house design was approved by the IHPC at the October 2024 IHPC hearing.

REQUEST

The request is to construct a 3-car detached garage, and for a variance of development standards.

The garage will have smooth-finish fiber-cement lap siding to match the main house. It is a side gable design, with two overhead doors on the alley side, and a man door and window facing the yard.

VARIANCE

The request is for a variance of development standards to construct within the required clear sight triangle at the two alleys. The north-south alley is called N. Ogden, but it functions entirely as an alley here. The east-west alley is only improved with gravel. Neither are highly traveled.

STAFF RECOMMENDATION

Staff is recommending approval of the application. The proposed garage location is consistent with nearby garages. Traffic is limited and slow enough to allow construction in the proposed location. There is still an apron setback that will allow drivers to see around the corner.

STAFF RECOMMENDED MOTION

2024-COA-341 (HMP):

To approve a Certificate of Appropriateness to build a detached garage, and for a Variance of Development Standards, per the submitted documentation and subject to the following stipulations:

DBNS: PERMITS MAY NOT BE ISSUED until stipulations number 1, 2, and 3 are fulfilled.

1. Construction must not commence prior to approval by the IHPC staff of final construction drawings. *Approved _____ Date _____*
2. A pre-construction meeting with IHPC staff, the owner, and the contractor/construction manager must be held prior to the commencement of any construction.
Approved _____ Date _____
3. The site shall be field staked with no offsets and approved by IHPC staff prior to construction. *Approved _____ Date _____*
4. Boxed soffits (“bird boxes”) are not permitted. Rafter tails may be left exposed or sheathed with sloping soffit board parallel to pitch of roof.
5. Trim and siding shall be wood or fiber-cement, and shall have a smooth texture and be free of major imperfections. Rough-sawn finishes are not permitted. Siding reveal must match approved drawings.
6. All utility wires and cables must be located underground. No installation of utilities or meter and mechanical placement shall commence prior to IHPC staff approval.
7. Work on exterior finishes and details must not commence prior to the approval by IHPC staff of each. These may include, but are not limited to: doors, windows, foundations, exterior light fixtures, railings, roof shingles, etc.
8. Any changes to the proposed design must be approved by IHPC staff prior to commencement of work.

NOTE: Property owner is responsible for complying with all applicable codes.

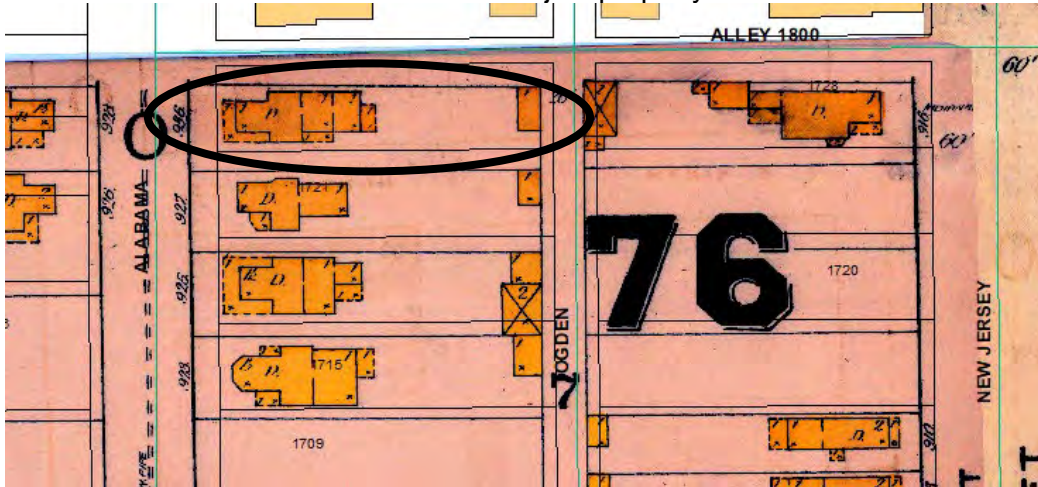
2024-VHP-009:

To approve a Variance of Development Standards to allow construction within the required clear-sight triangle.

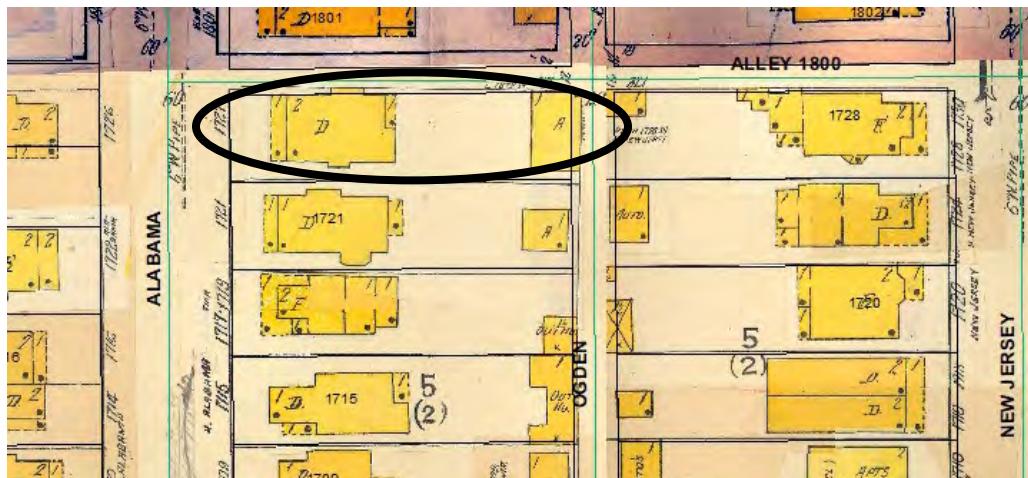
EXHIBITS



Location of subject property



1887 Sanborn map



1915 Sanborn map



Project site



May 2024 Google Street View showing east-west alley, with subject site on the left

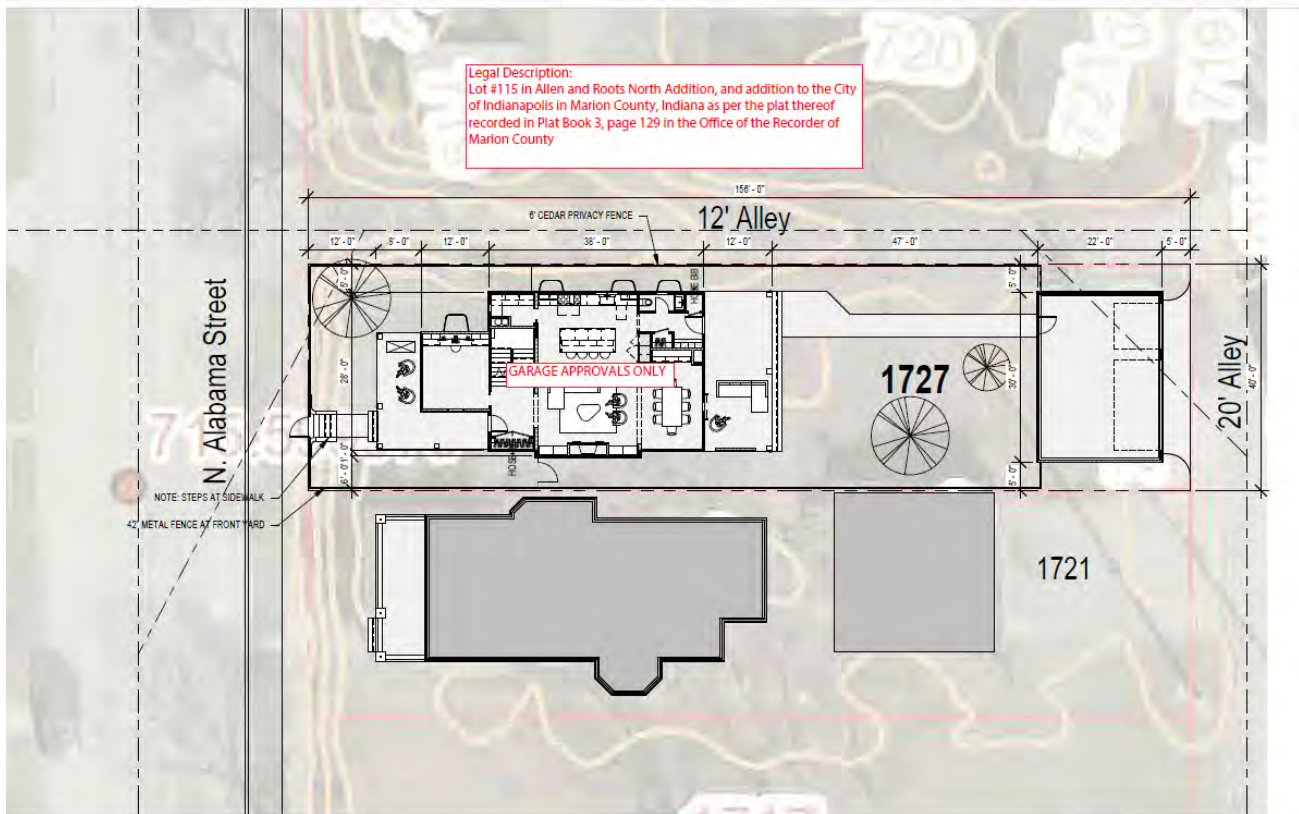


May 2024 Google Street View showing garages located on opposite corner (for houses fronting New Jersey)

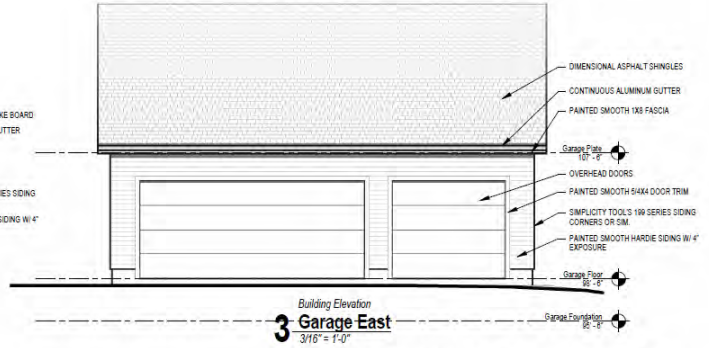
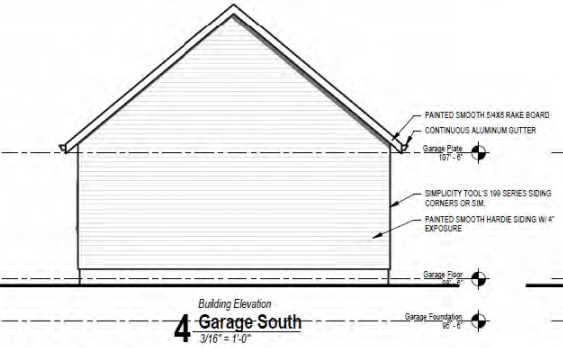
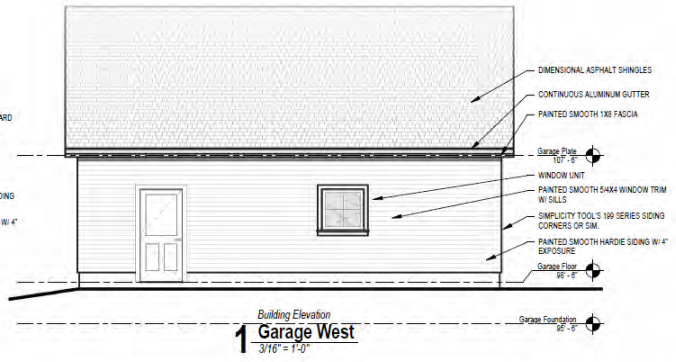
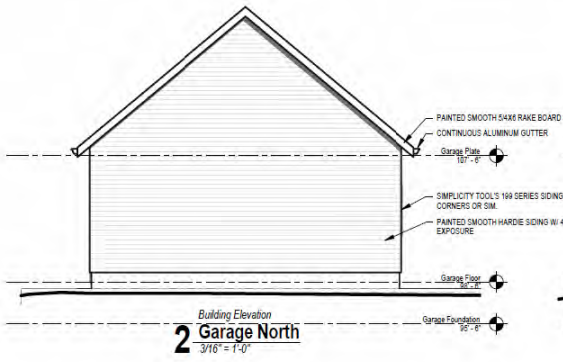
**Proposed plans
(Additional drawings in submittal packet)**



Streetscape showing approved house design



Proposed site plan



WOLF

Proposed garage design

Jagodzinski Residence SD205

FINDINGS OF FACT

1. The grant will not be injurious to the public health, safety, morals, and general welfare of the community because:

the variance request is in keeping with other garage structures along the alley way. Site lines for traffic are still visible.

2. The use or value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner because:

all other garage structures at this alleyway have similar setbacks. Strict application of the code would create an out of context garage structure. Placement & positioning of the garage, as applied for, is accepted and desired to provide the best harmony in contextual design.

3. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property because:

The garage structure would have to be positioned further into the rear yard to avoid encroaching on the clear site triangle.

This would result in a un-uniform garage compared to the rest of the alleyway, less greenspace, less permeable ground for rain/storm water, and in general a less attractive home that would also impact neighboring properties due to the strange positioning of the garage.

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Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date:	November 6, 2024
Case Type:	Work Started Without Approval
Continued From:	Originally approved: May 4, 2022. Extended March 2024.
Case Number:	2021-COA-613 (SJ) Amended
Property Address:	244 E. 10th Street
Historic Area:	St. Joseph
Township:	Center
Council District:	13
Applicant:	John Eaton
Owner:	Keith & Melissa Gregor
Request:	Legalize setbacks as constructed
Staff Recommendation:	Approval
Staff Reviewer:	Emily Jarzen
Case At-A-Glance:	This house is currently under construction. A stop work order was issued, as the setbacks did not match the approved plans. Staff is recommending approval of the change.

BACKGROUND OF PROPERTY

In May of 2022, the IHPC approved a single-family 3-story house with an attached, 2-story garage, designed by One 10 Studio. A variance of development standards was also approved, for construction within both required clear-sight triangles. The COA was extended in March 2024, with a new expiration date of May 4, 2025. The building's foundation and framing are in.

In August, code enforcement issued a stop work order after receiving a citizen complaint (regarding the west side yard setback). It was determined the setbacks as constructed do not match the Improvement Location Permit (ILP) or the plans approved by the Commission. The revised "as-built" site plan shows that the north, south, east and west setbacks do not match the plans approved under 2021-COA-613.

DBNS had a 2'7" west side yard setback on their approved drainage drawings. IHPC had a minimum of 4' (the building jogs on the west façade) for the west side yard. It is unknown why the site plan submitted to the IHPC is different from the site plan submitted for the drainage permit. The ILP site plan was never approved by IHPC or staff, and what was built doesn't match it either. The owners and applicant/contractor all signed the preconstruction meeting checklist which lists all four setback distances under the setback section of the document.

REQUEST

The request is to approve the as-built setbacks:

	APPROVED SETBACKS	AS-BUILT SETBACKS
North (Rear)	IHPC Approved 10'	8'7" at the minimum
South (Front)	IHPC Approved 8'	8'9" at the minimum
East	IHPC Approved minimum 4'	5'
West	IHPC Approved minimum 4'	2'8" at the minimum

Note about the approved setbacks:

IHPC Administrator called former IHPC staff member Dean Kessler, regarding this case and regarding the email that is included in the documentation section of this staff report.

Dean shared that when he checked the staking for the foundation, the front setback was sitting too far forward and not lining up with the front of the house to the west. Dean said he asked John Eaton to move the front stakes back so it matched the approved site plan which showed it lined up with the house next door. The email discusses this conversation and the discrepancies between the surveyor's and architects site plan as well. It is unclear how all four setbacks are different now from what was approved.

Note about fire-rating due to the change in setbacks:

While the walls will need to be fire-rated within 3' of the neighboring property line to the west, the architect has stated that no exterior alterations to the building design are required, as the windows will be greater than 3' away due to the inset of the window wall.

HISTORIC AREA PLAN RECOMMENDATION

The St. Joseph Historic Area Plan provides the following regarding setbacks & spacing:

- **Setback**
 - *A new building's setback should relate to the setback pattern established by the existing block context rather than the setbacks of building footprints that no longer exist. If the development standards for the particular zoning district do not allow appropriate setbacks, a variance may be needed.*
 - *If setbacks are varied, new construction can be located within a setback that falls within an "envelope" formed by the greatest and least setback distances.*
 - *If setbacks are uniform, new construction must conform.*
 - *On corner sites, the setbacks from both streets must reflect the context.*
- **Spacing**
 - *New construction that reflects and reinforces the spacing found in its block. New construction should maintain the perceived regularity or lack of regularity of spacing on the block.*

STAFF RECOMMENDATION

Staff is recommending approval of the changes. Although the setbacks are different than what was approved, they are still in keeping, and in some cases greater, than others on the block. In the original approval, landscaping requirements were stipulated along the west side yard. The owners have agreed to still add landscaping but it will need to be moved slightly north now that the house has shifted.

STAFF RECOMMENDED MOTION

2021-COA-613 Amended (SJ):

To approve a Certificate of Appropriateness for setbacks as constructed per the as-built site plan date 9/4/24 per the submitted documentation and subject to the following stipulations:

DBNS: PERMITS MAY NOT BE ISSUED until stipulation number 1 is fulfilled.

1. Final site plan must be stamped approved by IHPC staff and shall include landscaping at the west side yard. *Approved* _____ *Date* _____
2. There shall be no design changes to the house from the approved plans stamped by IHPC staff on March 19, 2024. Any proposed changes must be reviewed and approved prior by IHPC staff prior to commencing.

NOTE: Property owner is responsible for complying with all applicable codes.

EXHIBITS



Location of subject property

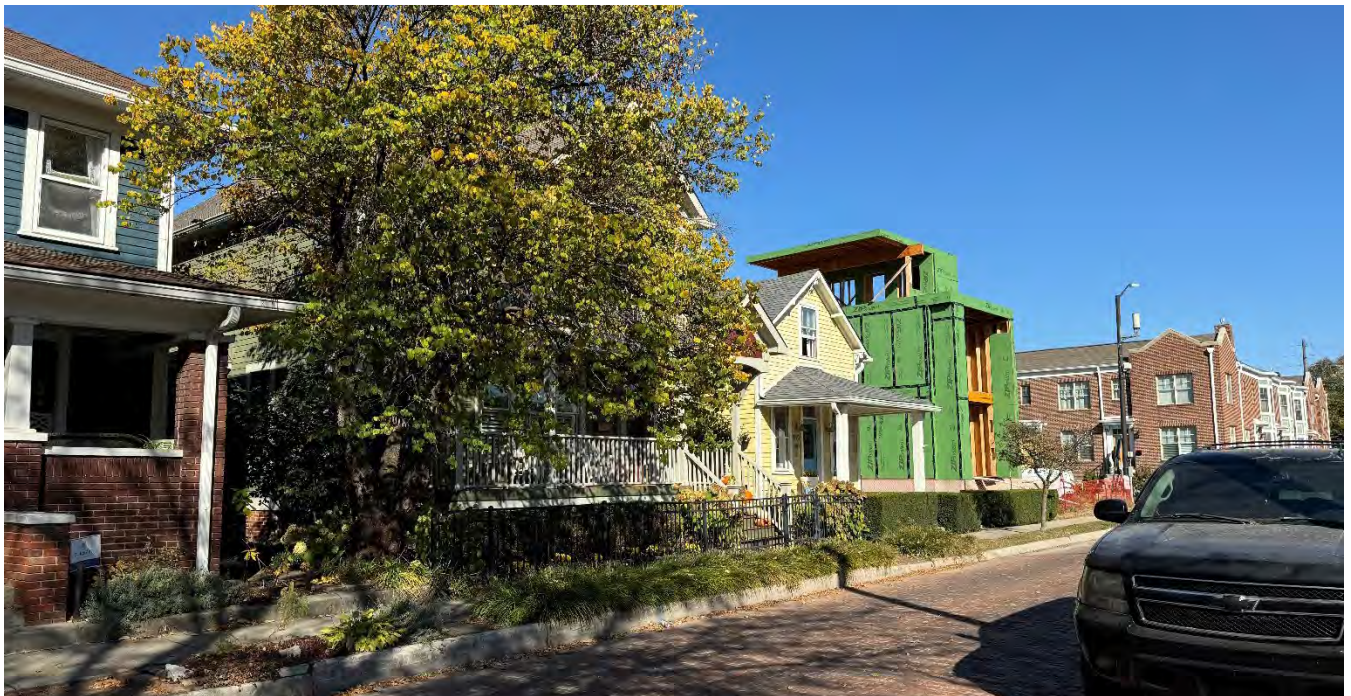


Aerial view of subject property

Photos of subject property under construction. Taken by IHPC staff on 10/22/2024.





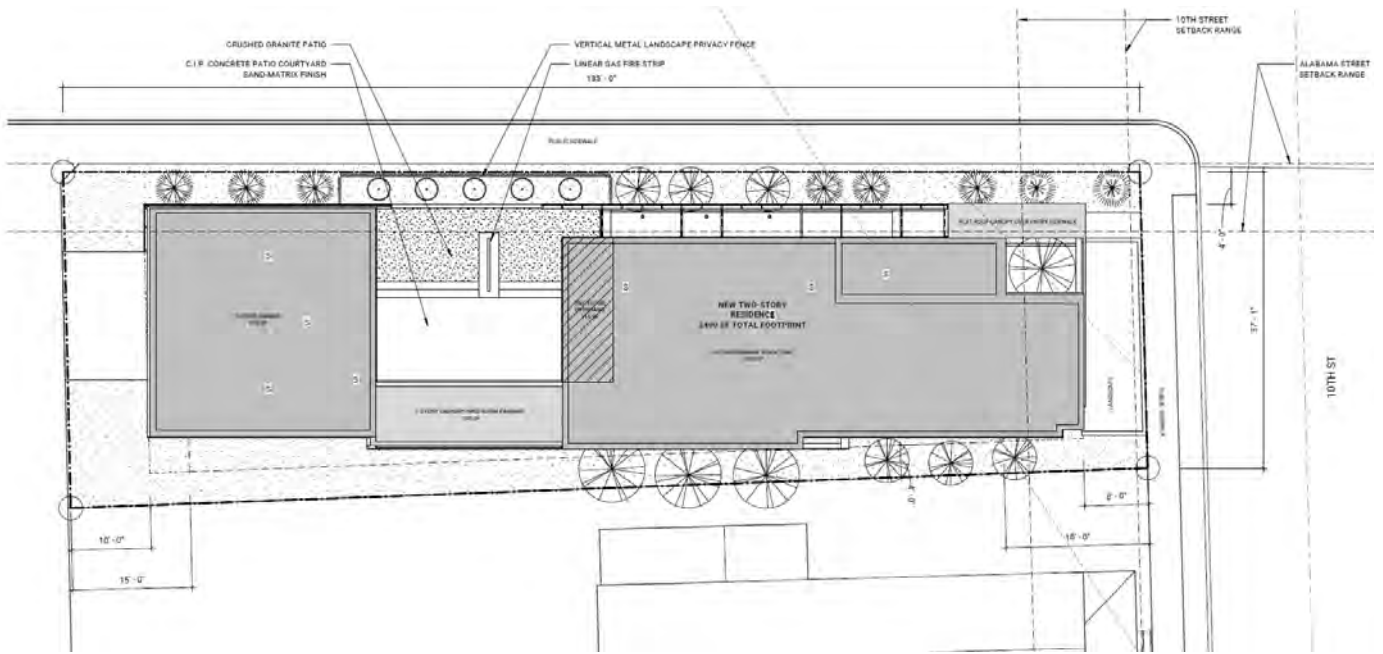




Submittals from May 2022 IHPC Review

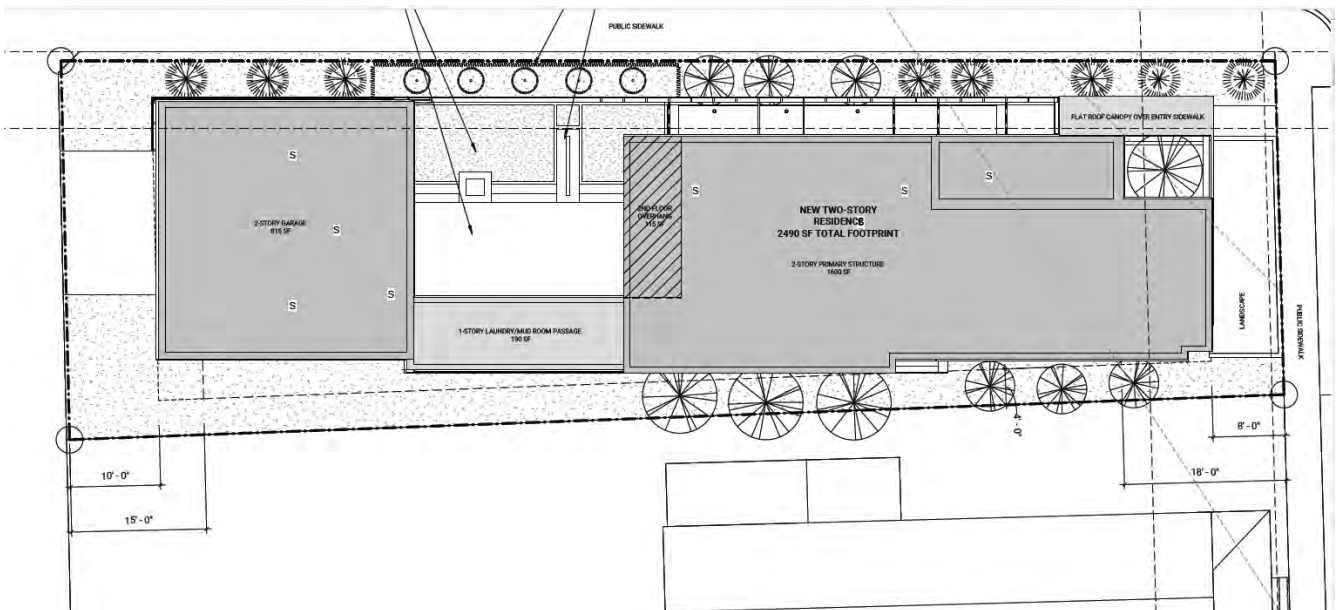






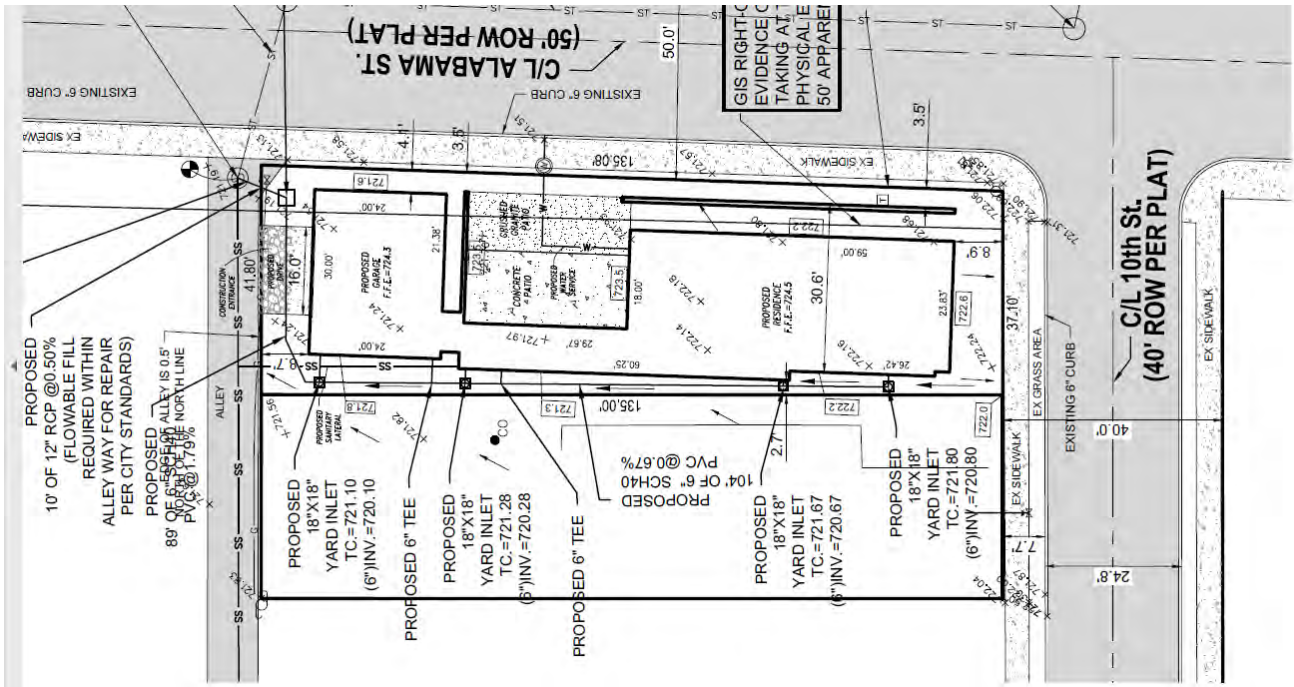
IHPC approved site plan, from 3/6/2024 permit set
 IHPC approval stamp 3/19/2024

Staff has confirmed these are the same setbacks the commission reviewed
 Larger version in attached documentation packet
 This matches the 5/28/2024 construction set (below)

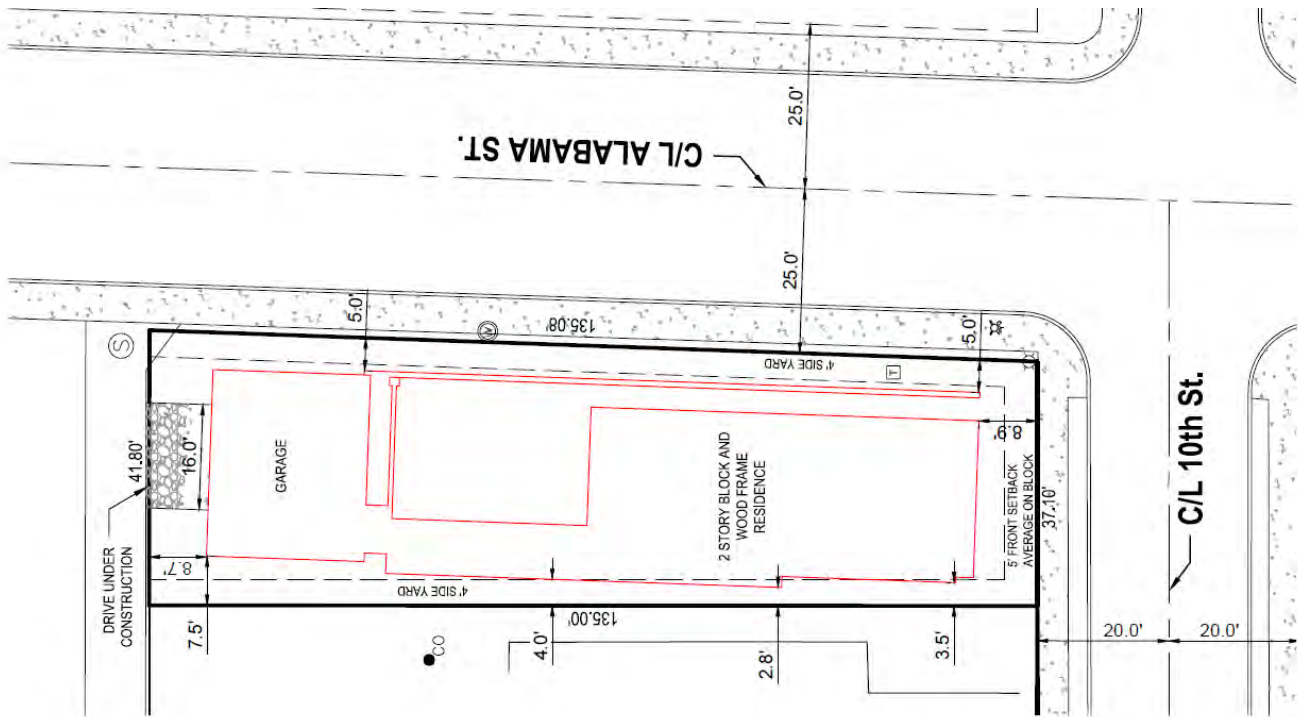


5/28/2024 construction set
 Received by IHPC staff 10/2/2024

This matches the 3/6/24 permit set (above) as stamped by the IHPC reviewer



Survey submitted to DBNS for drainage permit
 Dated 2/28/2024
 Forwarded to IHPC staff by DBNS on 8/26/2024
 Larger version in documentation packet



"As-Built" Site Plan. Dated 9/4/2024
 Received by IHPC 10/2/2024
 Larger version in attached documentation packet

Staff email from March 19, 2024

From: Kessler, Dean <Dean.Kessler@indy.gov>

Date: Tue, Mar 19, 2024 at 5:18 PM

Subject: RE: Pre-Construction Meeting Checklist: 2021-COA-631 (SJ) - 244 E. 10th St.

To: Clete Kunce <ckunce@one10studio.com>, Andrew Fries <afries@one10studio.com>, melissa.payner@gmail.com <melissa.payner@gmail.com>, john@eatoncustomhomes.com <john@eatoncustomhomes.com>

Hello,

Attached is the updated COA with the first three stipulations signed off on. When John and I met for the staking review, we discovered that there appear to be some discrepancies between the land surveyor's site plan and the architects' site plan regarding the front and rear setback measurements. The surveyor's site plan also shows Alabama St. running askew, at a slight angle. The architects' site plan does not show this, but it has 10th St. running askew, at a slight angle. This made it difficult for John and I to determine if the site was staked correctly. That said, John and I agreed that the front of the house would not be placed in front of or any farther forward than the front wall of the neighboring house to the west at 240 E. 10th St. This maintains what is depicted on the site plans.

NOTE: I will be out of the office and unavailable March 20-25, 2024. I will return on March 26.

Thank you and have a great day,

Dean Kessler | Architectural Reviewer (he/him/his)

Indianapolis Historic Preservation Commission

Department of Metropolitan Development | City of Indianapolis

200 E. Washington Street, Suite 1842 | Indianapolis, IN 46204

Dean.Kessler@indy.gov | (317) 618-2526 | www.indy.gov/ihpc

PRE-CONSTRUCTION MEETING CHECKLIST

ADDRESS: 244 E. 10th St.

COA: 2021-COA-613 (SJ) - New house and attached garage

A. SITEWORK

- 1. Sidewalk material
- 2. Parking Pad/lor material
- 3. Fencing
- 4. Site Lighting
- 5. Dumpster Enclosure
- 6. Other _____

Front walk - broom finish concrete
 Rear drive apron - broom finish concrete
 6', vertical metal slat privacy fence, finish: obsidian (dark gray)
 Nothing planned
 N/A

B. BUILDING FOUNDATION

- 1. Concrete (Poured-in Place)
- 2. Concrete Masonry Unit (Block)
- 3. Brick
- 4. Other _____
- 5. Date of Construction Marker 2024

Per plans
 N/A
 N/A
 Lower, west corner of front wicket, made out of bronze

C. BUILDING EXTERIOR

- 1. Brick
- 2. Wood siding
- 3. Other siding
- 4. Stucco (E.I.F.S.)
- 5. Trim material
 - a. Brick
 - b. Wood
 - c. Other Fascia: smooth fiber cement

Yankee Hill, Medium Iron Spot, veloure finish; mortar color to match brick: Brixment M30
 Per submitted final CDs, 4" and 6" lap
 Smooth fiber cement panel for top floor w/ metal expansion joint finished to match
 Smooth "limestone" finish on inside of wicket
 2-sty perforated metal brise soleil on east
 Smooth fiber-cement panels to be used on connector and between window openings

D. ROOF/EAVE

- 1. Roof Shingles (Asphalt/Fiberglass)
- 2. Metal
- 3. EPDM (Rubber Membrane)
- 4. Slate/Faux Slate
- 5. Tile
- 6. Roof Eaves
 - a. Bead Board
 - b. Plywood
- 7. Gutters & Downspout
- 8. Other _____

Not visible from ground
 Internal downspouts w/ emergency scupper openings in parapets

E. EXTERIOR DOORS

- 1. Hollow Metal/Steel
- 2. Wood
- 3. Other _____

Steel w/ dark finish; operations per plans
 Obsidian (dark gray) color: per unique Sherwin-Williams mix code

F. WINDOWS

- 1. Aluminum/Aluminum Clad
- 2. Vinyl/Vinyl Clad
- 3. Wood
- 4. Fiberglass
- 5. Other _____

Aluminum storefront system, per plans; full extruded, thermal broken alum. casements in "Obsidian"

G. SKYLIGHTS

- 1. Aluminum/Metal
- 2. Wood
- 3. Shape, Color, Location
- 4. Other _____

N/A

H. GARAGE DOORS

- 1. Material
- 2. Size
- 3. Style
- 4. Other _____

Insulated alum. _____
 16'x8' _____
 Smooth flat panel _____

I. EXTERIOR FINISHES

- 1. Paint Colors
- 2. Exterior Light Fixtures
- 3. Other _____

Stain: Resawn Timber, Miyagi Paint: SW-9171, Felted Wool
 Briese Soleil: SW-7048, Urbane Bronze - very similar in color to "Obsidian"
 Exterior Lighting: recessed can lights w/in roof and overhang structures

J. CHIMNEY

- 1. Brick
- 2. Stone
- 3. Other _____

N/A _____

K. MECHANICAL EQUIPMENT

- 1. Rooftop Equipment
- 2. Exhaust Fans
- 3. HVAC
- 4. Power Poles
- 5. Wireless Systems
- 6. Utility Boxes (Electrical, cable, phone)
- 7. Gas Meters
- 8. Other _____

N/A _____
 First fl. vents thru side wall (finished to match facade color); upper fl. thru roof
 Condensers on grade at rear NW corner
 Buried, underground service
 N/A _____
 ELE meter base and generator at rear NW corner
 Mid-span of west elevation

L. SETBACKS

Front: 8 feet from south/front lot line _____
 Rear: 10' from rear/north lot line - leads to alley _____
 East: 4' from east to brise soleil _____

West: minimum of 4 feet, per site plan _____

M. PORCHES/DECKS/PATIOS

- 1. Bricks
- 2. Stone
- 3. Wood
- 4. Other Cast-in-place concrete raised patio in courtyard
- 5. Color Very fine aggregate mix, terrazzo-like, warm gray

Crushed granite on grade w/in courtyard _____
 Raised concrete entry extending to entry door on east elevation _____

N. LANDSCAPING/SITE

- 1. Trees to be removed
- 2. Trees to be planted
- 3. Landscape required by COA
- 4. Other _____

1 tree on west property line; 1 tree where garage will be
 In west side yard: 3-Arnold Tulips; 3-Parkland Pillar Birch
 In east side yard: 3-Arnold Tulips; 1 on NE corner of garage; 2
 within courtyard/patio. In front planter: 1 Arnold Tulip

ATTENDING PERSONS

Dean Kessler _____
 Melissa and Keith Gregor _____
 Andrew Fries _____

Clete Kunce _____
 John Eaton _____

STAFF SIGNATURE: *Dean Kessler* DATE: 3-27-24
 OWNER SIGNATURE: *[Signature]* DATE: 3/27/24
 ARCHITECT SIGNATURE: *[Signature]* DATE: 2024-03-22
 CONTRACTOR SIGNATURE: *[Signature]* DATE: 3-27-24

*NOTE: All submitted documents including this document are the determining factors for the project. All information given will be considered legally binding. If there are any unforeseen or unforeseen changes, staff must be contacted prior to the initiation of those changes. Failure to do so may result in the forced removal of the item at the party's expense. Certain items must receive staff approval prior to installation; failure to do so is at the owner's expense as they are ultimately responsible for the project
 P:\HPC\Office\Office Documents\Preconstruction Form--REVISED 2016.pdf



Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date:	November 6, 2024
Case Type:	Work Started Without Approval
Continued From:	
Case Number:	2023-COA-467 (CMB)
Property Address:	120 S. Wayburn Street
Historic Area:	Cumberland
Township:	Warren
Council District:	20
Applicant:	Darryl Cooley
Owner:	Same as above
Request:	Retain fencing installed without approval
Staff Recommendation:	No recommendation
Staff Reviewer:	Emily Jarzen
Case At-A-Glance:	This project is in front of the commission for feedback on the fence itself. The owner also needs multiple variances for the fence as-built, but wants to find out if the commission would allow him to keep it as-is before he applies for any variances.

BACKGROUND OF PROPERTY

120 S. Wayburn is a c. 1900 frame residence. It has been altered with vinyl siding, vinyl windows, and a front porch which has been incorporated into the main body of the house. This porch was likely an open Victorian porch.

REQUEST

In late 2023, a complaint was filed with the Mayor's Action Center regarding fence installation at the subject property. DBNS cited the owner for the work. The owner constructed a fence using a combination of wood posts and slats, black wire mesh, as well as pre-fabricated metal pipe fencing/gates (livestock fence). The tallest sections of fence are 5'9" tall. This replaced a pre-existing standard 6' tall wood privacy fence.

The owner has indicated that he does not have the monetary or physical means to remove the fence. He would like to keep the fence as-built. The fence is in violation of multiple zoning code requirements. If the commission indicates amenability to keep the fence, the owner will need to pursue a variance petition.

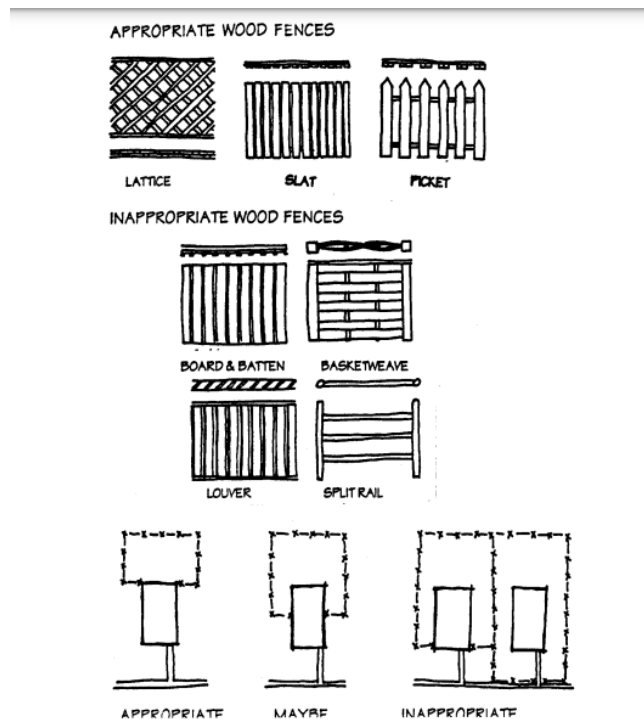
However, the variance petition has a fee that is prohibitive for this owner. Therefore, staff recommended that he get feedback for potentially keeping the fence before he pays variance fees.

The variances for the current fence configuration are:

- Fence constructed in the right-of-way (along Saxon)
- Fence is in required clear-sight triangles for alley and driveway
- Fence can only be 48" tall in the side yard when facing a residential entry across the street

HISTORIC AREA PLAN RECOMMENDATION

- *Rear yard fencing should not be higher than 6 ft. and may be open or solid in style, such as a privacy fence. Chain link and vinyl fencing are not appropriate.*
- *Front yard fencing should be compatible with the historic character of the area. Generally, front yard fences should not be higher than 42 inches and should be open in style. Chain link and vinyl fencing are not appropriate.*



Cumberland Conservation District Plan fencing graphics

STAFF RECOMMENDATION

Staff is not making a recommendation for this case. There are multiple options for the commission to weigh in on. *No approvals can be made at this time if the fence requires a variance.*

- Denial. The commission could deny the application outright. In that case, a variance would not be pursued, since the commission already indicated that a COA will not be granted (a COA is required for a variance approval). The commission would need to work with the owner on a timeframe for removal.
- Approval as-is. The applicant would need to come back for variances.
- Modification of the fence. The commission could require modifications of the fence (lower it, move it, eliminate/alter one or more elements of it). Modification may or may not eliminate the need for one or more of the variances.

The only option (other than total removal) that would bring the fence into compliance with the zoning code is to pull the fence back to the property line along Saxon. That would align it with the side of the house (so it could be a taller fence), would remove it from the right-of-way and the clear sight triangles.

STAFF RECOMMENDED MOTION

Staff is not recommending a motion at this time. Options have been outlined above, and staff and the applicant are looking for feedback from the commission.

EXHIBITS



Location of subject property

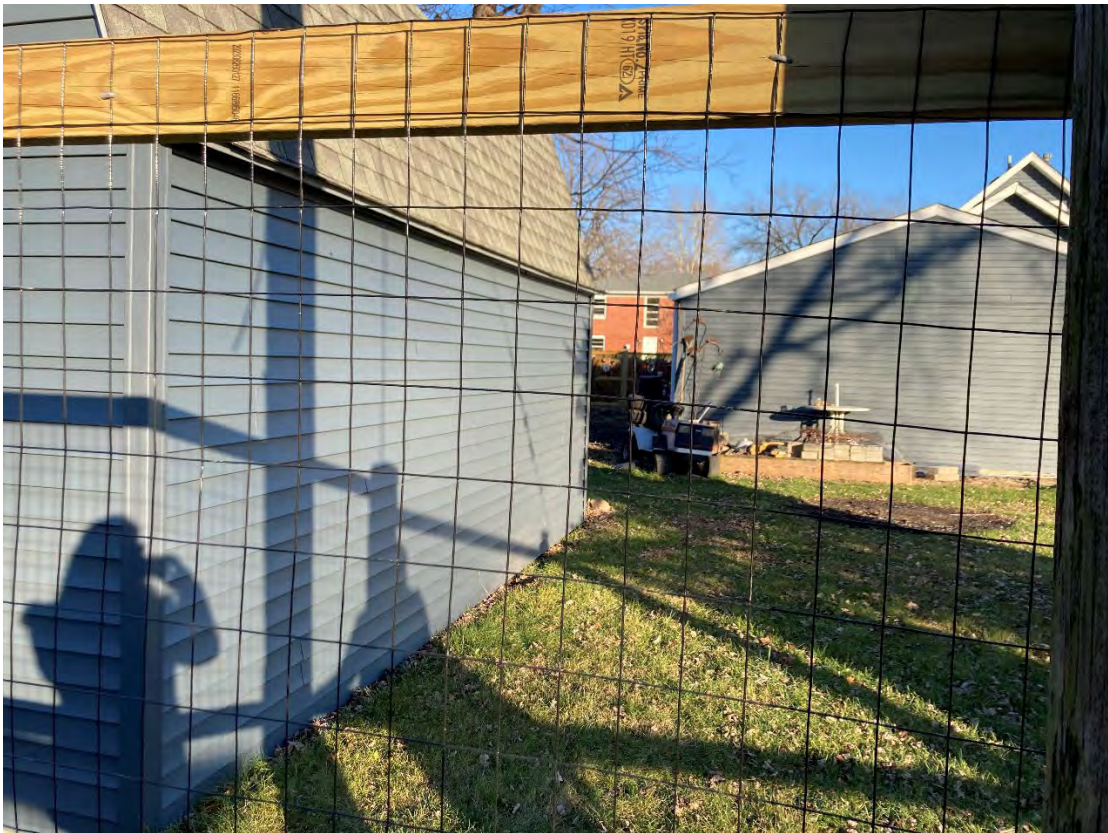


Aerial view of subject property. Yellow lines are approximate property lines.

Fence as-constructed



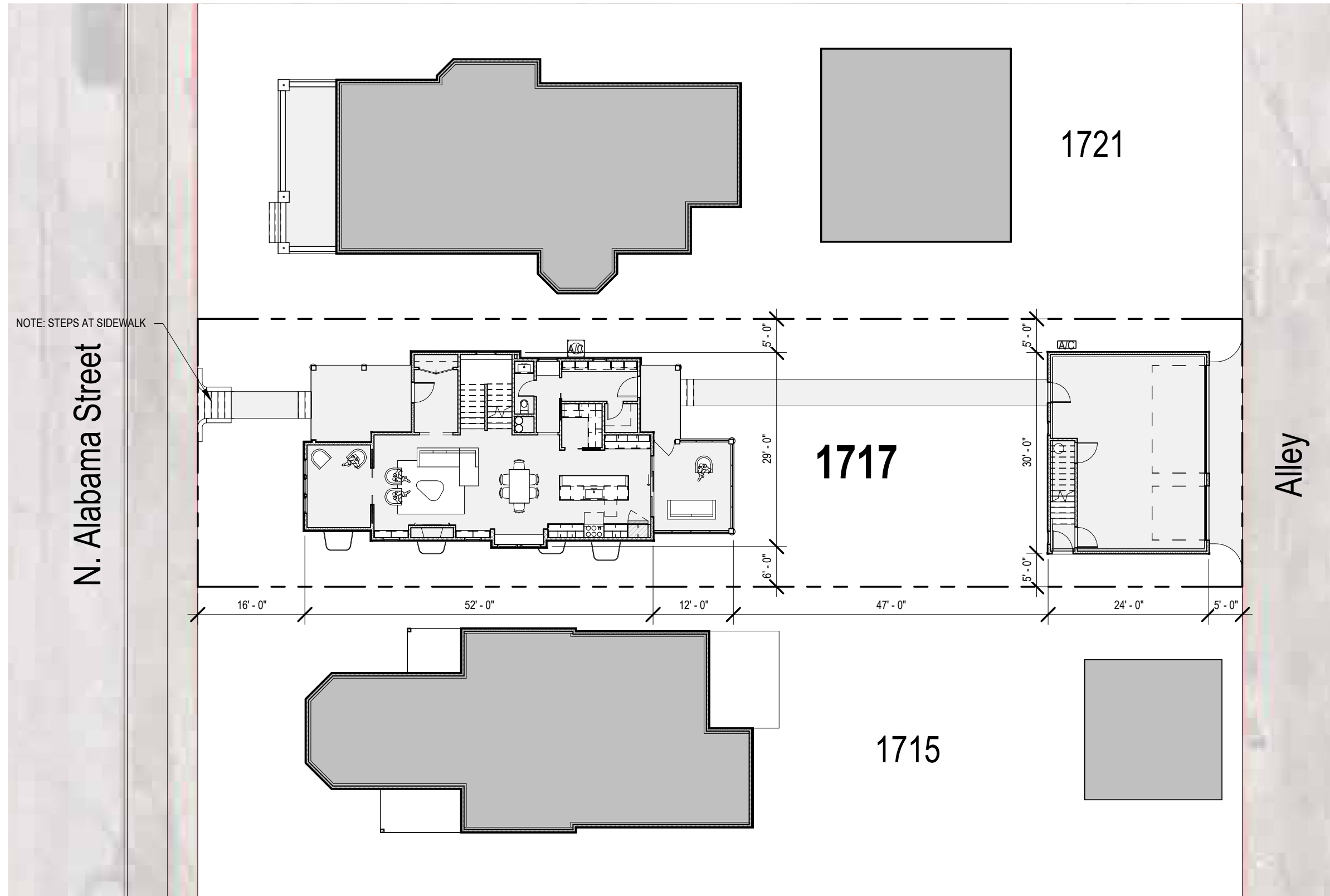






**NOVEMBER 6, 2024
SUBMITTALS**

**2024-COA-290 AMENDED (HMP)
1717 NORTH ALABAMA STREET**



NOTE: STEPS AT SIDEWALK

N. Alabama Street

Alley

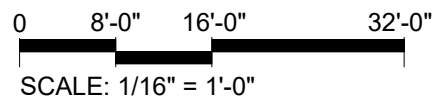
1721

1717

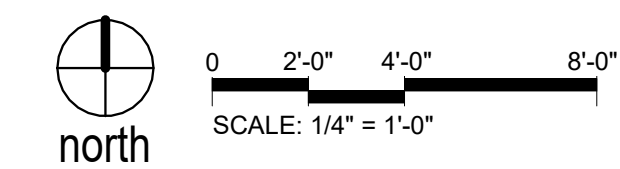
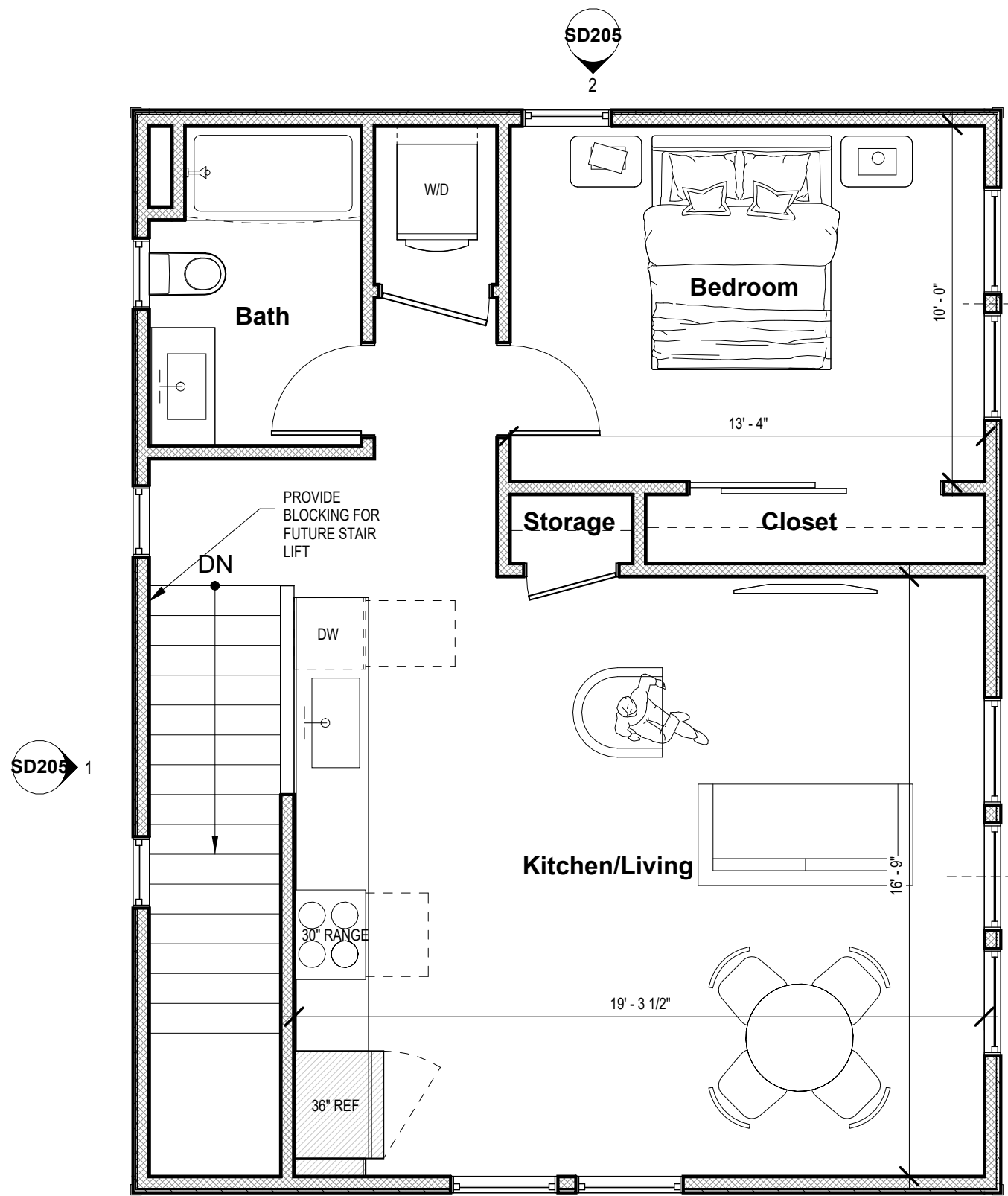
1715



Floor Plan
1 Site Plan
1/16" = 1'-0"



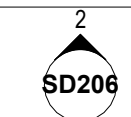
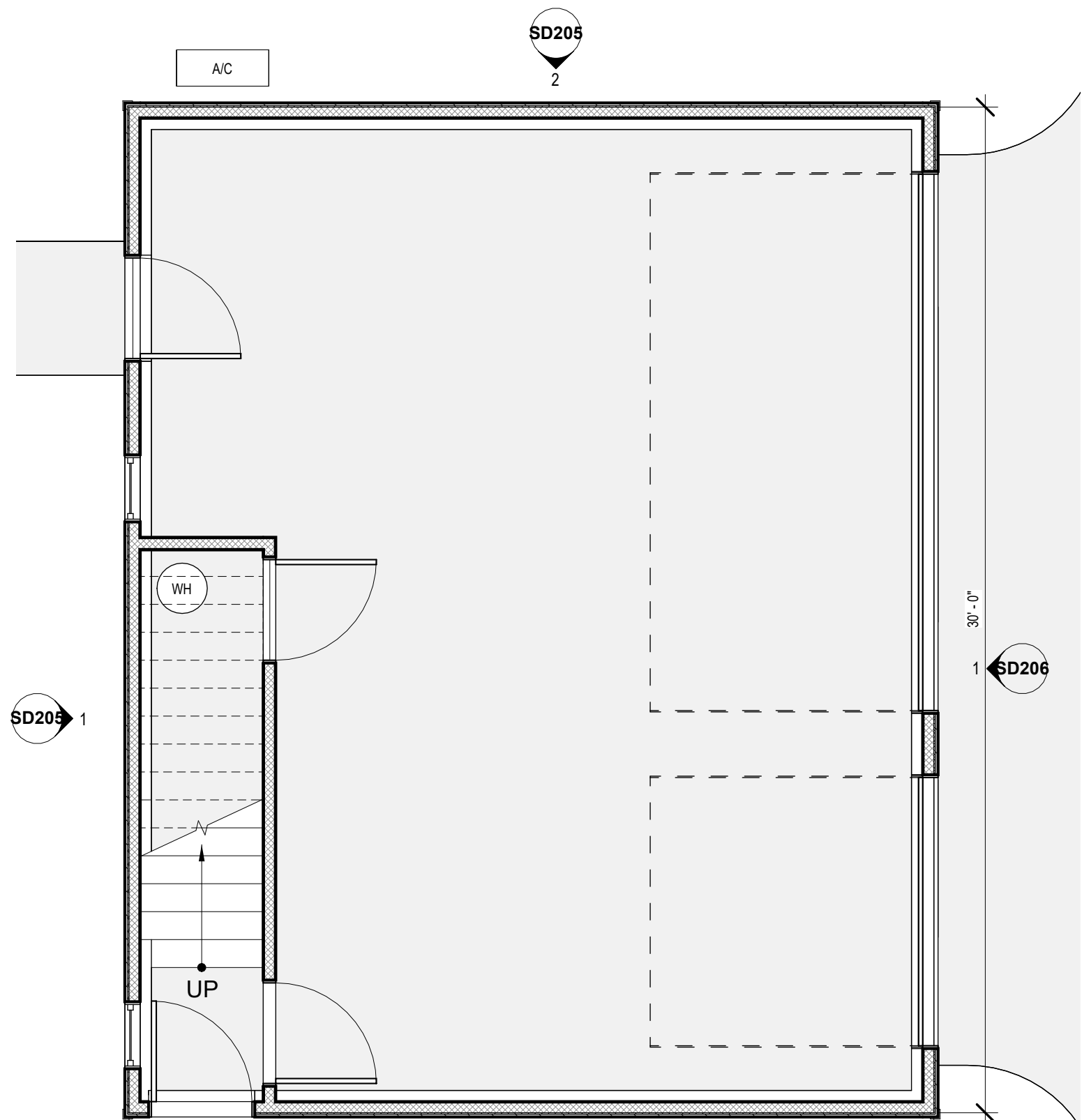
Floor Areas	
Name	Area
First Floor	1200 SF
Second Floor	1172 SF
Basement	1192 SF
House	3564 SF
Garage	720 SF
Carriage House	720 SF
Garage	1440 SF
Grand total	5004 SF



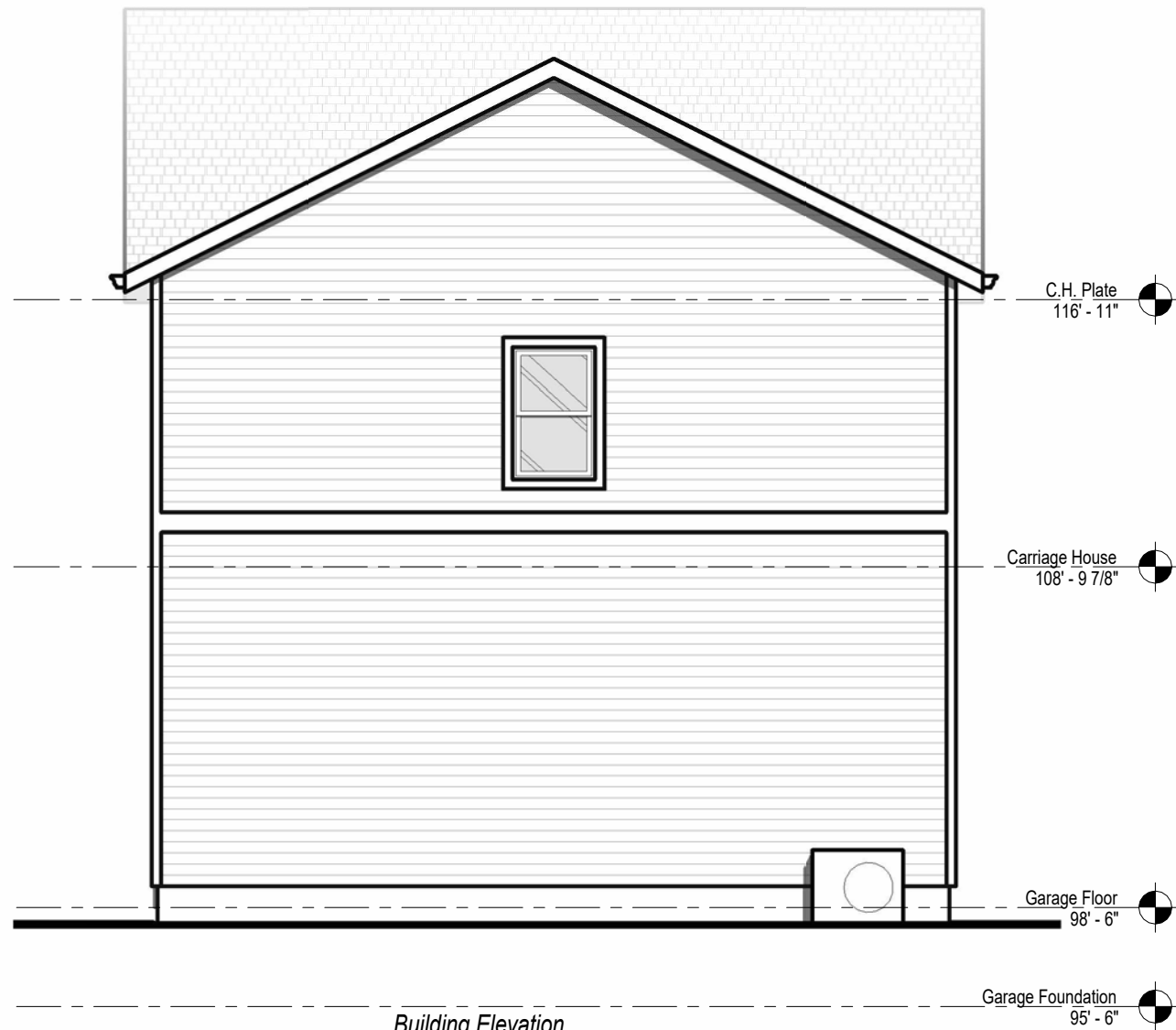
Floor Plan
2 Carriage House
 1/4" = 1'-0"

Floor Areas	
Name	Area
First Floor	1200 SF
Second Floor	1172 SF
Basement	1192 SF
House	3564 SF

Garage	720 SF
Carriage House	720 SF
Garage	45 1440 SF
Grand total	5004 SF



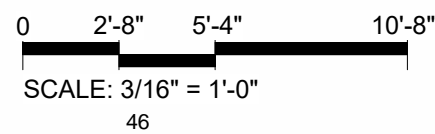
Floor Plan
1 Garage Floor
 1/4" = 1'-0"



Building Elevation
2 Garage North
 3/16" = 1'-0"



Building Elevation
1 Garage West
 3/16" = 1'-0"

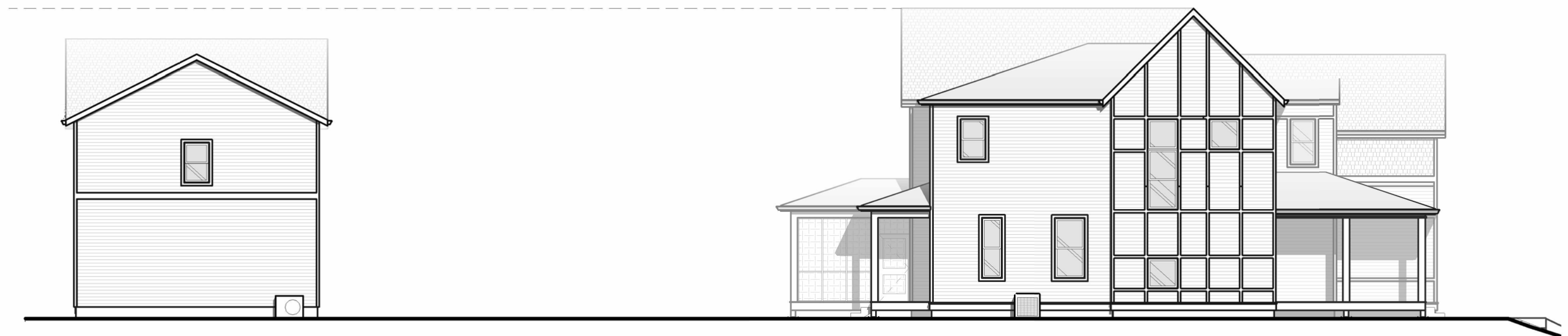




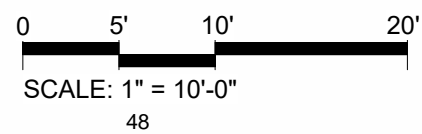
Building Elevation
2 Garage South
 3/16" = 1'-0"



Building Elevation
1 Garage East
 3/16" = 1'-0"



Building Elevation
1 North Site
1" = 10'-0"



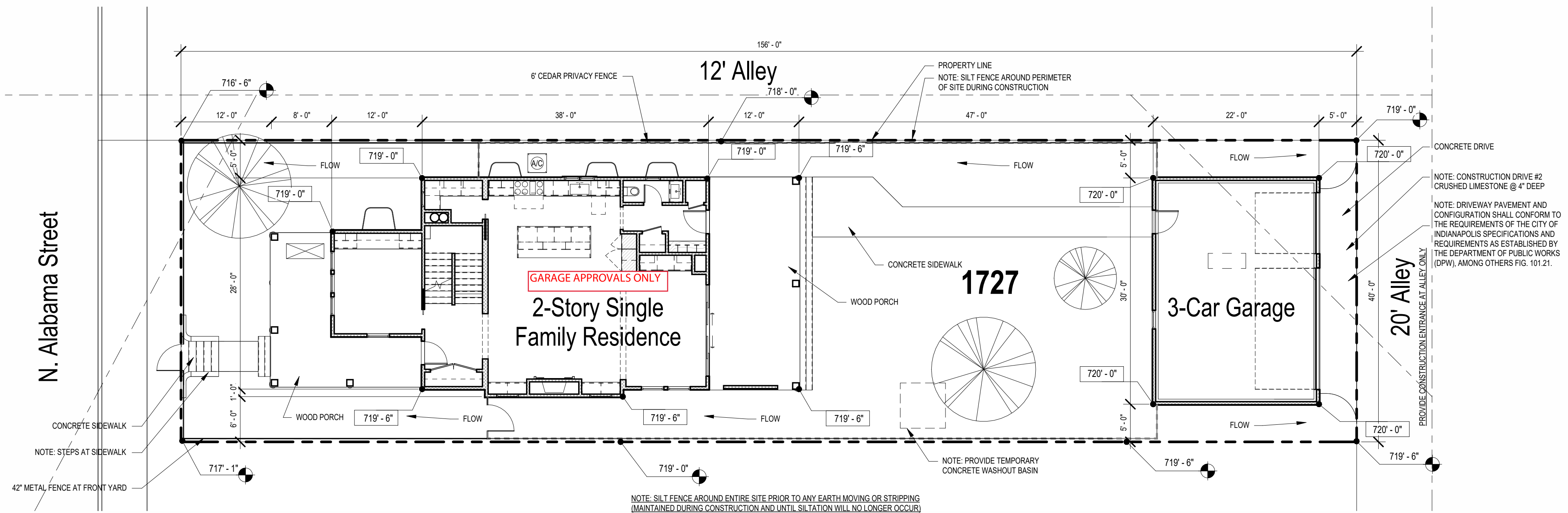


2024-COA-341 (HMP)

1727 NORTH ALABAMA STREET

Residence Indianapolis

Legal Description:
 Lot #115 in Allen and Roots North Addition, and addition to the City of Indianapolis in Marion County, Indiana as per the plat thereof recorded in Plat Book 3, page 129 in the Office of the Recorder of Marion County



GARAGE APPROVALS ONLY
 2-Story Single Family Residence

1727

3-Car Garage

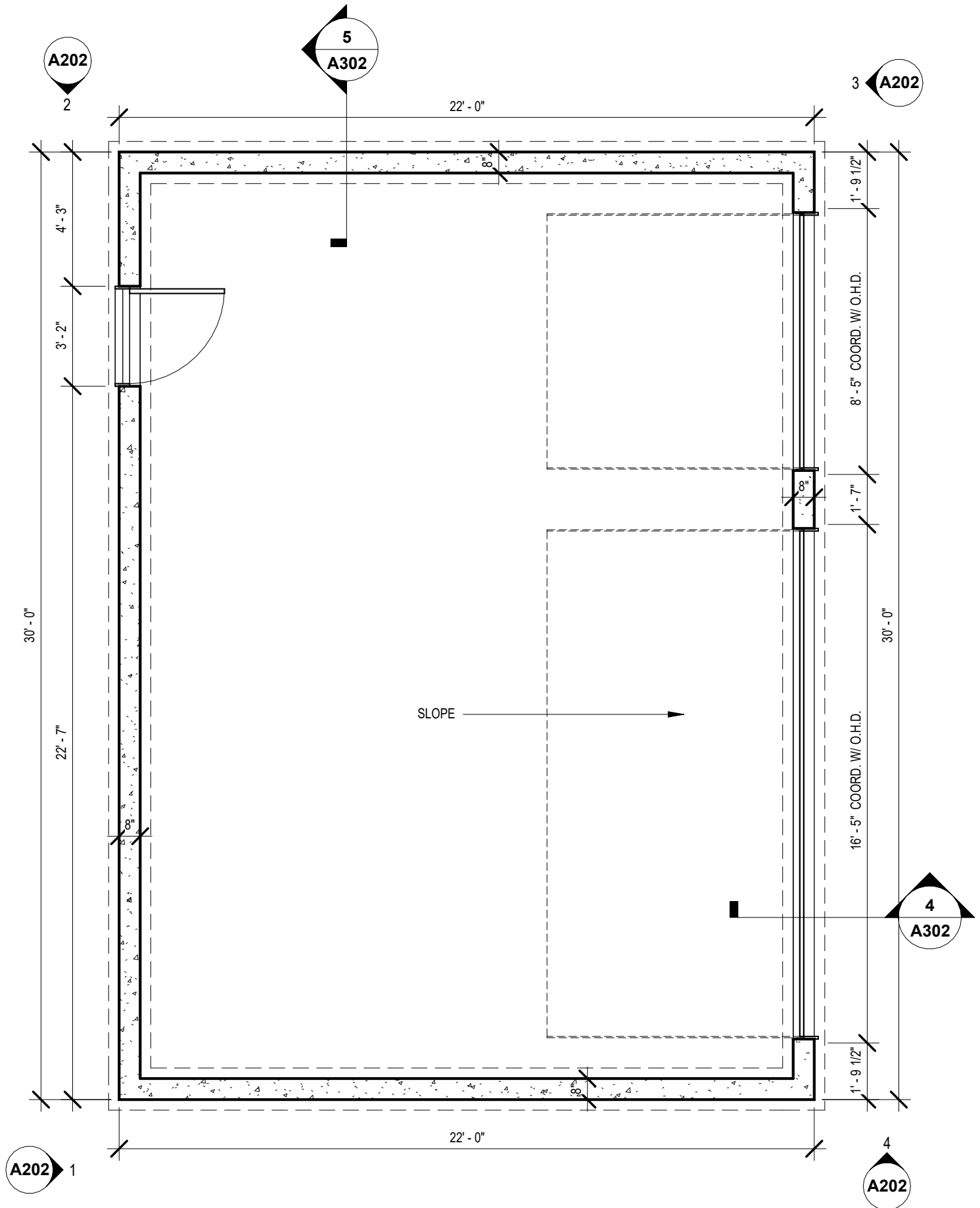
Floor Plan
1 Site Plan
 1" = 10'-0"

0 5' 10' 20'
 SCALE: 1" = 10'-0"

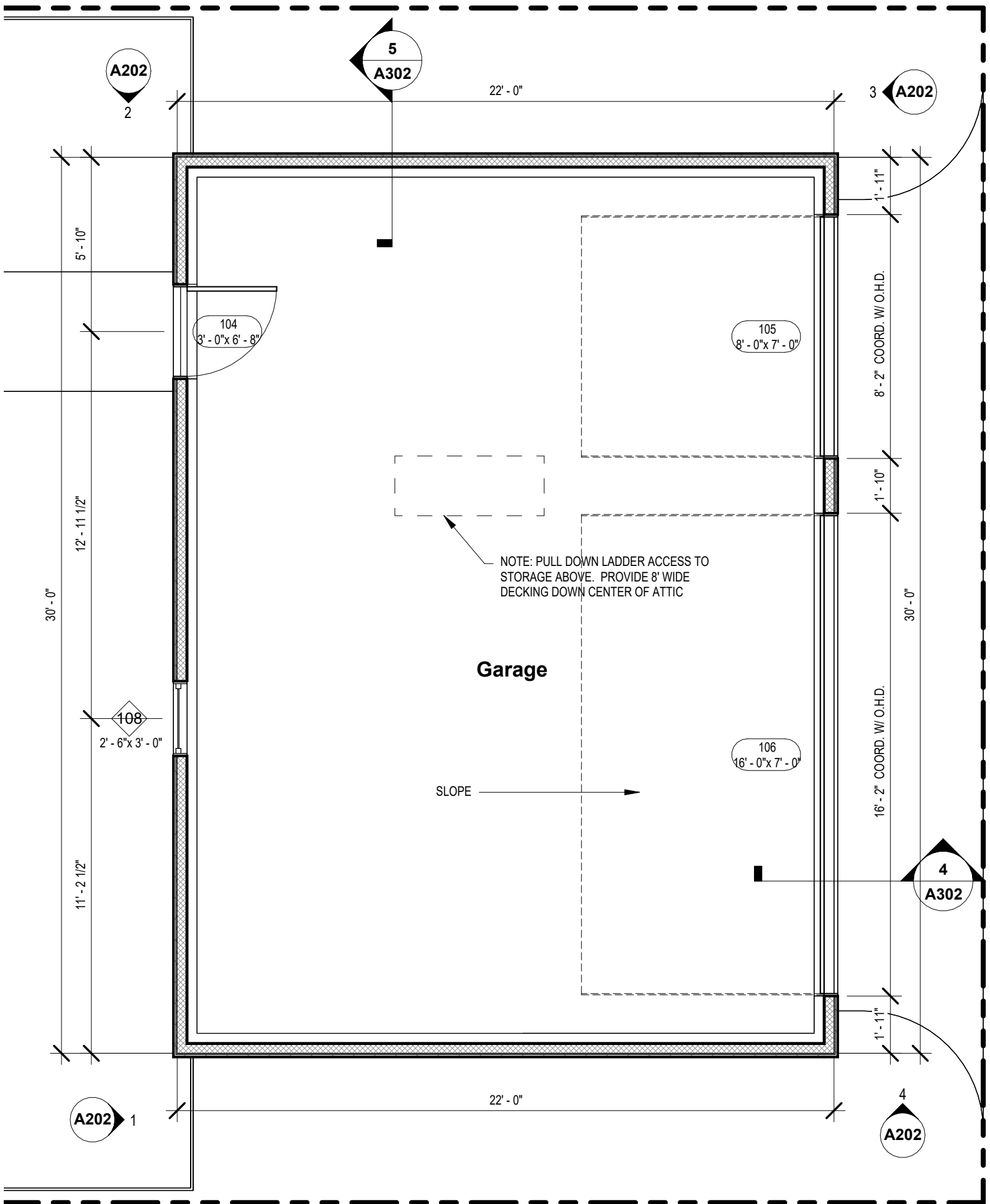
north

Site Areas	
Name	Area
Concrete Front Sidewalk	48 SF
Wood Front Porch	240 SF
Wood Back Porch	386 SF
Concrete Rear Sidewalk	220 SF
Concrete Apron	152 SF
First Floor	1250 SF
Garage	660 SF

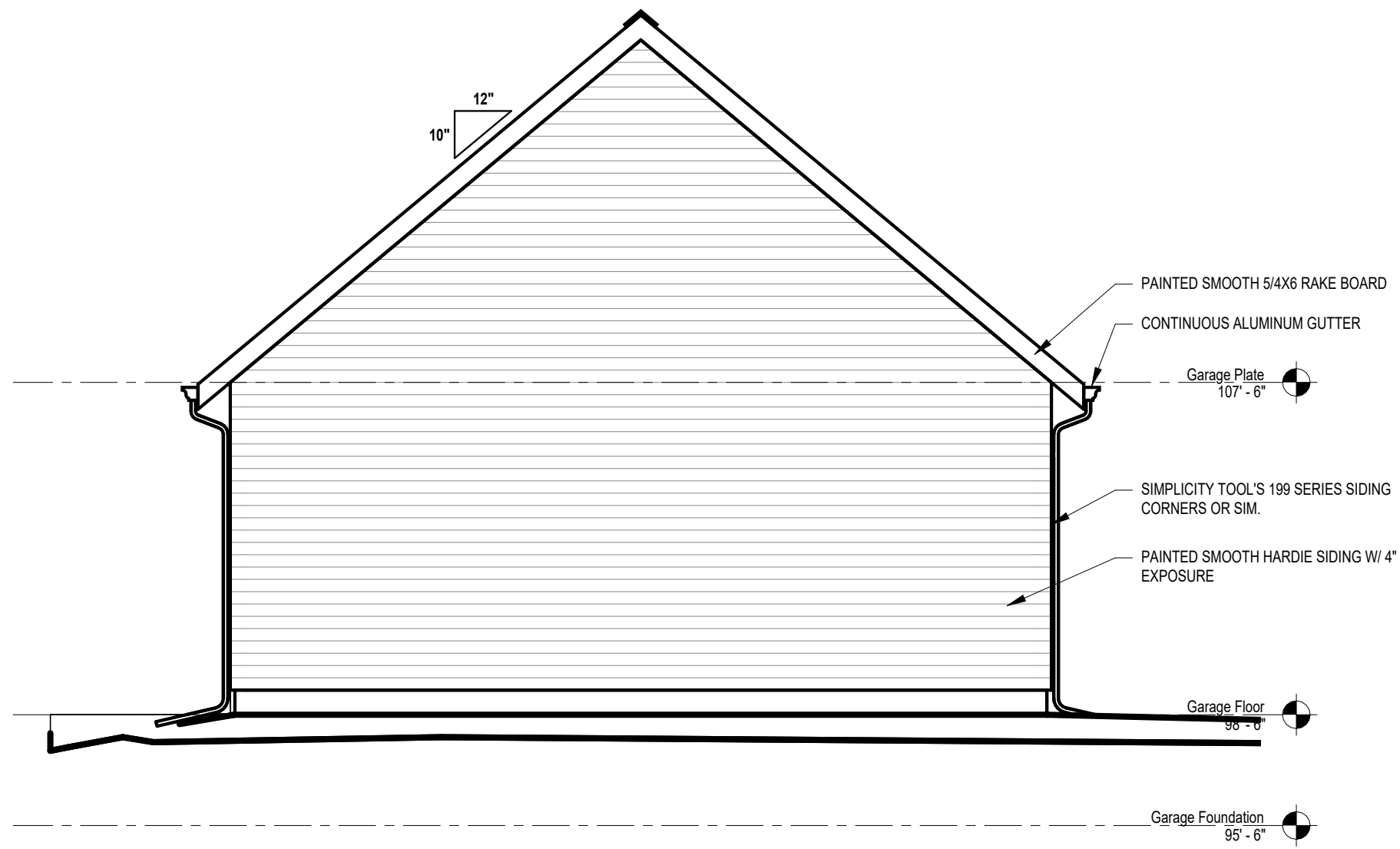
Floor Areas	
Name	Area
First Floor	1250 SF
Basement	1232 SF
Second Floor	1232 SF
House	3714 SF
Garage	660 SF
Grand total	4374 SF



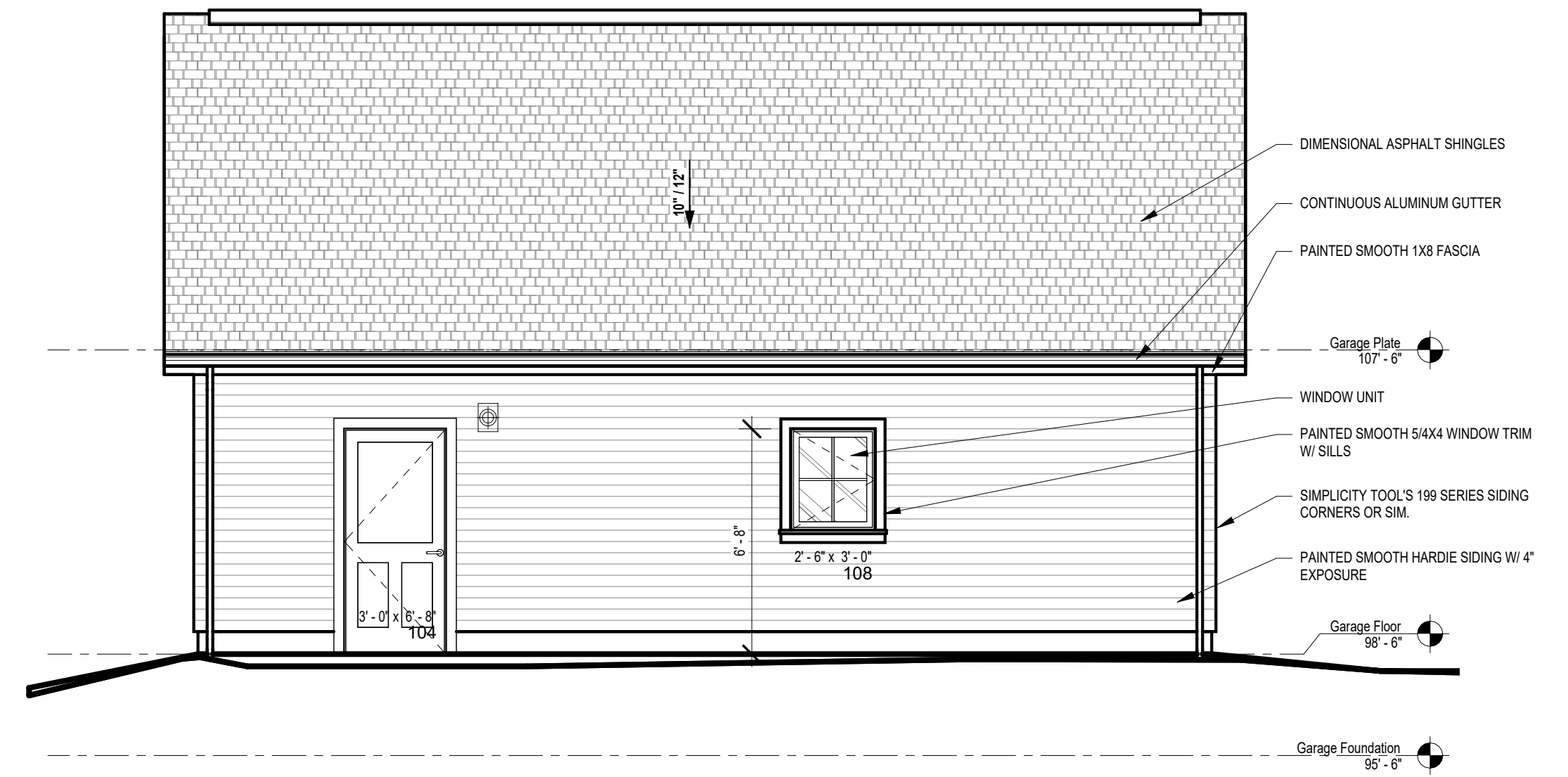
Floor Plan
2 Garage Foundation
 1/4" = 1'-0"



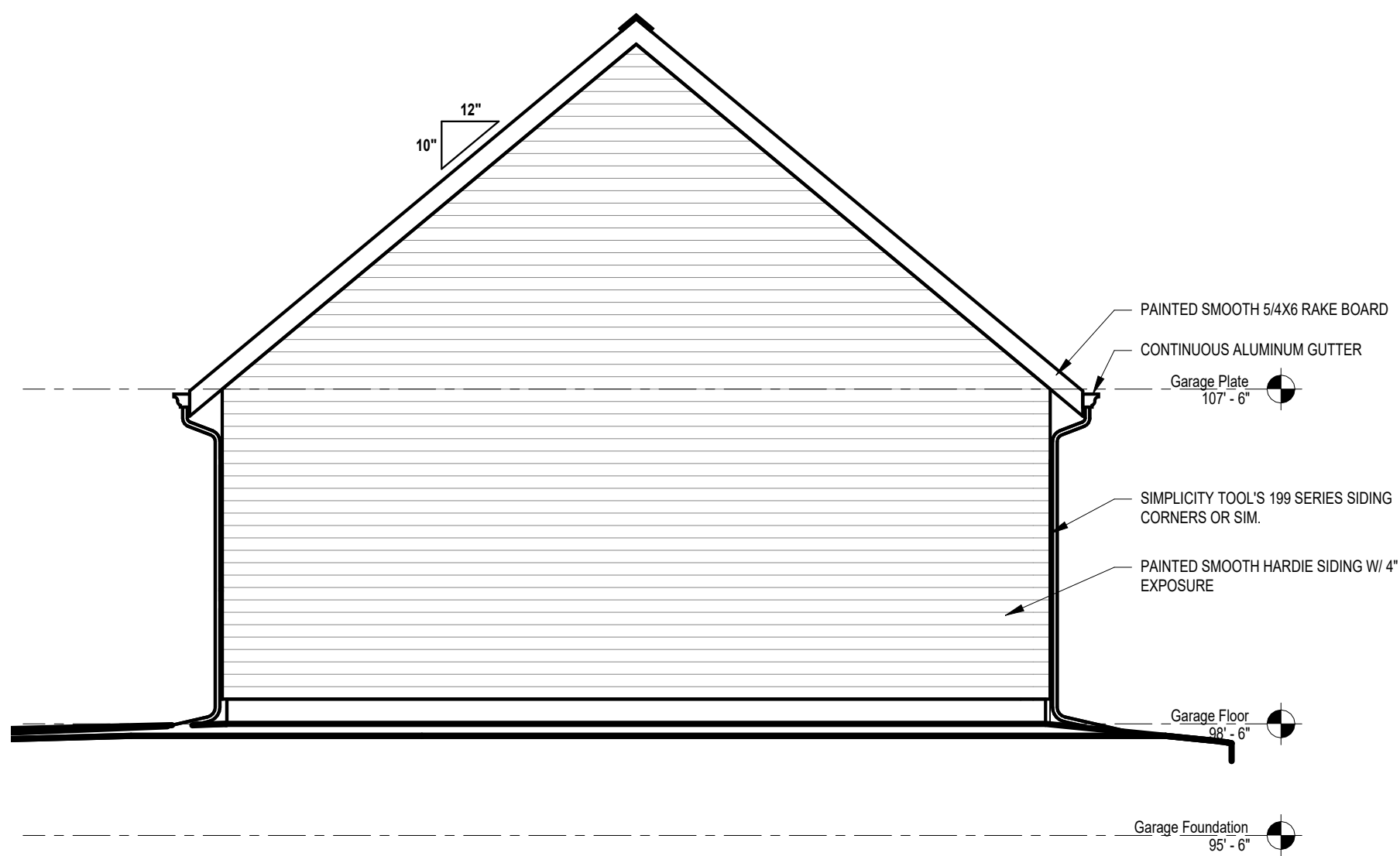
Floor Plan
2 Garage Plan
 1/4" = 1'-0"



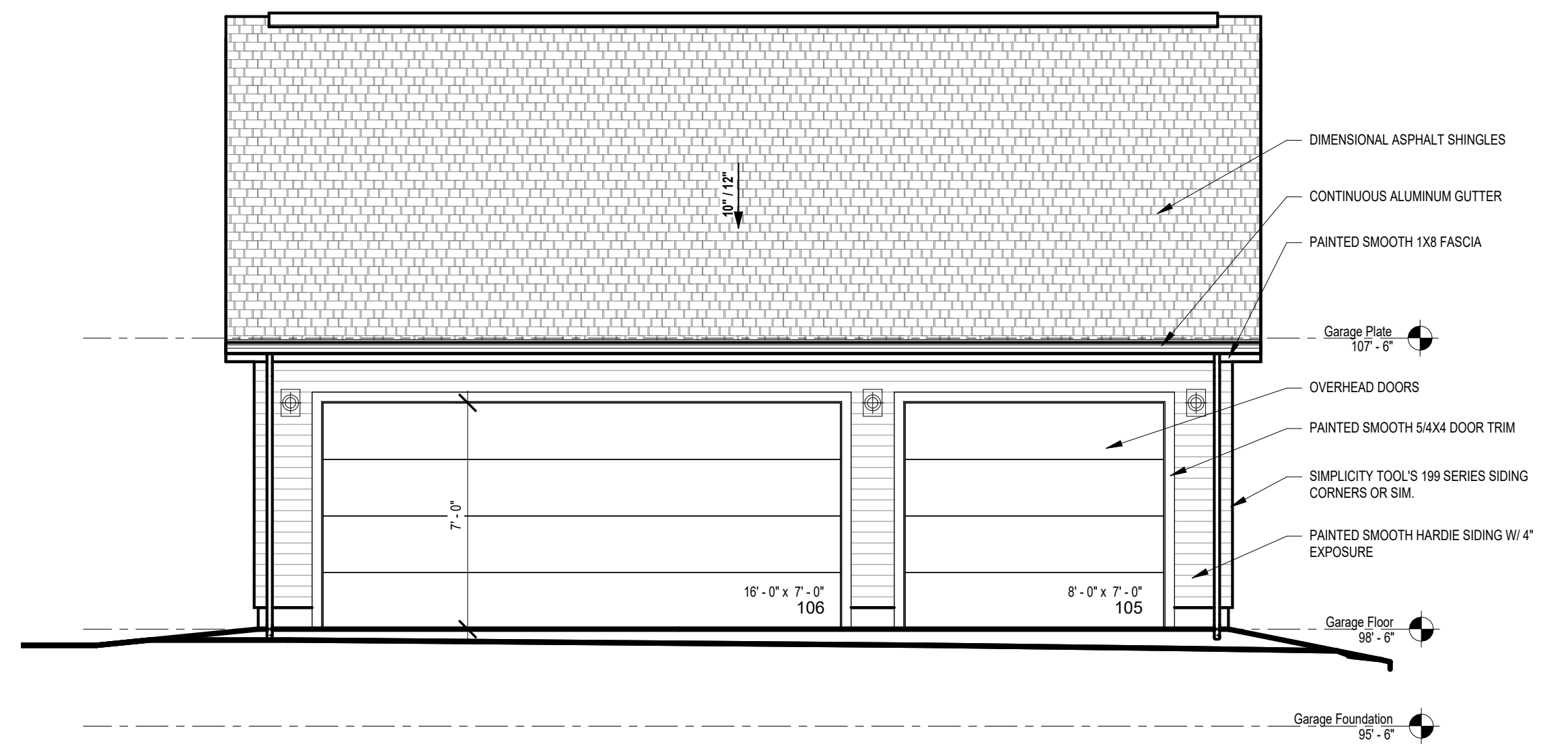
Building Elevation
2 Garage North
 1/4" = 1'-0"



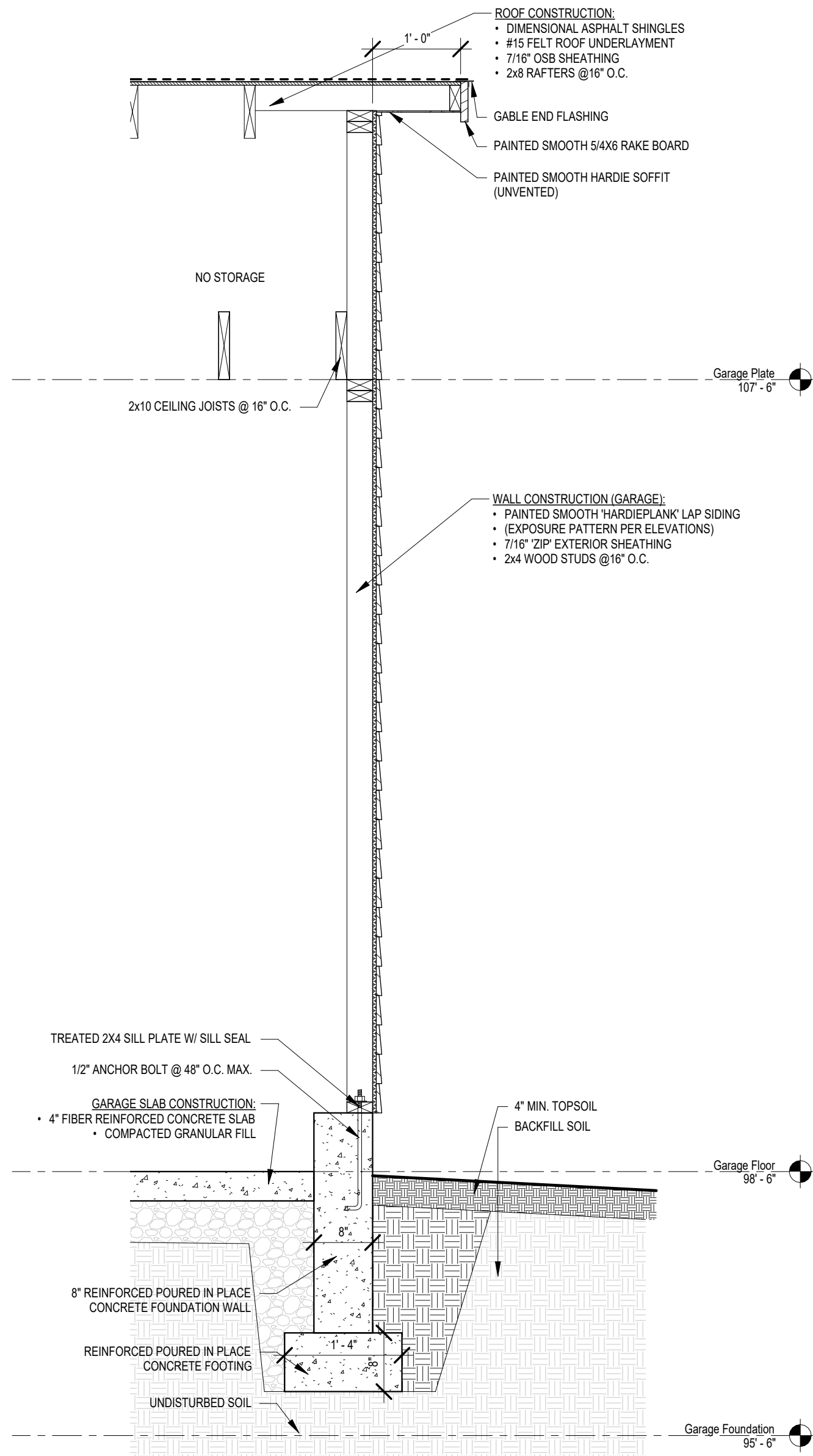
Building Elevation
1 Garage West
 1/4" = 1'-0"



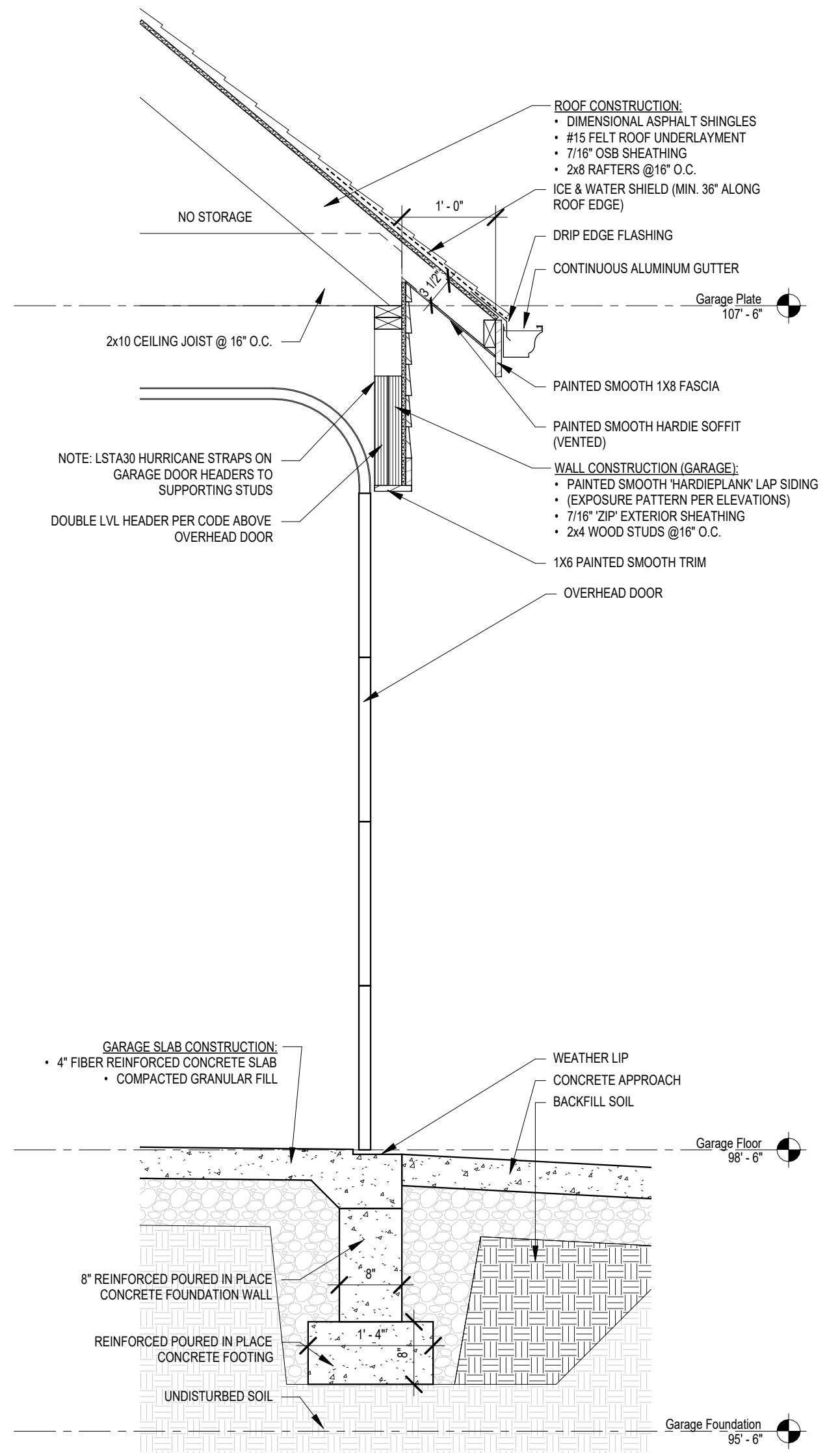
Building Elevation
4 Garage South
 1/4" = 1'-0"



Building Elevation
3 Garage East
 1/4" = 1'-0"



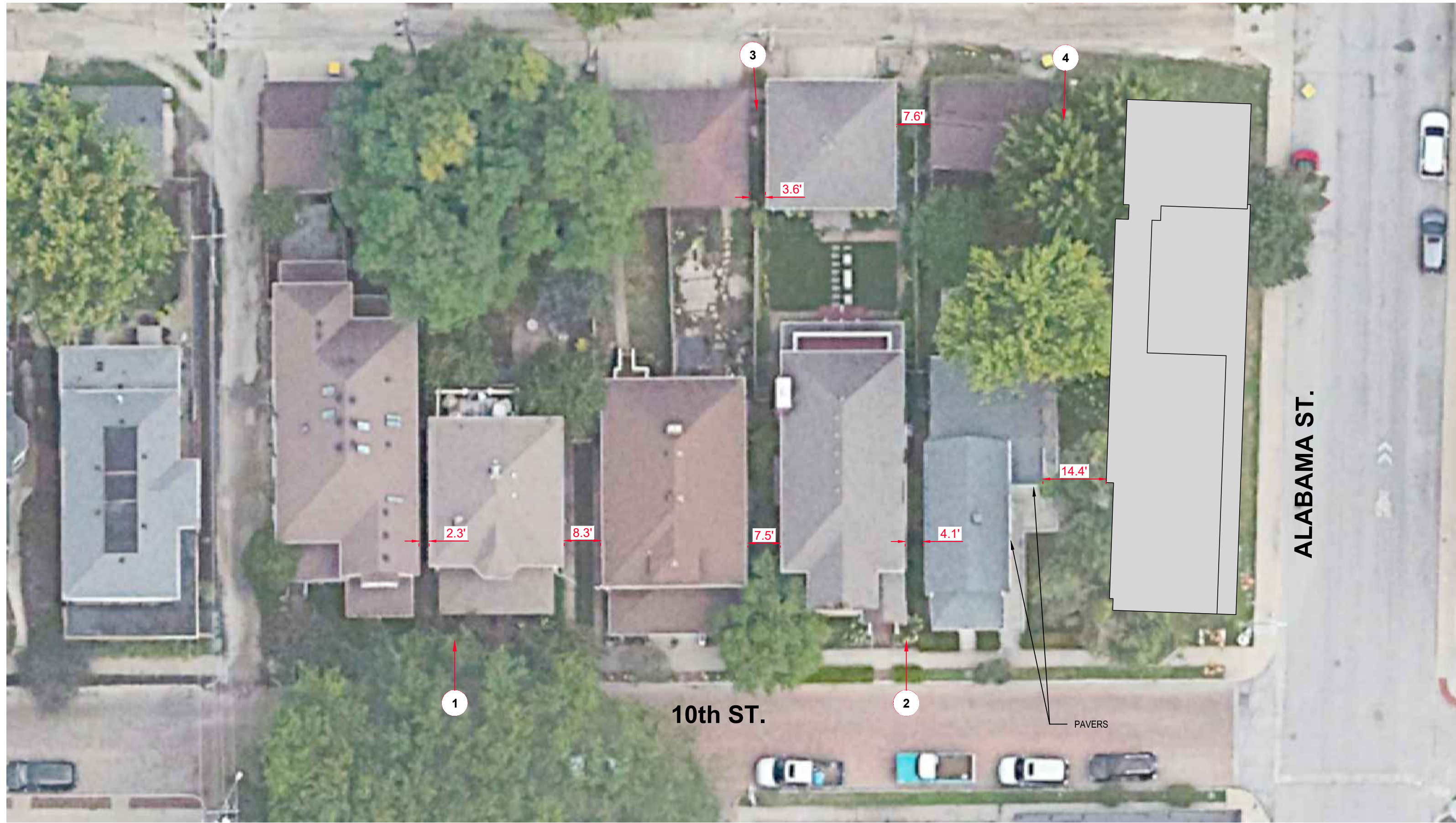
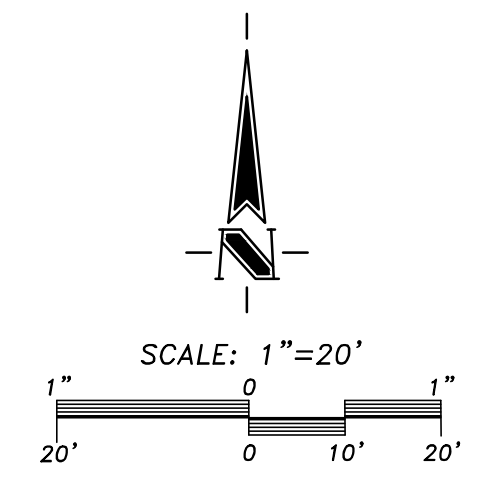
Wall Section
5 Garage Rake
 3/4" = 1'-0"



Wall Section
4 Garage Door
 3/4" = 1'-0"

**2021-COA-613 AMENDED (SJ)
244 EAST 10TH STREET**

CABINET	SLIDE
INSTRUMENT NO.	



RECEIVED
OCTOBER 02, 2024
 INDIANAPOLIS HISTORIC
 PRESERVATION COMMISSION

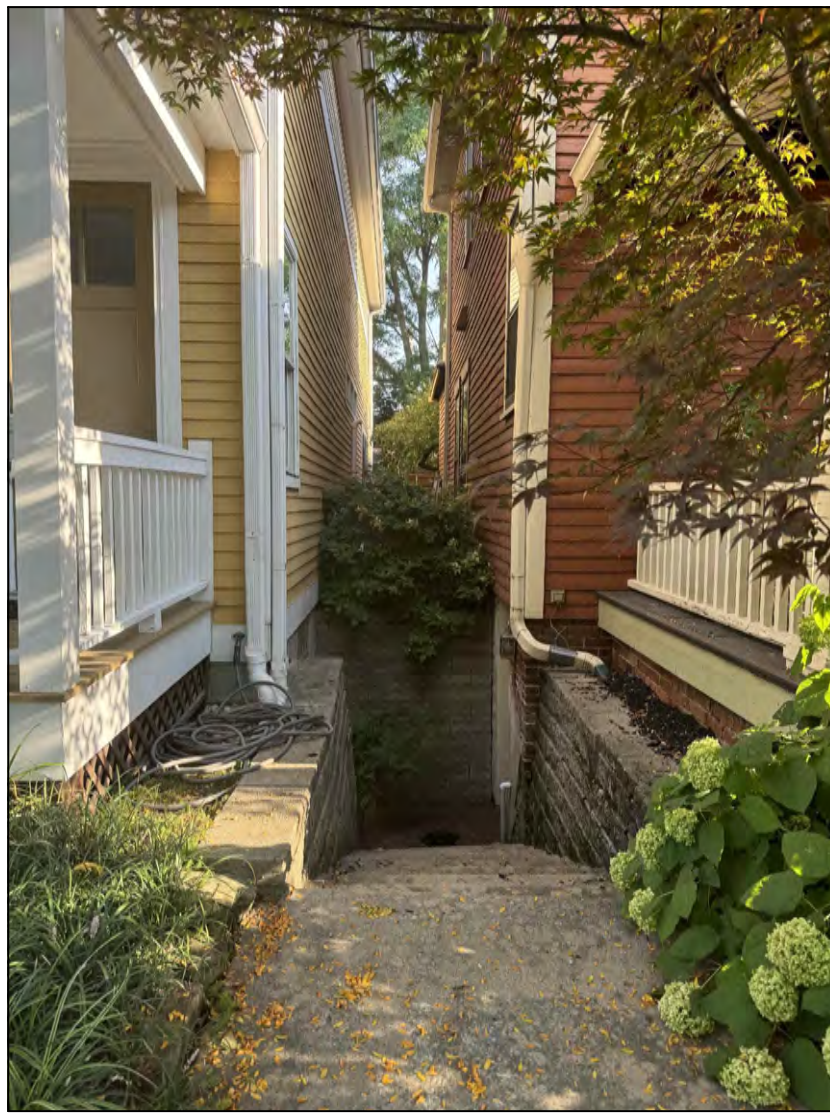


PHOTO 1



PHOTO 2



PHOTO 3

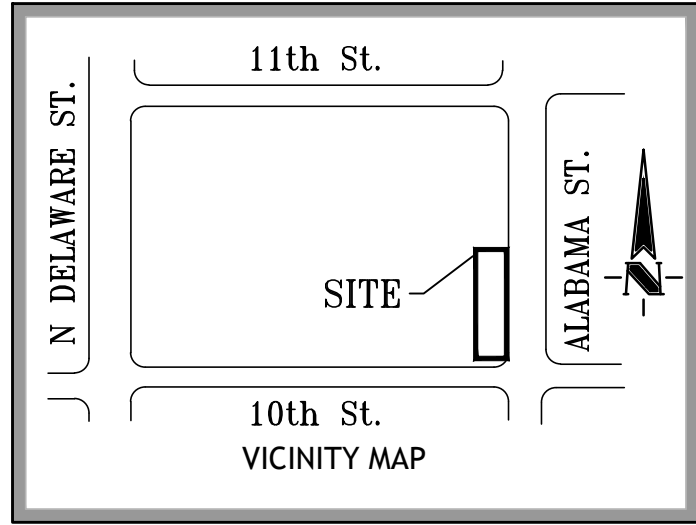


PHOTO 4

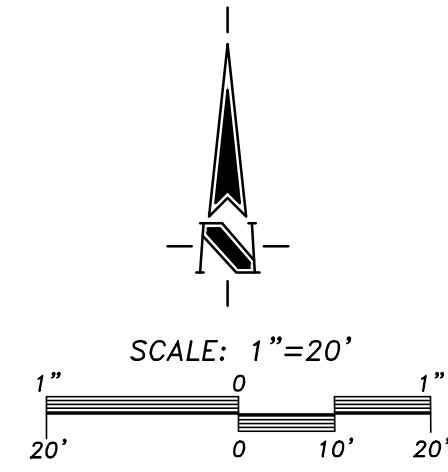
EATON CUSTOM HOMES
 8677 BASH ST.
 INDIANAPOLIS, IN. 46256
 PHONE: 317-760-9346

1990 N Meridian Rd - Suite A
 GREENFIELD, IN 46140
 OFFICE: 317-462-4055

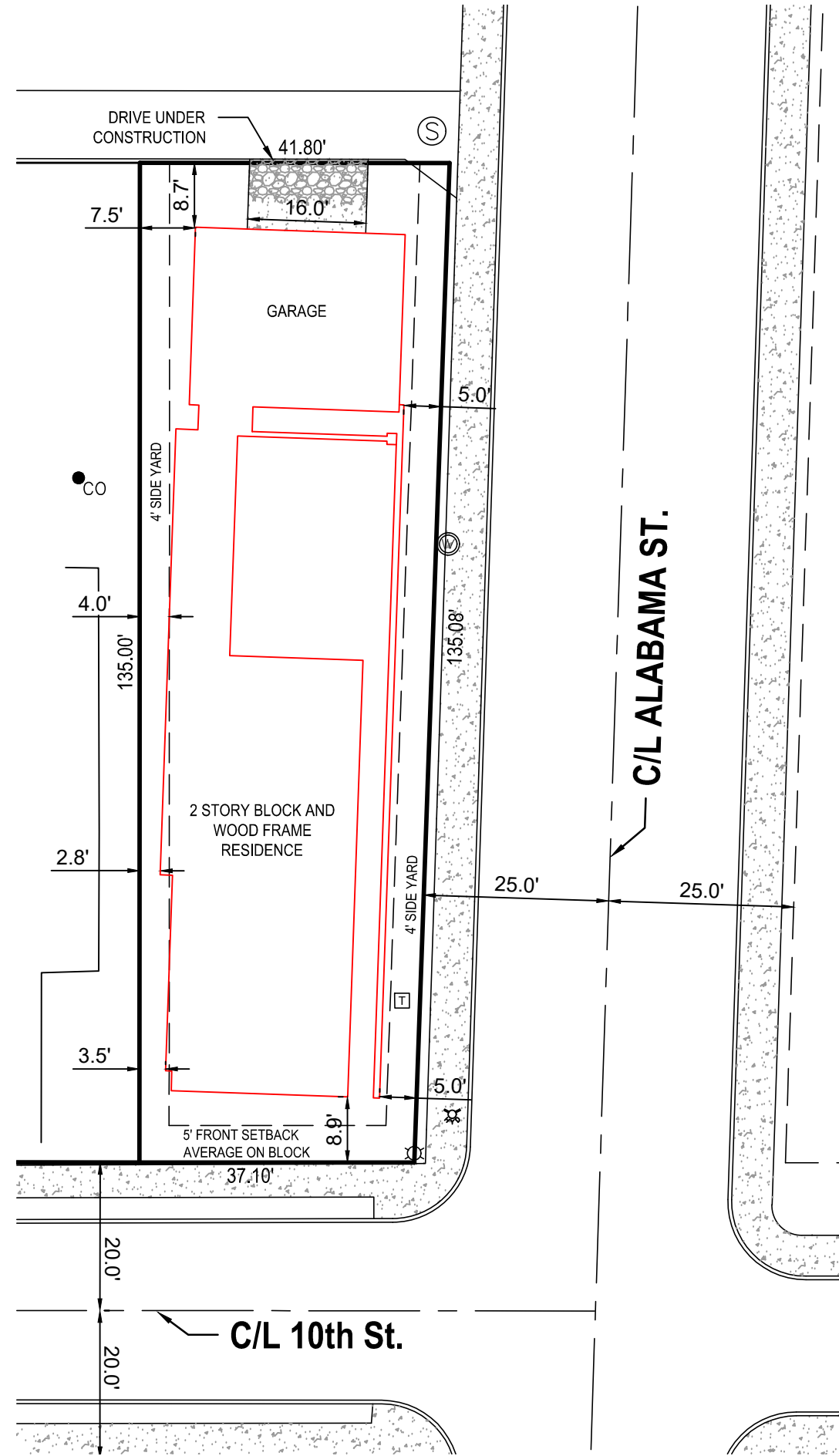
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LOT NO. 1
MORRISONS
Volume 1, Page 205
MARION COUNTY, INDIANA



NOTE: THE EXISTING FOUNDATION AND WOOD FRAME IS IN A SPECIAL FLOOD HAZARD IN ZONE "X" PER THE FEMA FLOOD INSURANCE RATE 18097C0144F MAP NUMBER, DATED APRIL 19, 2016. THE ACCURACY OF THIS FLOOD HAZARD STATEMENT IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE



PROPERTY ADDRESS:
244 EAST 10th STREET
INDIANAPOLIS, IN. 46202

RECEIVED

OCTOBER 02, 2024

INDIANAPOLIS HISTORIC
PRESERVATION COMMISSION

NOTE: This report is designed for use by a title insurance company with residential loan policies. No corner markers were set and the location data herein is based on limited accuracy measurements. Allowable perimeter distances and side tie variances for parcels in platted subdivisions, one foot more or less, all others two feet more or less. Locations over one hundred feet from the house or exterior boundary may be estimated. Neither this company nor this surveyor assume any responsibility regarding the location or existence of any underground use; this survey only shows readily visible surface evidence. Fence line locations are approximate. Unless otherwise noted, no substantial physical evidence of possession was observed along perimeter lines of this tract and only record perimeter dimensions are shown.

I, the undersigned Registered Land Surveyor, hereby certify that I have conducted a survey to establish A Foundation Location Report of existing improvements and to the best of my knowledge, information and belief this drawing is an accurate representation of that survey of the following described real estate:

Lot Number 1 Morrisons Subdivision Sec.36-T16N-R3E, Center Township, Marion County, Indiana as per plat thereof reordered in Volume 1 Page 205 in the office of the recorder of Marion County, Indiana

CERTIFIED: 9-4-2024

Kenneth Gregory Garrison

KENNETH GREGORY GARRISON REGISTERED
LAND SURVEYOR, RLS29300014



REVISION NO:	
DATE:	/ /

1900 N Meridian Road
Suite A
GREENFIELD, IN 46140
OFFICE: 317-462-4055

Prepared For:
EATON CUSTOM HOMES
8677 BASH ST.
INDIANAPOLIS, IN. 46256
PHONE: 317-760-9346

Project Name:
EATON HOMES
E 10th STREET

Sheet Title
MARION COUNTY
SURVEY LOCATION
REPORT

DATE:	9-4-2024
DRAWN BY:	MW
CHECKED BY:	KG
SCALE:	1" = 20'
PROJECT NO:	23-390

SHEET NO:
1

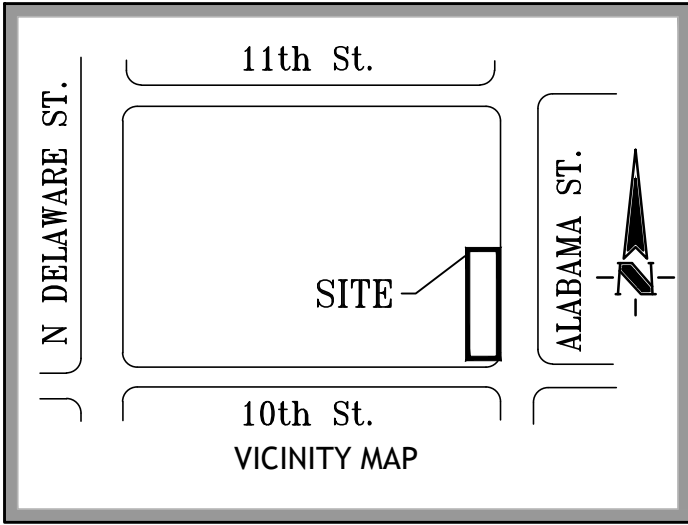
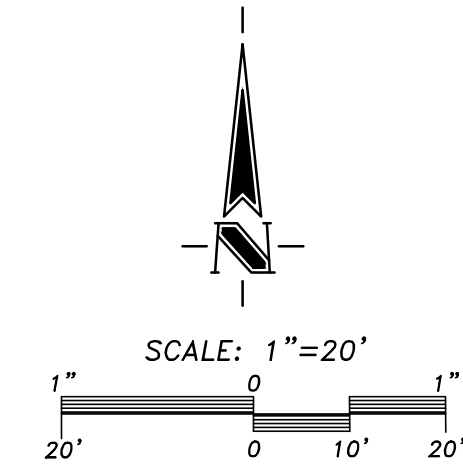
RECEIVED

OCTOBER 02, 2024

INDIANAPOLIS HISTORIC PRESERVATION COMMISSION

LOT NO. 1 MORRISONS Volume 1, Page 205 MARION COUNTY, INDIANA

RESPONSIBLE FOR EROSION CONTROL: EATON & STIPP 8677 BASH ST. INDIANAPOLIS, IN. 46256 PHONE: 317-760-9346



- NOTE: 1.) EROSION CONTROL MEASURE MUST BE FUNCTIONAL AND MAINTAINED THROUGH CONSTRUCTION. 2.) SEDIMENT DISCHARGE AND TRACKING FROM LOT SHALL BE MINIMIZED. 3.) ADJACENT LOTS DISTURBED BY AN INDIVIDUAL LOT OPERATOR MUST BE REPAIRED AND STABILIZED. 4.) CHANGES OR DEVIATIONS TO THIS PLAN SHALL BE SUBMITTED TO THE CITY OF INDIANAPOLIS FOR APPROVAL. 5.) THE INDIVIDUAL LOT OPERATOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURE UNTIL THE LOT IS STABILIZED.

CONSTRUCTION DRIVE: TEMPORARY CONSTRUCTION DRIVE TO COMPLY WITH CITY OF INDIANAPOLIS ORDINANCES.

BENCH MARK INFORMATION: TBM = SANITARY MANHOLE ELEVATION = 721.18

NOTE: THE PROPOSED RESIDENCE IS IN A SPECIAL FLOOD HAZARD IN ZONE "X" PER THE FEMA FLOOD INSURANCE RATE 18097C0144F MAP NUMBER, DATED APRIL 19, 2016. THE ACCURACY OF THIS FLOOD HAZARD STATEMENT IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE

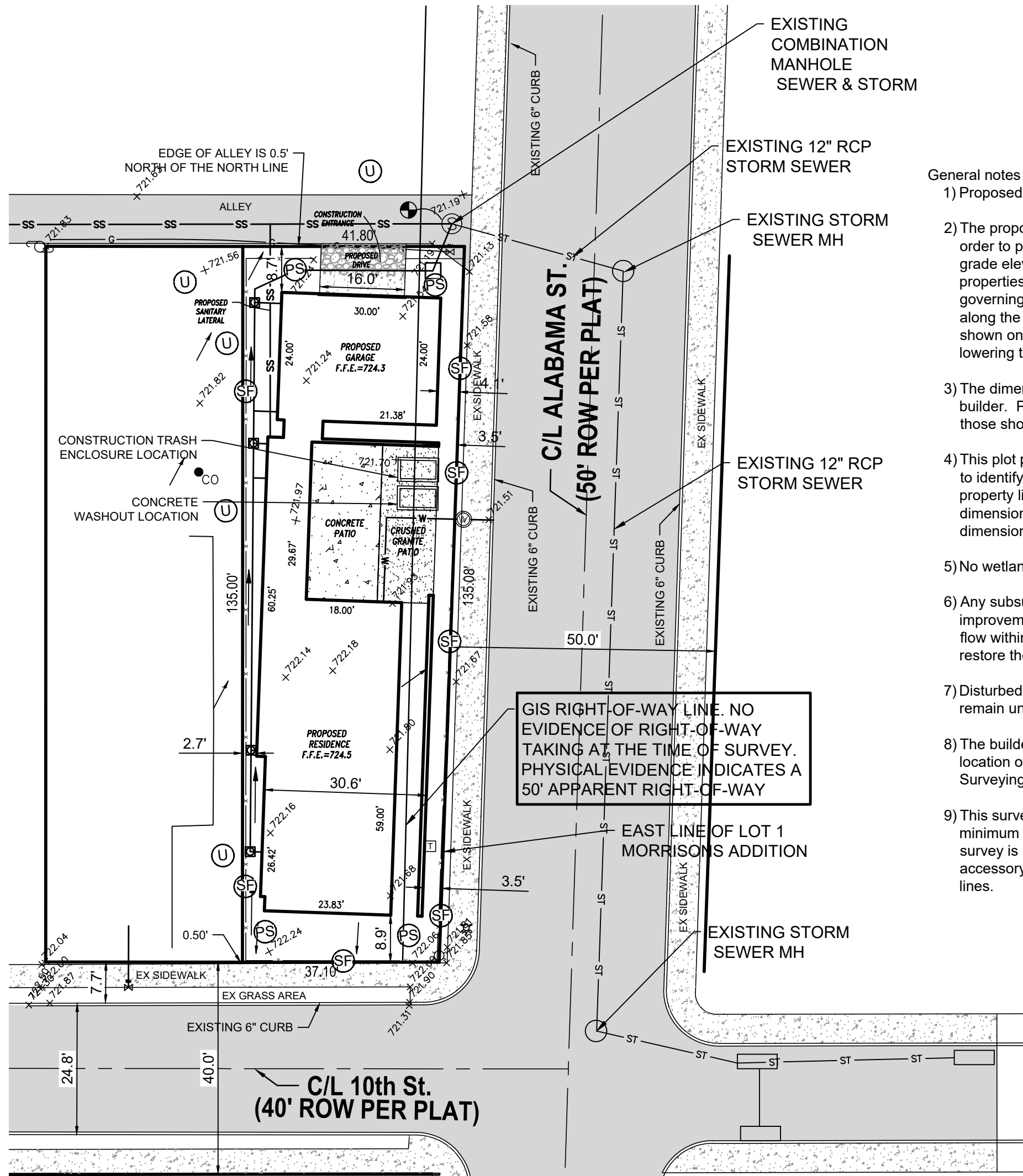
NOTE: ALL STOCK PILES TO BE REMOVED

NOTE: ANY DISTURBED AREA LEFT UNDISTURBED FOR 15 DAYS SHALL REQUIRE TEMPORARY SEEDING

LEGEND

- SB DENOTES SOIL BORE
x 00.0 DENOTES EXISTING GRADE ELEVATIONS
000.0 DENOTES PROPOSED FINISH GRADE ELEVATION
Arrow DENOTES PROPOSED DRAINAGE FLOW
TBM DENOTES TEMPORARY BENCHMARK
U DENOTES UNDISTURBED AREA
PS DENOTES PERMANENT SEEDING
SB DENOTES STRAW BALE DAM (OR APPROVED EQUAL)
SF DENOTES SILT FENCE (OR APPROVED EQUAL)
T DENOTES TEMPORARY CONSTRUCTION ENTRANCE (EXISTING DRIVE)

NOTE: CONTRACTOR TO COMPLY WITH ALL APPLICABLE SECTIONS OF THE "INDIANA HANDBOOK FOR EROSION CONTROL IN DEVELOPING AREAS" PUBLISHED BY THE DIVISION OF SOIL CONSERVATION, INDIANA DEPARTMENT OF NATURAL RESOURCES, OCTOBER 1992, FOR THE PROPER INSTALLATION AND MATERIALS USED FOR ALL EROSION CONTROL MEASURES SHOWN ON THESE PLANS.



SEE SHEET 2 FOR GRADING PLAN
SEE SHEET 2 FOR ROOF DRAIN OUTLET INVERTS & DETAIL

- General notes: 1) Proposed 1st floor elevation of ADDITION shall be 724.5. 2) The proposed finish floor and finish grade elevations shown are minimum elevations in order to provide positive surface drainage away from the proposed residence. 3) The dimensions shown on the proposed residence are based upon plans provided by the builder. 4) This plot plan has been prepared for use in obtaining a building permit and is not intended to identify lot or property lines. 5) No wetlands shall be disturbed during or after the construction of the site improvements. 6) Any subsurface drainage tiles encountered during the construction of the site improvements shall be protected from damage and if necessary rerouted with the drainage flow within perpetuated. 7) Disturbed areas are to be re-seeded as soon as practical however disturbed areas which remain unworked for longer than 15 days shall be treated with temporary seeding. 8) The builder and/or any underground site contractor shall call Indiana 811 to verify the location of the underground utilities on this site and report any conflicts to M J Gibson Land Surveying prior to commencing work. 9) This survey shall not act as a retracement survey ("boundary survey").

GIS RIGHT-OF-WAY LINE. NO EVIDENCE OF RIGHT-OF-WAY TAKING AT THE TIME OF SURVEY. PHYSICAL EVIDENCE INDICATES A 50' APPARENT RIGHT-OF-WAY

I, the undersigned Registered Land Surveyor, hereby certify that I have conducted a survey to establish A Plot Plan of proposed improvements and to the best of my knowledge, information and belief this drawing is an accurate representation of that survey of the following described real estate:

Lot Number 1 Morrisons Subdivision Sec.36-T16N-R3E, Center Township, Marion County, Indiana as per plat thereof reordered in Volumne 1 Page 205 in the office of the recorder of Marion County, Indiana

CERTIFIED: 12-15-2023
RECERTIFIED: 03-06-2024

Kenneth Gregory Garlison
KENNETH GREGORY GARLISON REGISTERED LAND SURVEYOR, RLS29300014



Table with columns for REVISION NO. and DATE.

MJ Gibson Land Surveying logo and address: 1900 N Meridian Road, Suite A, Greenfield, IN 46140, Office: 317-462-4055

Prepared For: EATON HOMES 8677 BASH ST. INDIANAPOLIS, IN. 46256 PHONE: 317-760-9346

Project Name: EATON HOMES E 10th STREET
Sheet Title: MARION COUNTY SITE & SWPPP PLAN

Table with columns for DATE, DRAWN BY, CHECKED BY, SCALE, PROJECT NO.

SHEET NO: 10F2

BUILDING CODE INFORMATION

THIS PROJECT WAS DESIGNED USING THE FOLLOWING CODES:

INDIANA BUILDING CODE, 2014 EDITION
(IBC, 2012 EDITION, 1ST PRINTING)
INDIANA FIRE CODE, 2014 EDITION
(IFC, 2012 EDITION, 1ST PRINTING)
INDIANA PLUMBING CODE, 2012 EDITION
(IPC, 2006 EDITION)
INDIANA ELECTRICAL CODE, 2009 EDITION
(NFPA 70-2008)
INDIANA MECHANICAL CODE, 2014 EDITION
(IMC, 2012 EDITION, 1ST PRINTING)
INDIANA ENERGY CONSERVATION CODE, 2010
(ASHRAE 90.1, 2007 EDITION, AS AMENDED)

USE AND OCCUPANCY:
GROUP B-BUSINESS (OFFICE BUILDING)
OCCUPANT LOAD FACTOR: 100SF/ PERSON

GENERAL BUILDING HEIGHTS AND AREAS:
CONSTRUCTION TYPE: III-B

ALLOWABLE (B-IIIB): 19,000 SF, 4 STORIES- 55 FEET

ACTUAL TOTAL AREA:
FIRST LEVEL- 2,175 sf
SECOND LEVEL- 2,175 sf
THIRD LEVEL- 2,175 sf
TOTAL: 6,525 nsf

OCCUPANT LOAD: 65 PEOPLE (2 EXITS REQUIRED)
EXIT DOORS MUST SWING OUTWARDS IF 50 OR MORE OCCUPANTS.
TWO EXITS REQUIRED.
ONE STAIR REQUIRED TO BE 1 HOUR & 48" CLEAR BETWEEN RAILINGS.

SMOKE DETECTORS:
REFER TO M/E/P DRAWINGS

ENERGY REQUIREMENTS:
CLIMATE ZONE 5

CEILING:
ATTIC AND OTHER R-38.0

WALLS (ABOVE GRADE):
MASS R-13/17
(R17 WHEN MORE THAN 1/2 INSULATION IS ON INTERIOR)
WOOD-FRAMED R20 or R-13 + R3.8 (CONTINUOUS)

WALLS (BELOW GRADE):
BASEMENT R-10/13
(R13 WHEN MORE THAN 1/2 INSULATION IS ON INTERIOR)

FLOORS:
FLOOR R-30

SLAB-ON-GRADE FLOORS:
SLAB VALUE, DEPTH R-10, 2 FEET

CRAWL SPACE WALL:
WALL VALUE: R-10/13
(R13 WHEN MORE THAN 1/2 INSULATION IS ON INTERIOR)

SECTION

EARTH	
CONT. WOOD/BLOCKING	
WOOD BLOCKING	
SHEATHING	
INSULATION BOARD	
INSULATION	
BATT INSULATION	
BRICK	
GYPSUM BD./STUCCO	
CONCRETE	
STEEL	
ALUMINUM	

ELEVATION

CERAMIC TILE	
MASONRY	
CONCRETE	
WOOD	
BRICK	
GLAZING	

☒

AFF	ABOVE FINISH FLOOR
A/C	AIR CONDITIONER
ALUM	ALUMINUM
BFF	BELOW FINISH FLOOR
BLDG	BUILDING
CAB	CABINET
CPT	CARPET
CLG	CEILING
CT	CERAMIC TILE
CLO	CLOSET
COL	COLUMN
CMU	CONCRETE MASONRY UNIT
CONT	CONTINUOUS
CFCI	CONTRACTOR FURNISHED/ CONTRACTOR INSTALLED
DEMO	DEMOLITION
DTL	DETAIL
DIA	DIAMETER
DBL	DOUBLE
DN	DOWN
DS	DOWNSPOUT
DWG	DRAWING
ELEV	ELEVATOR
EQUIP	EQUIPMENT
EXIST	EXISTING
EXT	EXTERIOR

FT

FIN	FINISH
FE	FIRE EXTINGUISHER
FD	FLOOR DRAIN
FTG	FOOTING
GL	GLASS, GLAZING
GYP	GYPSUM
HT	HEIGHT
HC	HOLLOW CORE
HM	HOLLOW METAL
INSUL	INSULATION
INT	INTERIOR
JB	JUNCTION BOX
LAM	LAMINATE
LAV	LAVATORY
MAX	MAXIMUM
MTL	METAL
MECH	MECHANICAL
MIN	MINIMUM
MIR	MIRROR
NTS	NOT TO SCALE
NO.	NUMBER
O.C.	ON CENTER
OFOI	OWNER FURNISHED/ OWNER INSTALLED

OFCI

OWNR FURNISHED/ CONTRACTOR INSTALLED	
PT	PAINT
PLBG	PLUMBING
PROJ	PROJECT
REINF	REINFORCEMENT
REQ	REQUIRED
REV	REVISION
RO	ROUGH OPENING
SIM	SIMILAR
SGL	SINGLE
SD	SOAP DISPENSER
SDL	SIMULATED DIVIDED LITE
SF	SQUARE FEET
STD	STANDARD
SS	STAINLESS STEEL
STL	STEEL
STOR	STORAGE
TYP	TYPICAL
UR	URINAL
WC	WATER CLOSET
W/O	WITHOUT
WD	WOOD

VERIFICATION NOTE:

CONTRACTOR SHALL VERIFY ALL DIMENSIONS/ CLEARANCES AND ALL EXISTING FIELD CONDITIONS BEFORE STARTING CONSTRUCTION. COMMENCEMENT OF WORK CONSTITUTES ACCEPTANCE OF CONDITIONS. SHOULD DIFFERENT CONDITIONS BE FOUND, CONTACT THE ARCHITECT BEFORE STARTING ANY WORK.

ROOM IDENTIFICATION

ROOM NAME	100
SECTION CUT INDICATION	
DETAIL IDENTIFICATION	
ELEVATION SYMBOL	
REVISION SYMBOL	
SPECIFIC NOTES	
WINDOWS/GLAZING IDENTIFICATION	
DOOR IDENTIFICATION	
FURNITURE AND EQUIPMENT IDENTIFICATION	
TOILET ACCESSORIES	
GENERAL NOTES	
WALL TYPE	
ELEVATION ANNOTATION	
NORTH ARROW	

ROOM NAME	100
SECTION CUT INDICATION	
DETAIL IDENTIFICATION	
ELEVATION SYMBOL	
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FURNITURE AND EQUIPMENT IDENTIFICATION	
TOILET ACCESSORIES	
GENERAL NOTES	
WALL TYPE	
ELEVATION ANNOTATION	
NORTH ARROW	

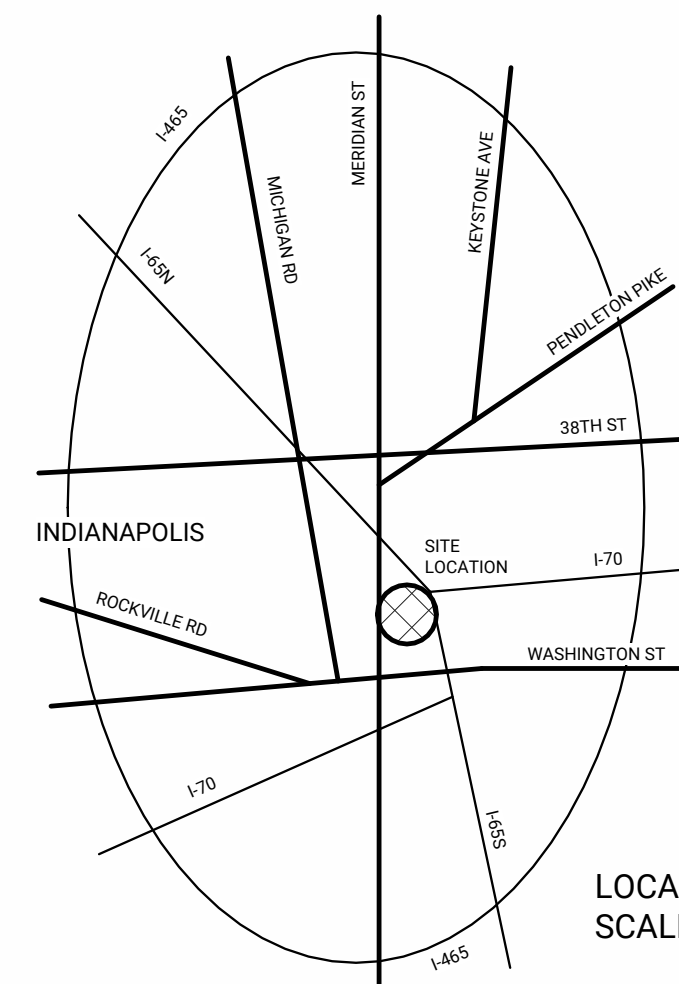
SHEET INDEX	
#	NAME

GENERAL INFO	
A000	Cover Sheet
A001	Architectural Site Plan

FOUNDATION	
F101	Foundation Plan
F201	Foundation Details
F202	Foundation Details
F203	Foundation Details
F300	Foundation General Notes and Typical Details

STRUCTURAL	
S101	1st Floor Framing Plan
S102	2nd Floor Framing Plan
S103	Roof Framing Plan
S201	Framing Details
S202	Framing Details
S203	Framing Details
S204	Brise Soleil Elevations
S300	Typical Framing Details and General Notes
S301	Typical Framing Details
S302	Typical Masonry Notes and Details

ARCHITECTURAL	
A100	Lower Level Floor Plan
A101	Main Level Floor Plan
A102	Second Level Floor Plan
A103	Roof Level Floor Plan
A110	Lower Level Reflected Ceiling Plan
A111	Main Level Reflected Ceiling Plan
A112	Second Level Reflected Ceiling Plan
A200	Exterior Elevations
A201	Exterior Elevations
A202	Exterior Elevations
A300	Building Sections
A301	Building Sections
A302	Building Sections
A400	Interior Elevations
A401	Interior Elevations
A402	Interior Elevations
A403	Interior Elevations
A404	Interior Elevations
A405	Materials & Fixture Selections
A600	Schedules/ Diagrams/ Openings
A601	Glazing Elevations
A900	Perspectives
A901	Perspectives



LOCATION MAP
SCALE: N.T.S.



GREGOR RESIDENCE

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ONE 10 STUDIO
ARCHITECTS

200 S MERIDIAN ST, SUITE 301 INDIANAPOLIS, INDIANA 46225
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ONE10STUDIO.COM

Gregor Residence

2021-008

244 E 10th St, Indianapolis, IN 46202



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consultants:

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checked: CAK

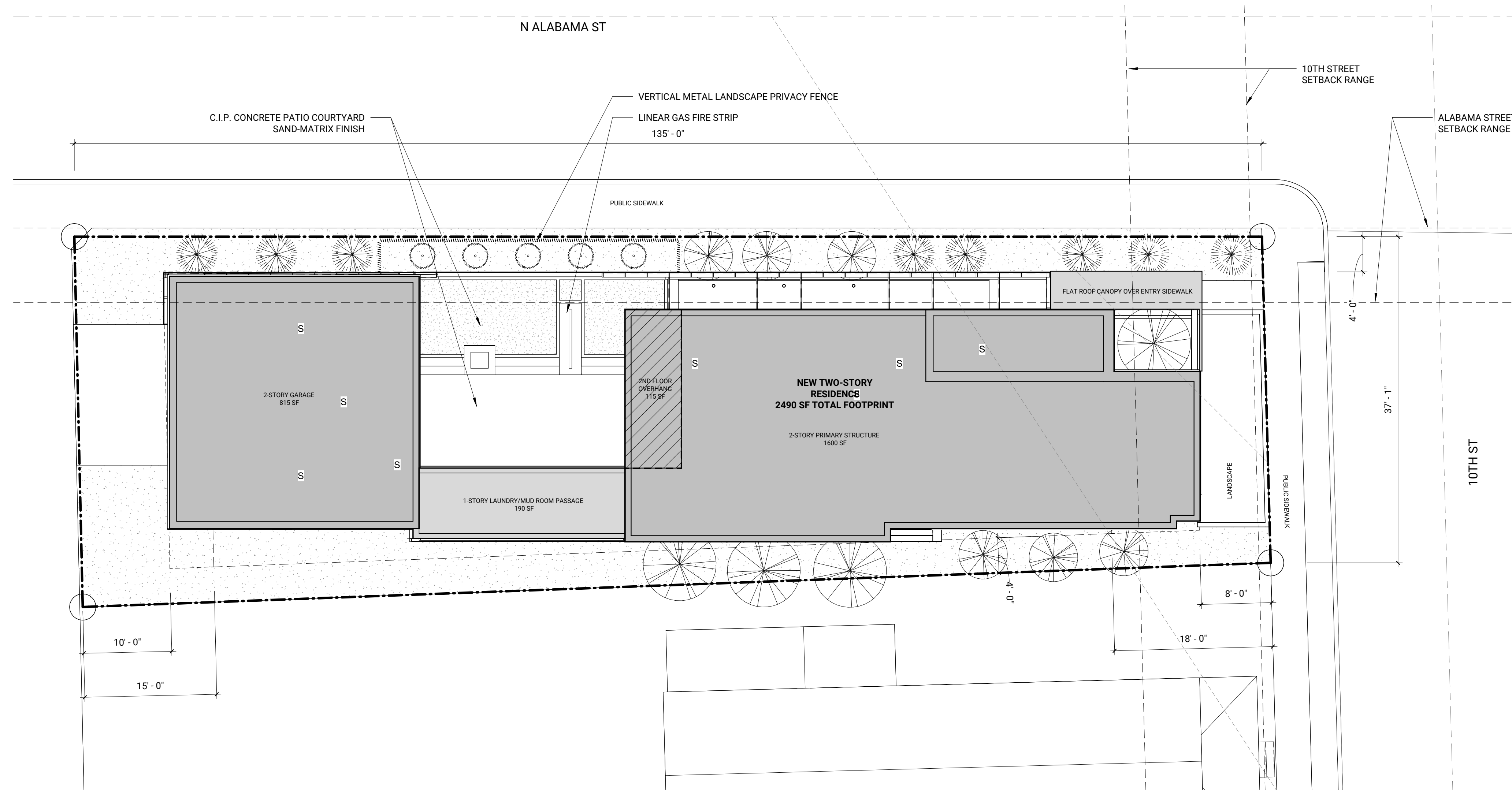
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2024.03.06 Permit Set_R1
2024.03.22 Permit Set_R2
2024.05.28 Construction Set

sheet title:
Cover Sheet

PERMIT SET

sheet number:

A000



1 Architectural Site Plan
1/8" = 1'-0"

2021-008
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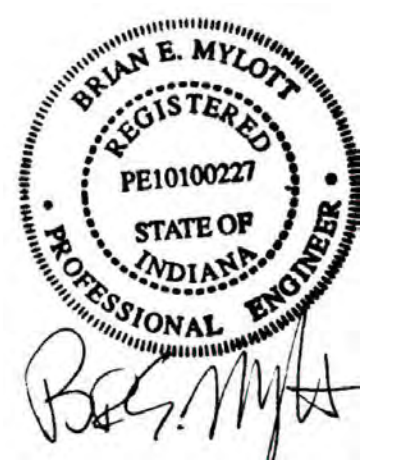
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2024.05.28 Construction Set

sheet title:
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Site Plan**

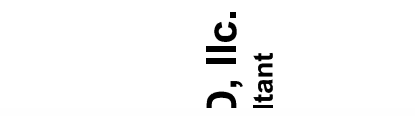
PERMIT SET

sheet number:

A001



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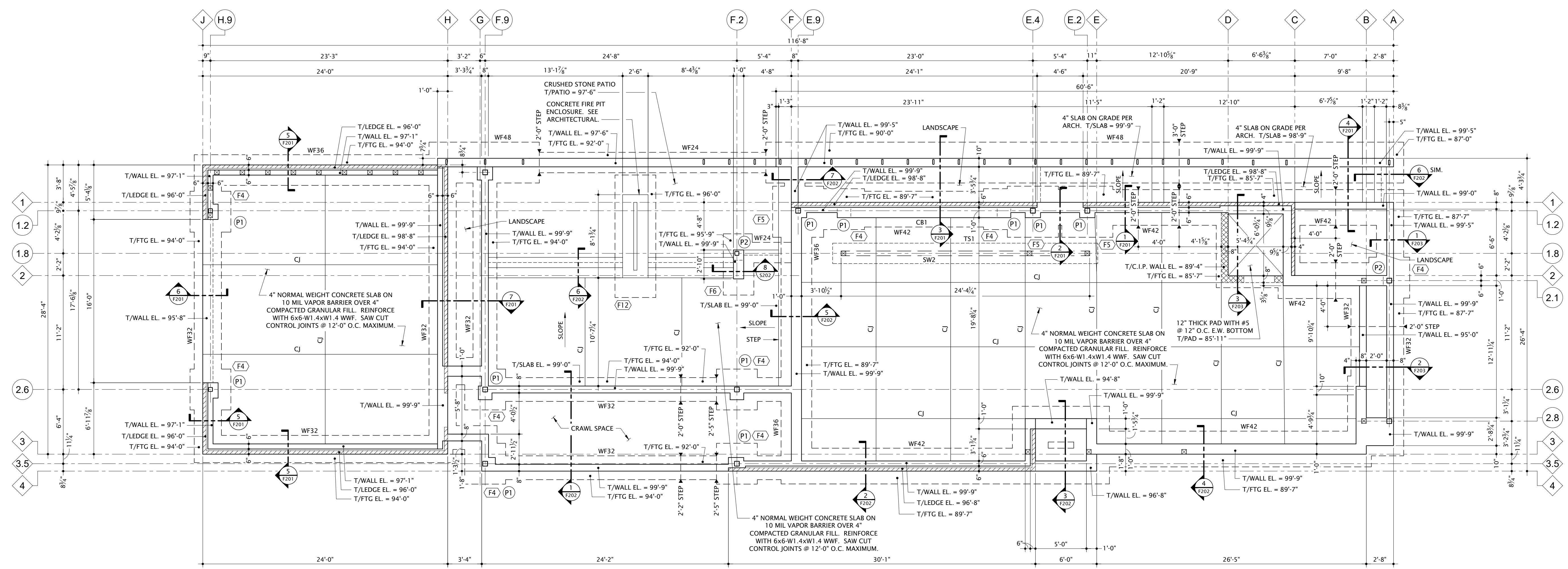
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PRESERVATION COMMISSION

drawn: TMK
checked: BEM

date: 4-26-2024 description: Foundation Set
5-14-2024 Permit Set

sheet title:
Foundation Plan

sheet number:
F101



Foundation Plan
3/16" = 1'-0"
NORTH

WALL FOOTING SCHEDULE

MARK	SIZE (WxD)	REINFORCING	
		TRANSVERSE	LONGITUDINAL
WF24	2'-0" x 1'-6"	#4 @48" O.C.	(2) #4 CONT., BOTTOM
WF32	2'-8" x 1'-6"	#4 @48" O.C.	(2) #4 CONT., BOTTOM
WF36	3'-0" x 1'-6"	#4 @48" O.C.	(3) #5 CONT., BOTTOM
WF42	3'-6" x 1'-6"	#4 @48" O.C.	(4) #5 CONT., BOTTOM
WF48	4'-0" x 1'-6"	#4 @48" O.C.	(4) #5 CONT., BOTTOM

NOTES:
1. ALL CONCRETE WALL FOOTING ARE WF24 UNLESS NOTED OTHERWISE.

SPREAD FOOTING SCHEDULE

MARK	SIZE (LxWxD)	REINFORCING
(F4)	4'-0" x 4'-0" x 1'-6"	(4) #5 EACH WAY, BOTTOM
(F5)	5'-0" x 5'-0" x 1'-6"	(5) #5 EACH WAY, BOTTOM
(F6)	6'-0" x 3'-0" x 1'-6"	(5) #6 EACH WAY, BOTTOM
(F7)	7'-0" x 7'-0" x 1'-6"	(6) #7 EACH WAY, BOTTOM
(F8)	8'-0" x 8'-0" x 1'-6"	(7) #8 EACH WAY, BOTTOM
(F12)	12'-0" x 4'-0" x 1'-6"	#7 @ 12" O.C. EACH WAY, BOTTOM

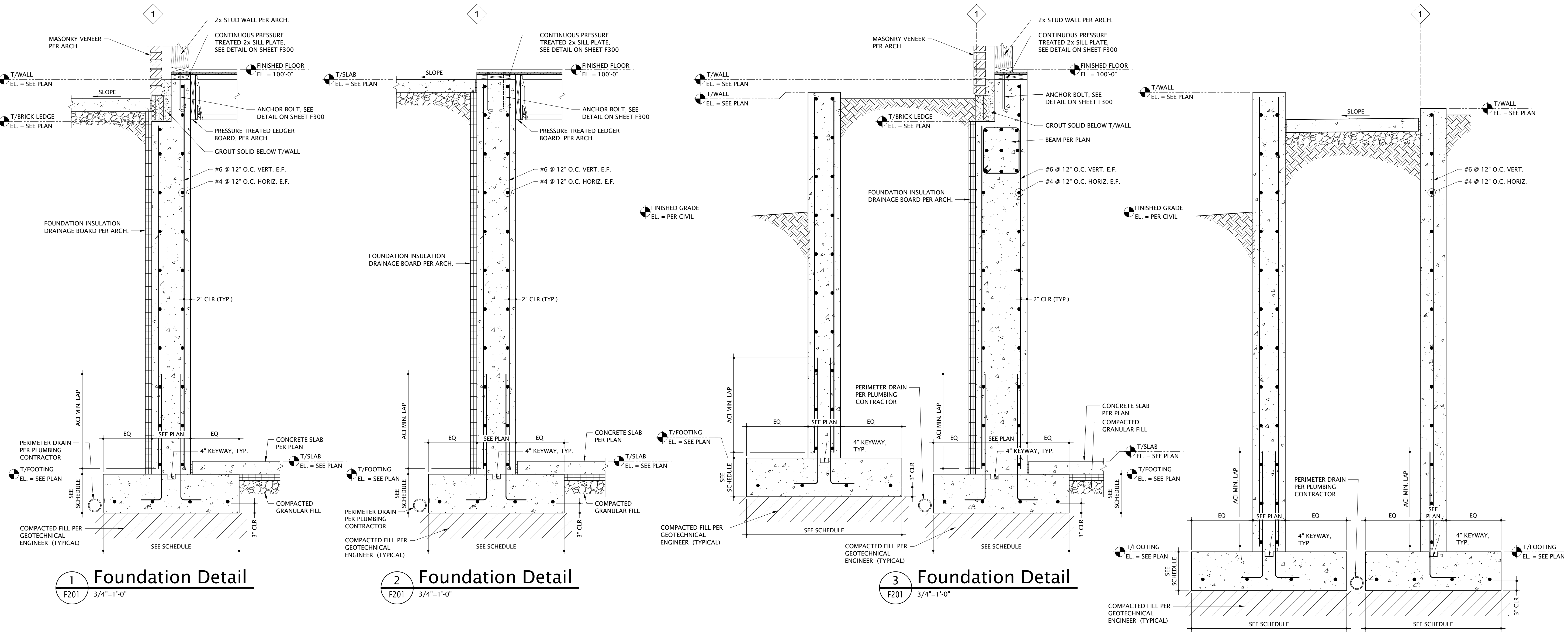
NOTES:
1. CENTER FOOTINGS BENEATH COLUMNS UNLESS NOTED OTHERWISE.
2. INCREASE THICKNESS OF FOOTINGS AS REQUIRED FOR MINIMUM 3" COVER AROUND ANCHOR BOLTS.

PEDESTAL SCHEDULE

MARK	SIZE (LxWxD)	REINFORCING
(P1)	18" x 18"	(8) #6 VERTICAL AND #3 TIES @ 12" O.C.
(P2)	12" x 12"	(4) #5 VERTICAL AND #3 TIES @ 12" O.C.

GENERAL NOTES:

- FINISHED FIRST FLOOR REFERENCE ELEVATION = 100'-0".
- T/ INTERIOR FTG ELEVATION = 99'-0" U.N.O.
- T/ EXTERIOR FTG ELEVATION = 99'-0" U.N.O.
- HD INDICATES HEADER SUPPORT POST AND HOLD DOWN ANCHOR PER S301.
- SEE ARCHITECTURAL FOR DOOR OPENINGS.
- SAW CUT CONTROL JOINTS AS INDICATED ON PLAN AT MAXIMUM SPACING OF 12'-0" O.C. SEE DETAIL ON SHEET F300.
- (P) INDICATES 2'-0" x 2'-0" PEDESTAL PER PEDESTAL SCHEDULE. T/PEDESTAL = 99'-0" U.N.O.
- CP1 INDICATES 16"x16" CMU PIER REINFORCED WITH (4) #6 VERT. CP2 INDICATES 24"x24" CMU PIER REINFORCED WITH (4) #6 VERT.
- INDICATES FOOTING STEP PER DETAIL SHEET F300.
- TS1 INDICATES THICKENED SLAB PER SHEET S300.
- CB1 INDICATES 18"x16" CONCRETE BEAM REINFORCED WITH 3 #7 CONTINUOUS TOP, BOTTOM AND MIDDLE, WITH #3 TIES @ 12" O.C. SEE DETAIL 3/F201 FOR MORE INFORMATION.
- INDICATES 6x6 SIMPSON POST BASE. COORDINATE LOCATIONS WITH ARCHITECTURAL SCREEN WALL VERTICAL MEMBERS.

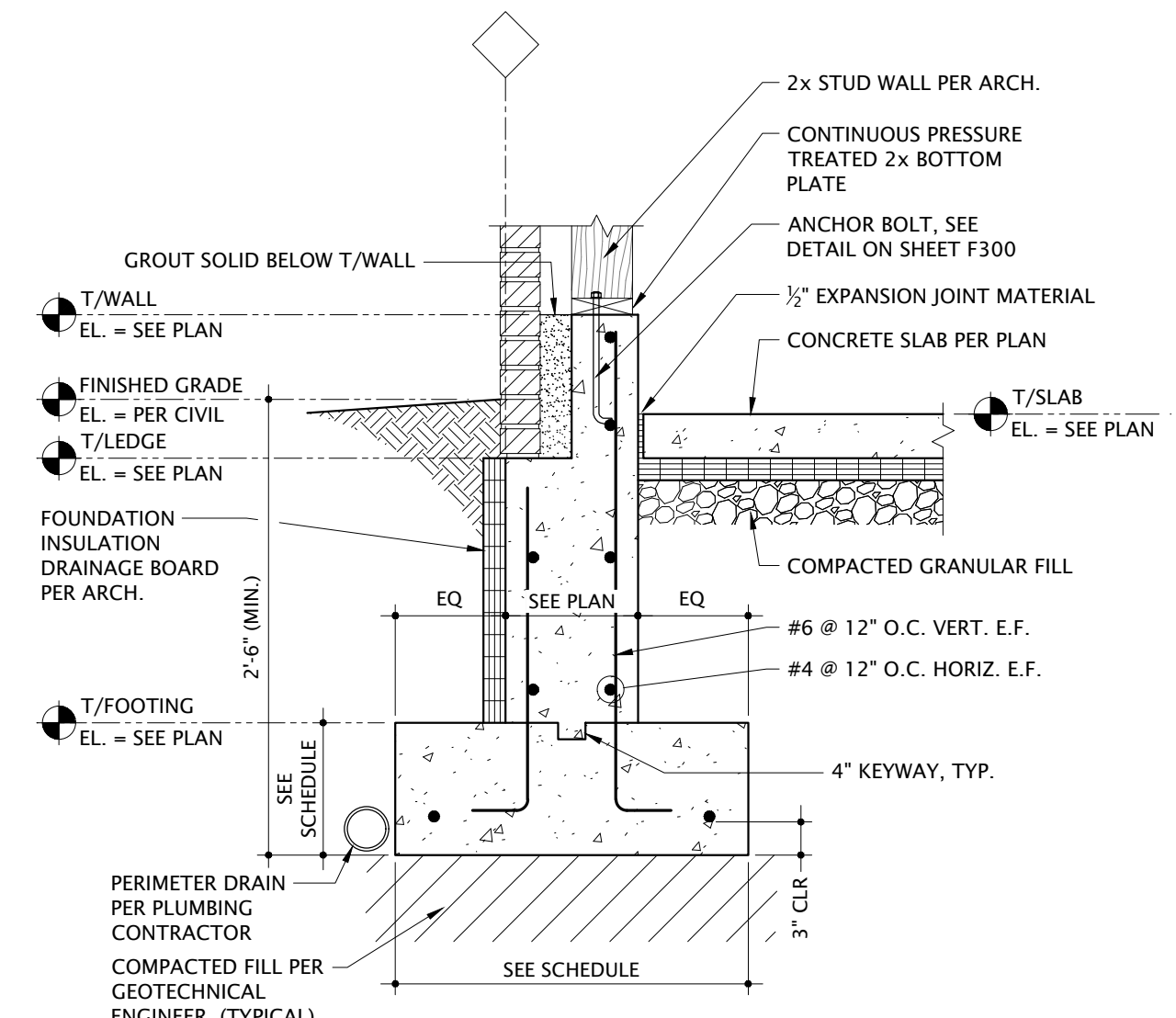


1 Foundation Detail
F201 3/4"=1'-0"

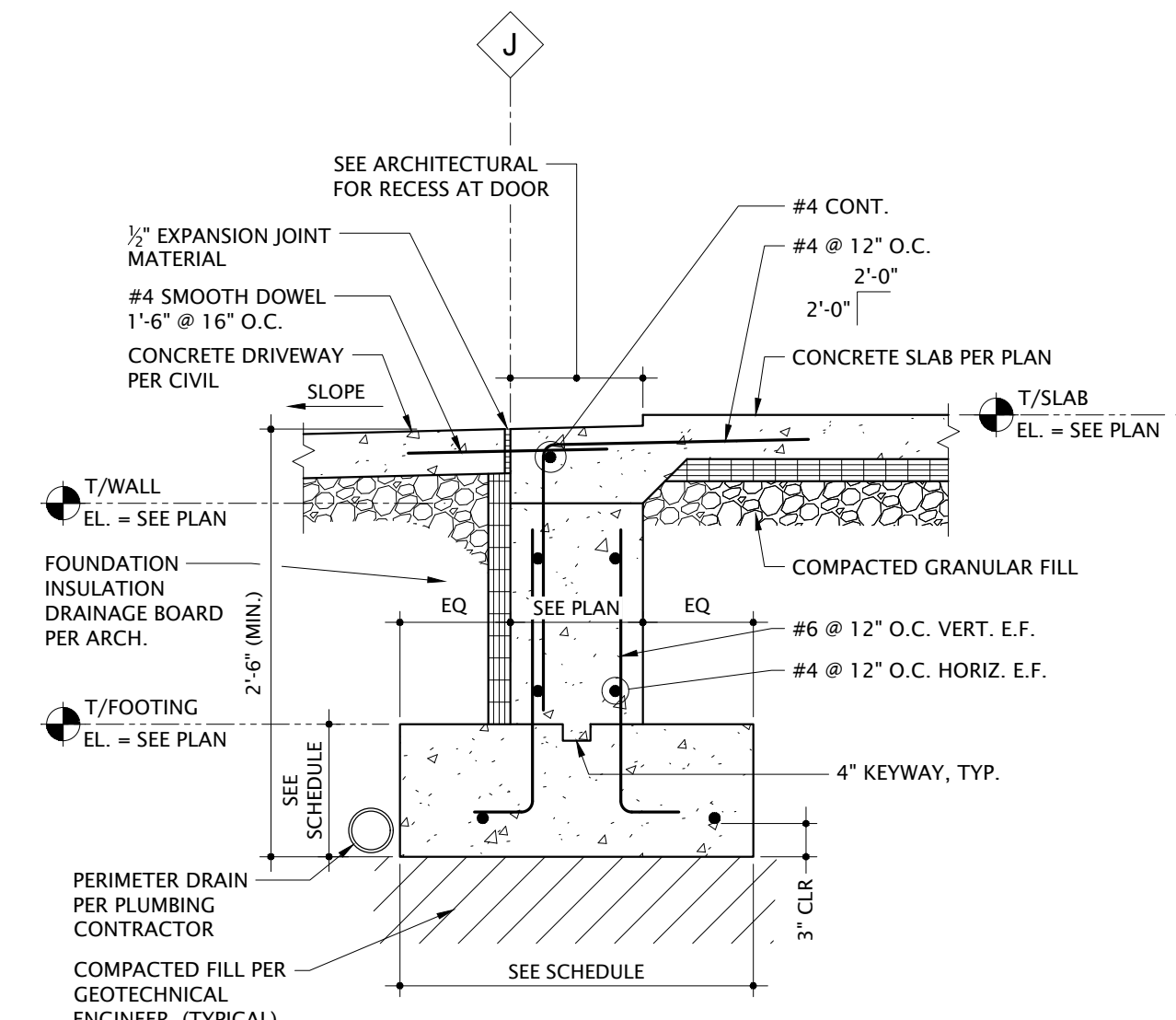
2 Foundation Detail
F201 3/4"=1'-0"

3 Foundation Detail
F201 3/4"=1'-0"

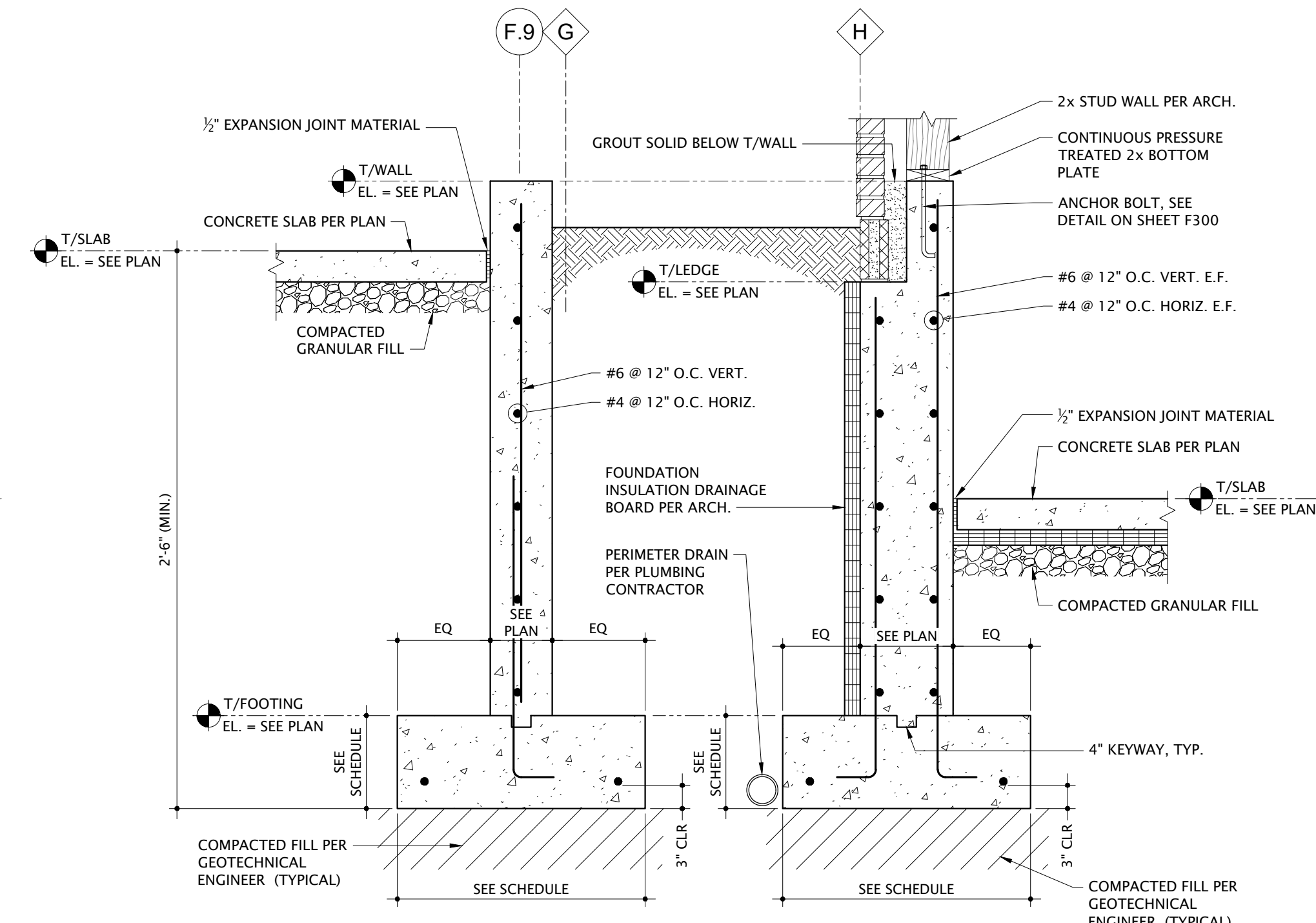
4 Foundation Detail
F201 3/4"=1'-0"



5 Foundation Detail
F201 3/4"=1'-0"



6 Foundation Detail
F201 3/4"=1'-0"



7 Foundation Detail
F201 3/4"=1'-0"



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consultants:
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checked: BEM

date: 4-26-2024
description: Foundation Set
5-14-2024 Permit Set

sheet title:
Foundation Details

sheet number:
F201



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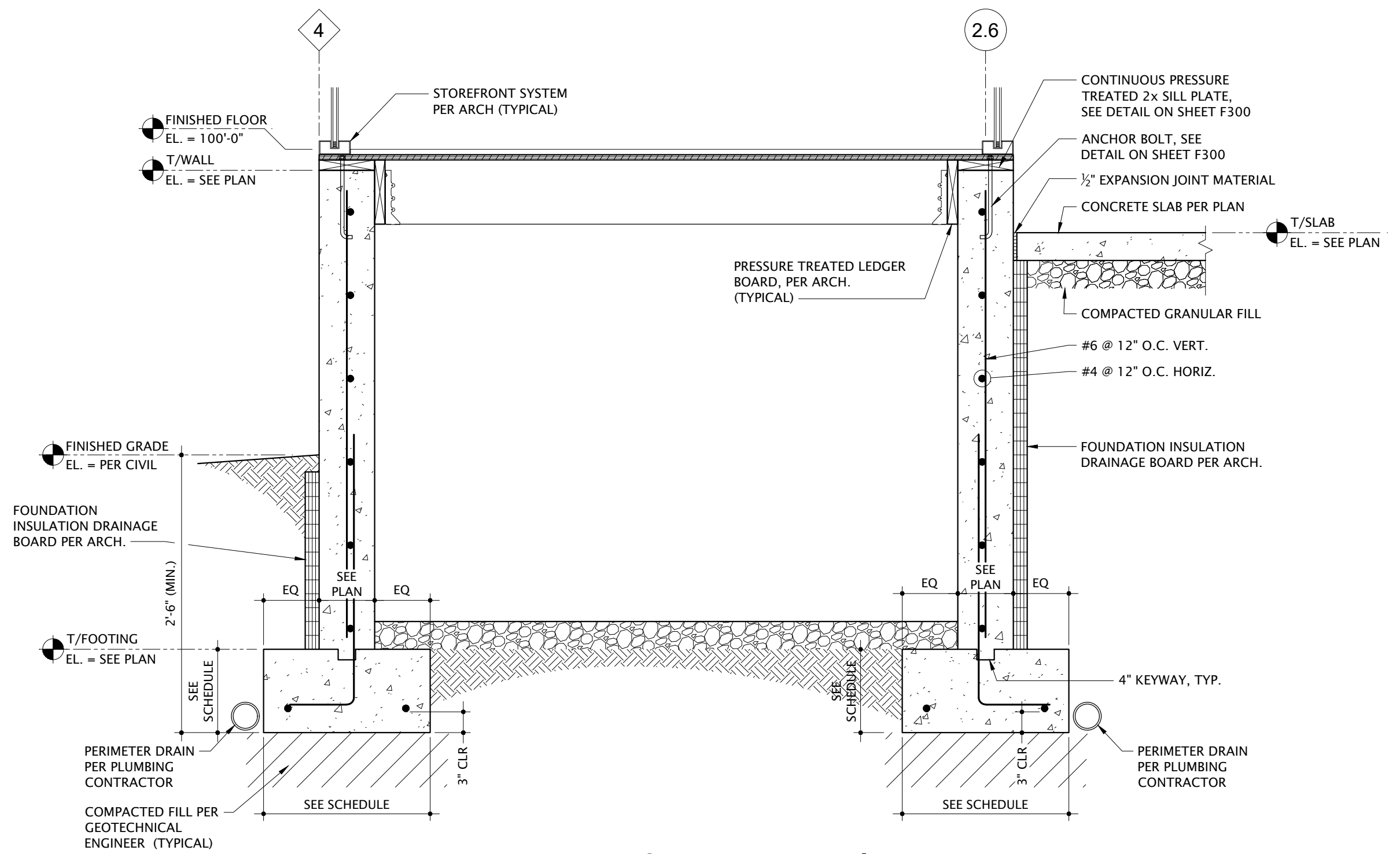
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PRESERVATION COMMISSION

drawn: TMK
checked: BEM

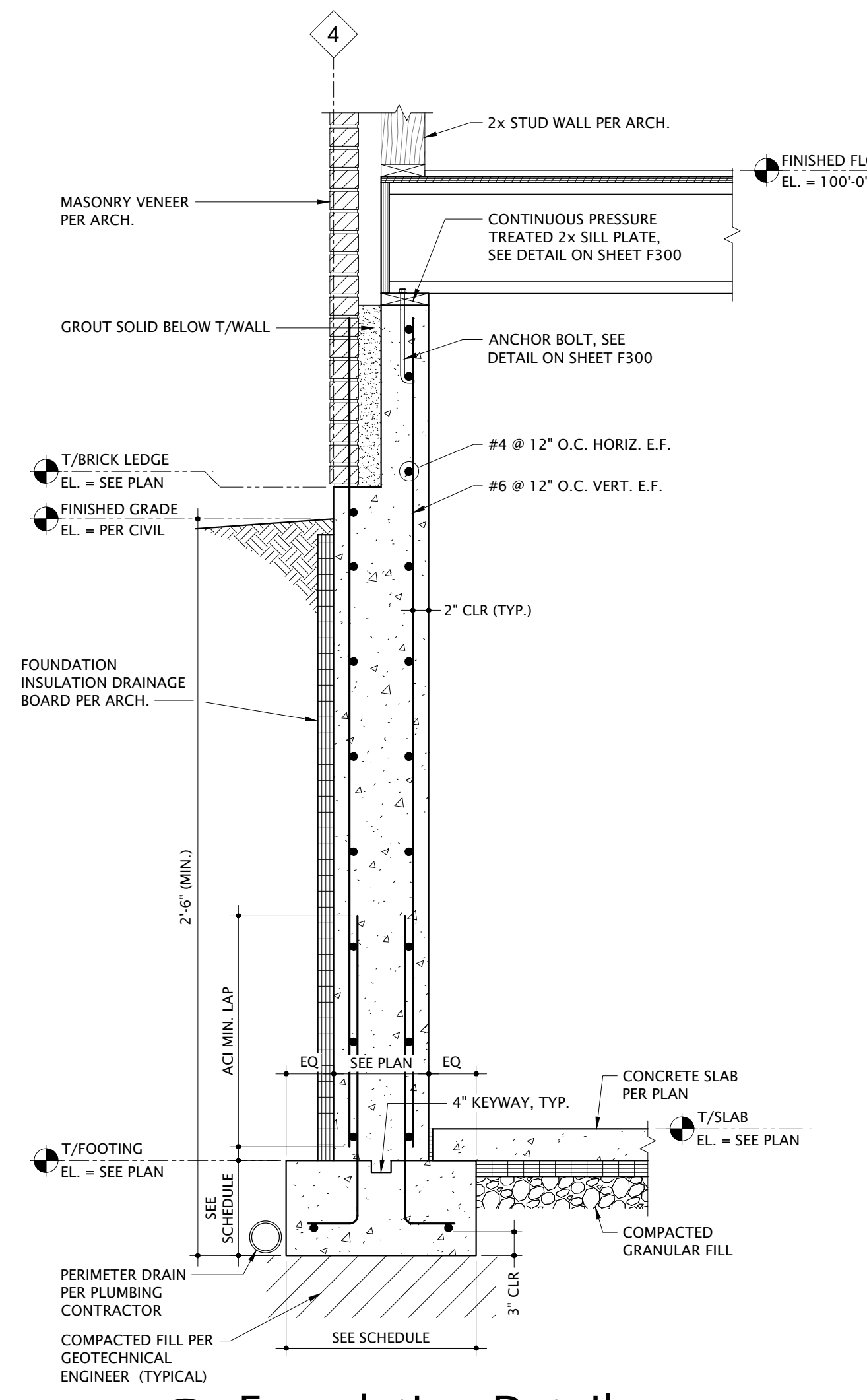
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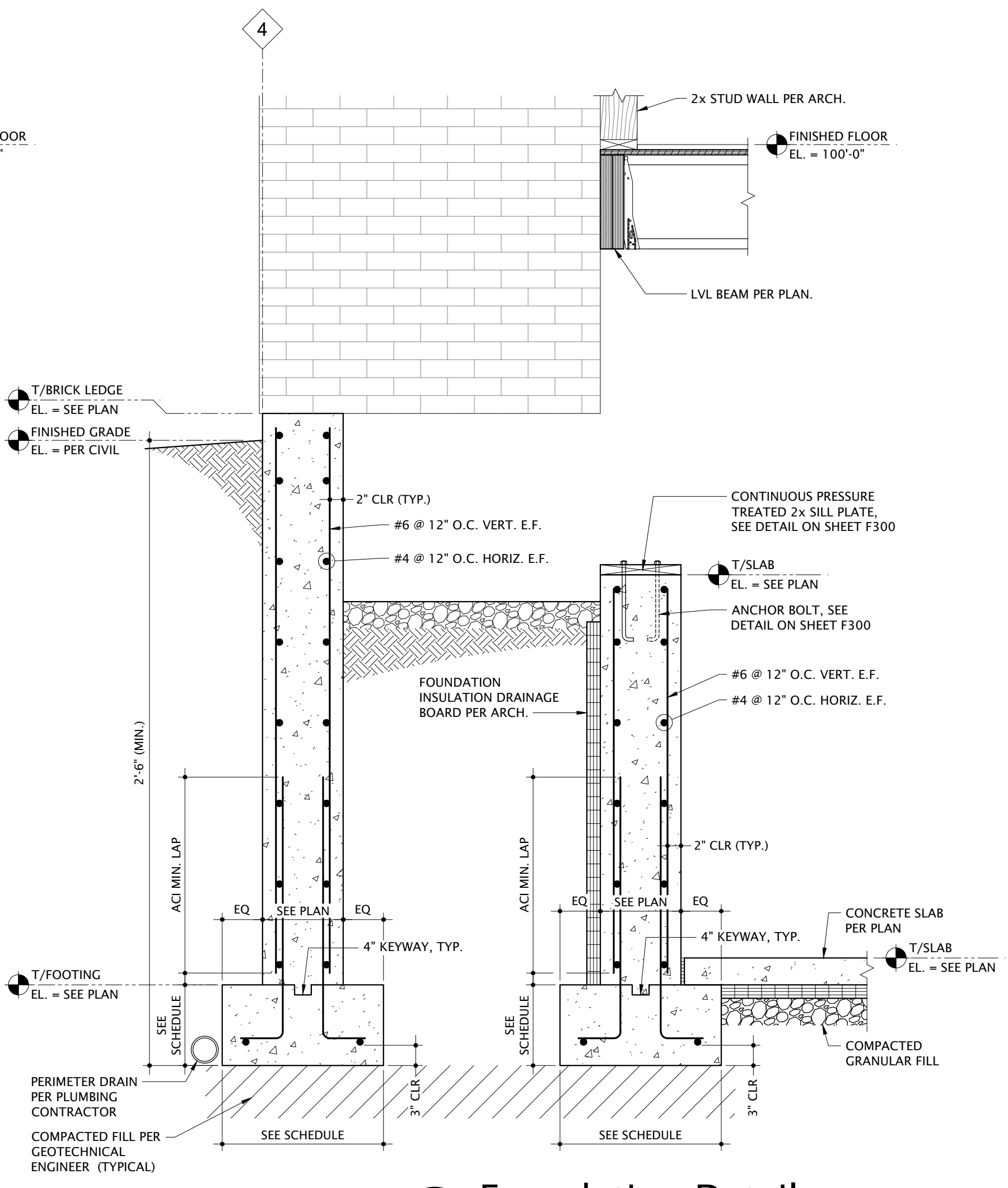
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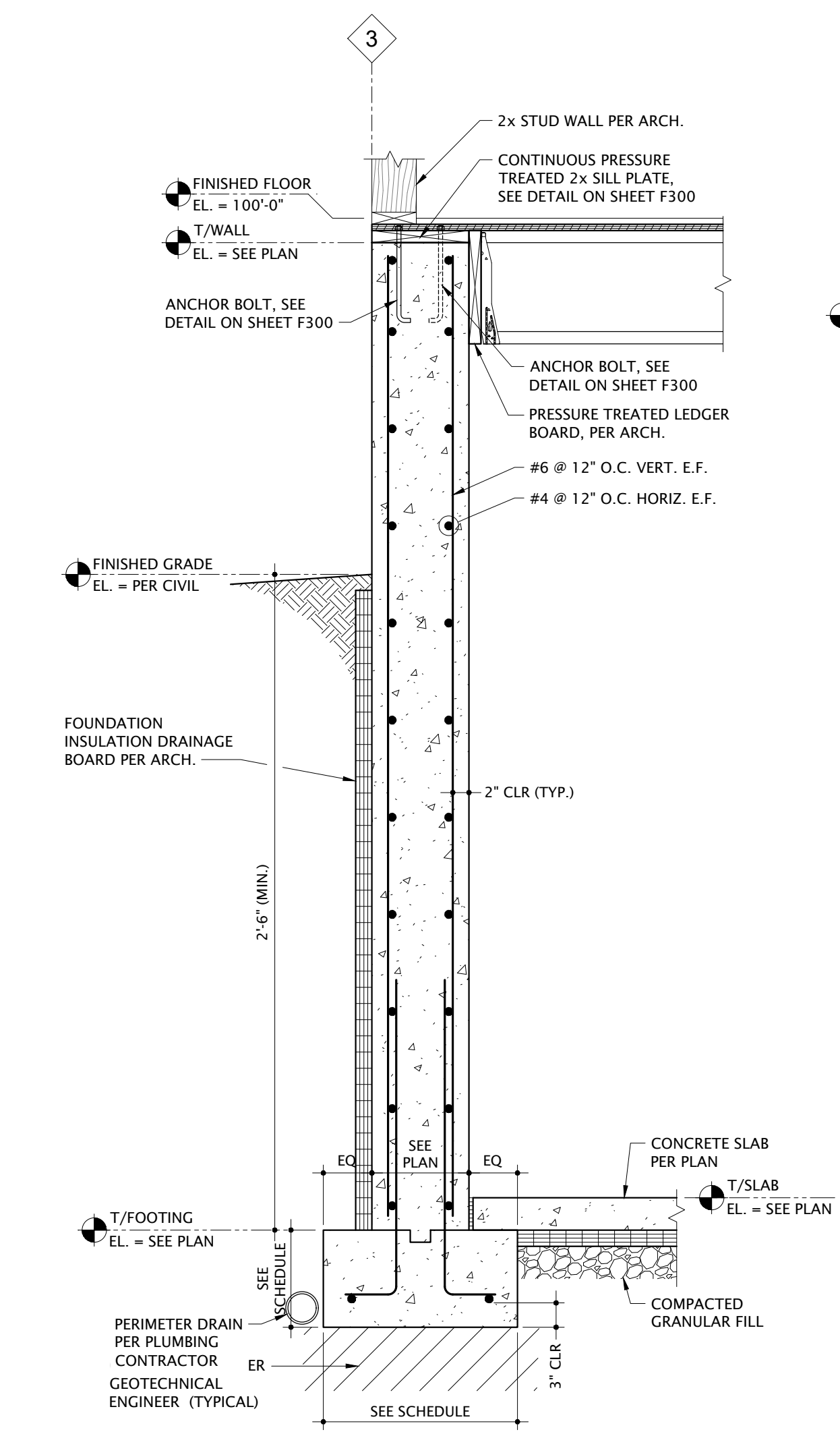
1 Foundation Detail
F202 3/4"=1'-0"



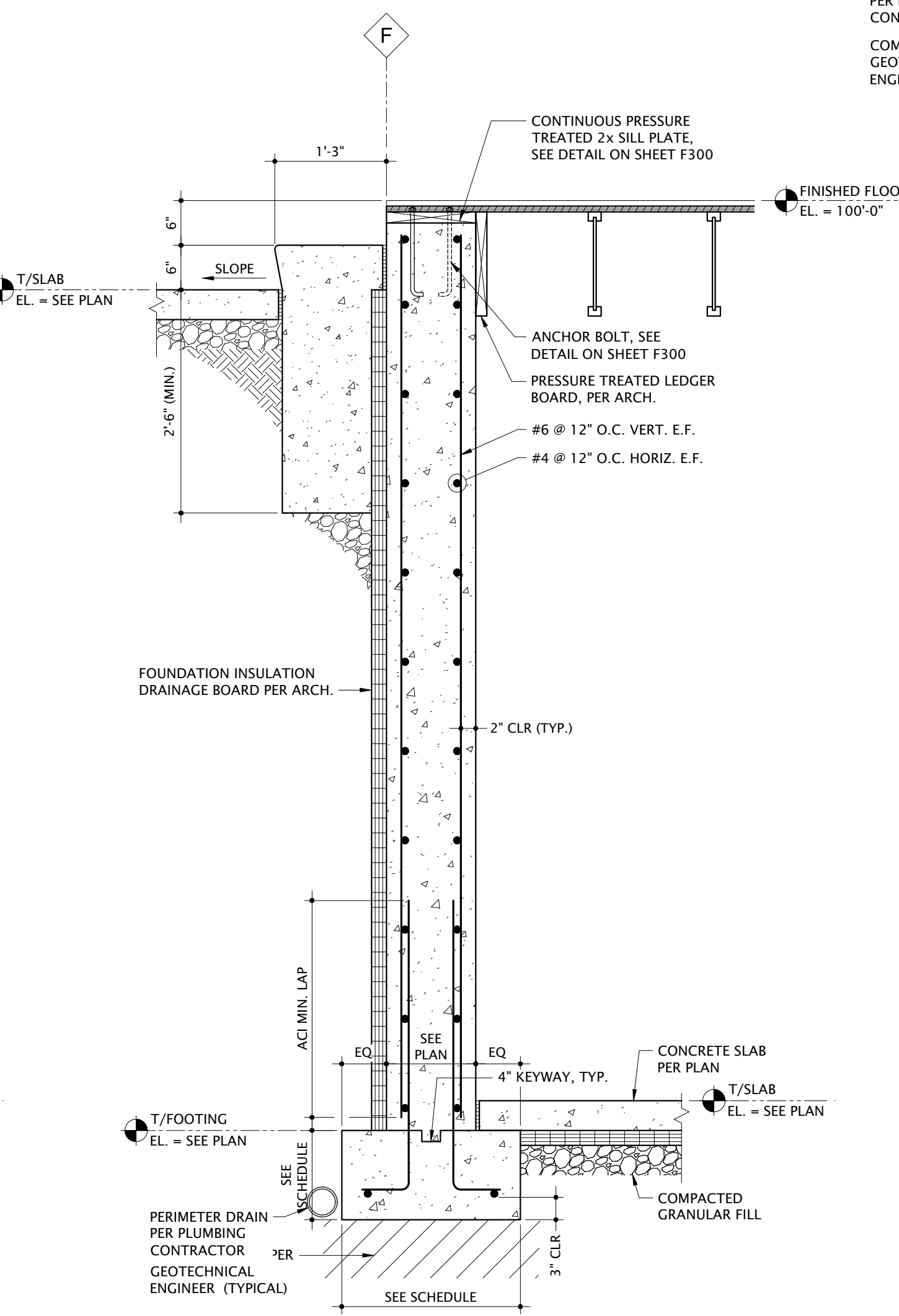
2 Foundation Detail
F202 3/4"=1'-0"



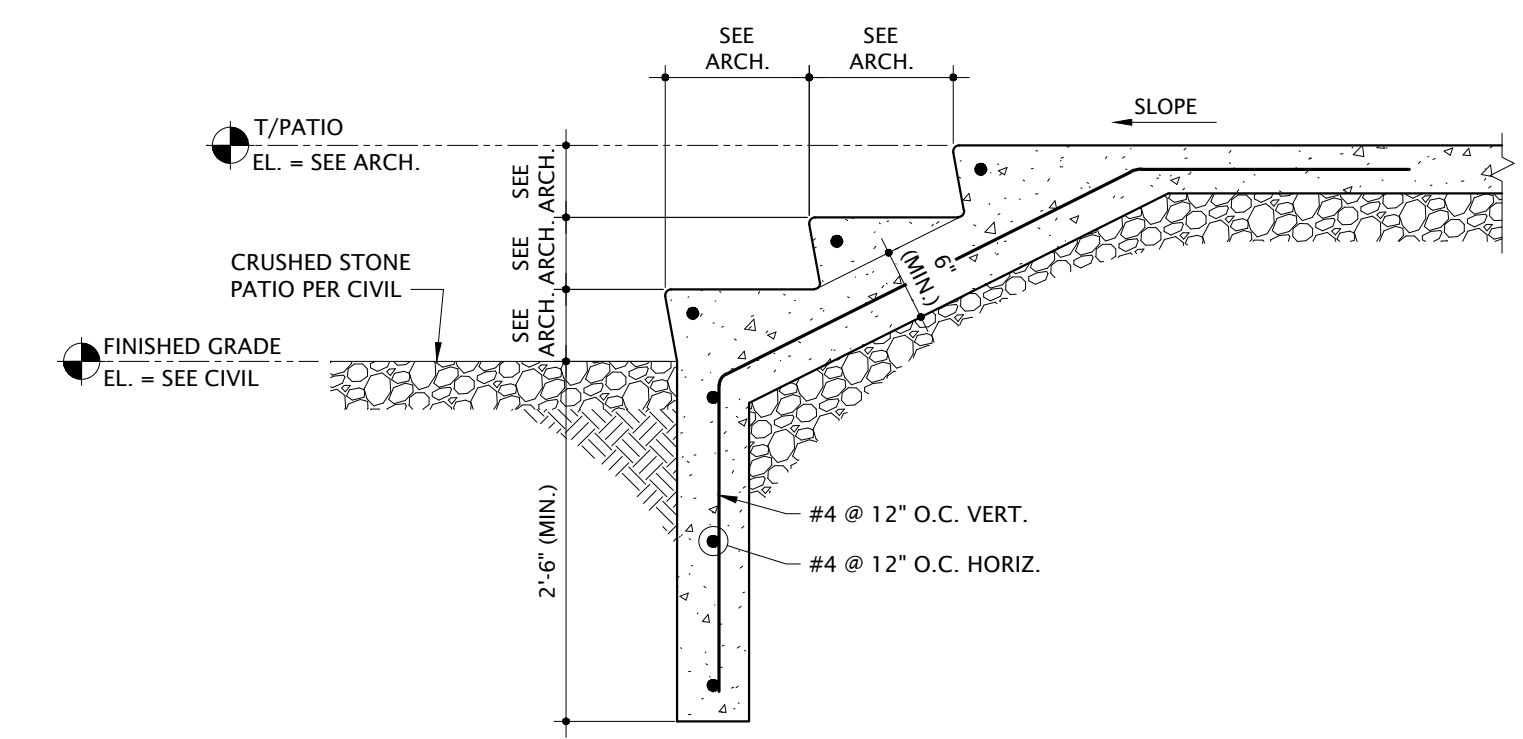
3 Foundation Detail
F202 3/4"=1'-0"



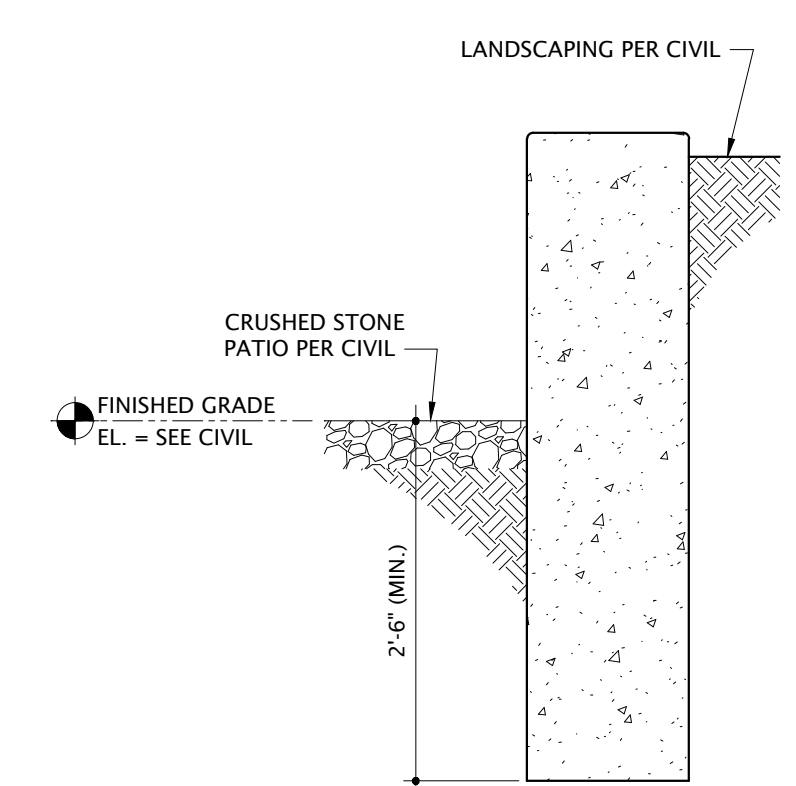
4 Foundation Detail
F202 3/4"=1'-0"



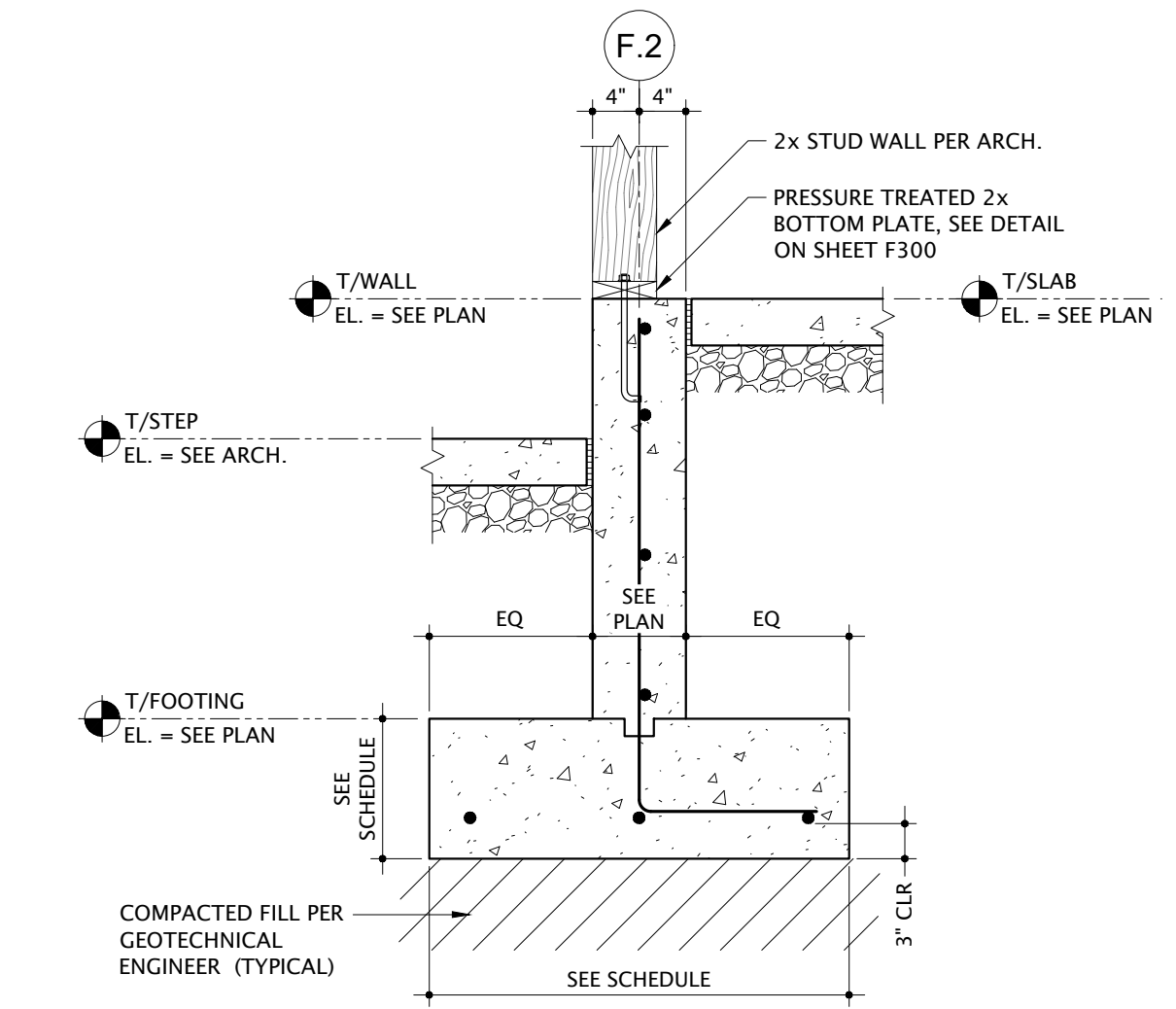
5 Foundation Detail
F202 3/4"=1'-0"



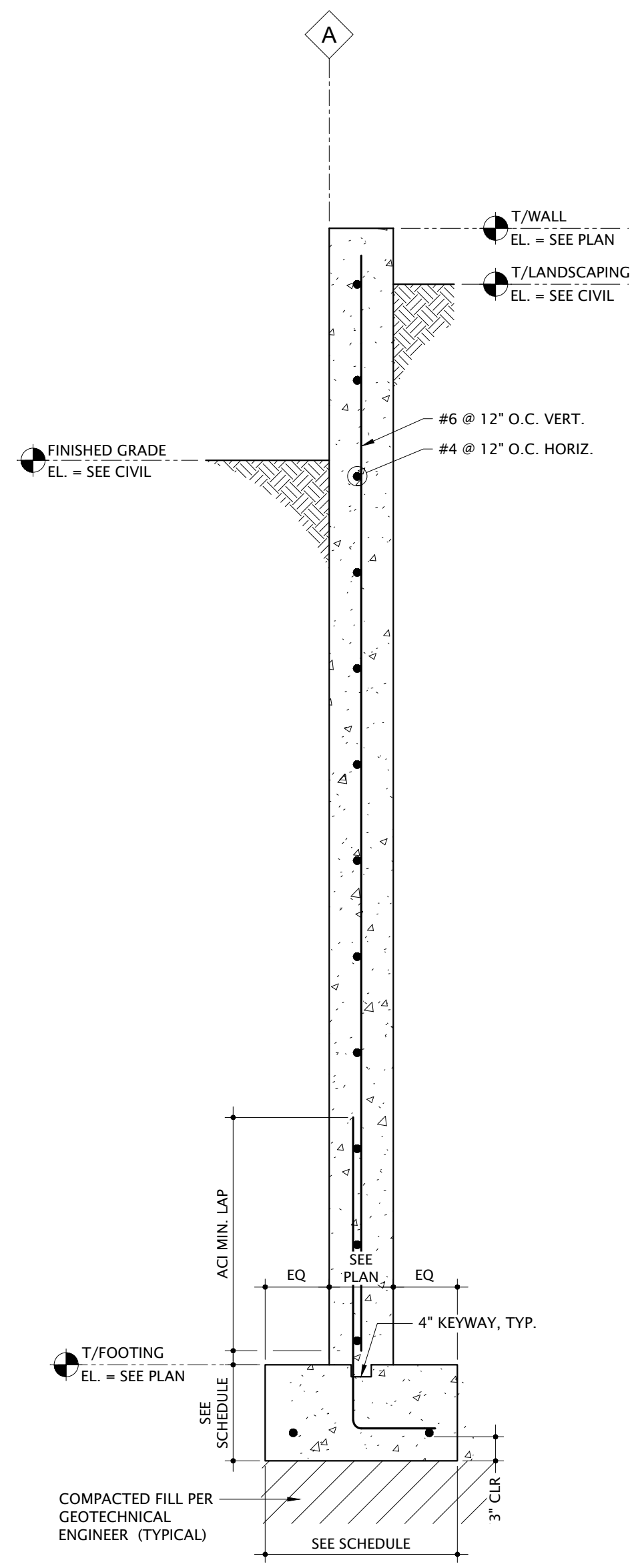
6 Foundation Detail
F202 3/4"=1'-0"



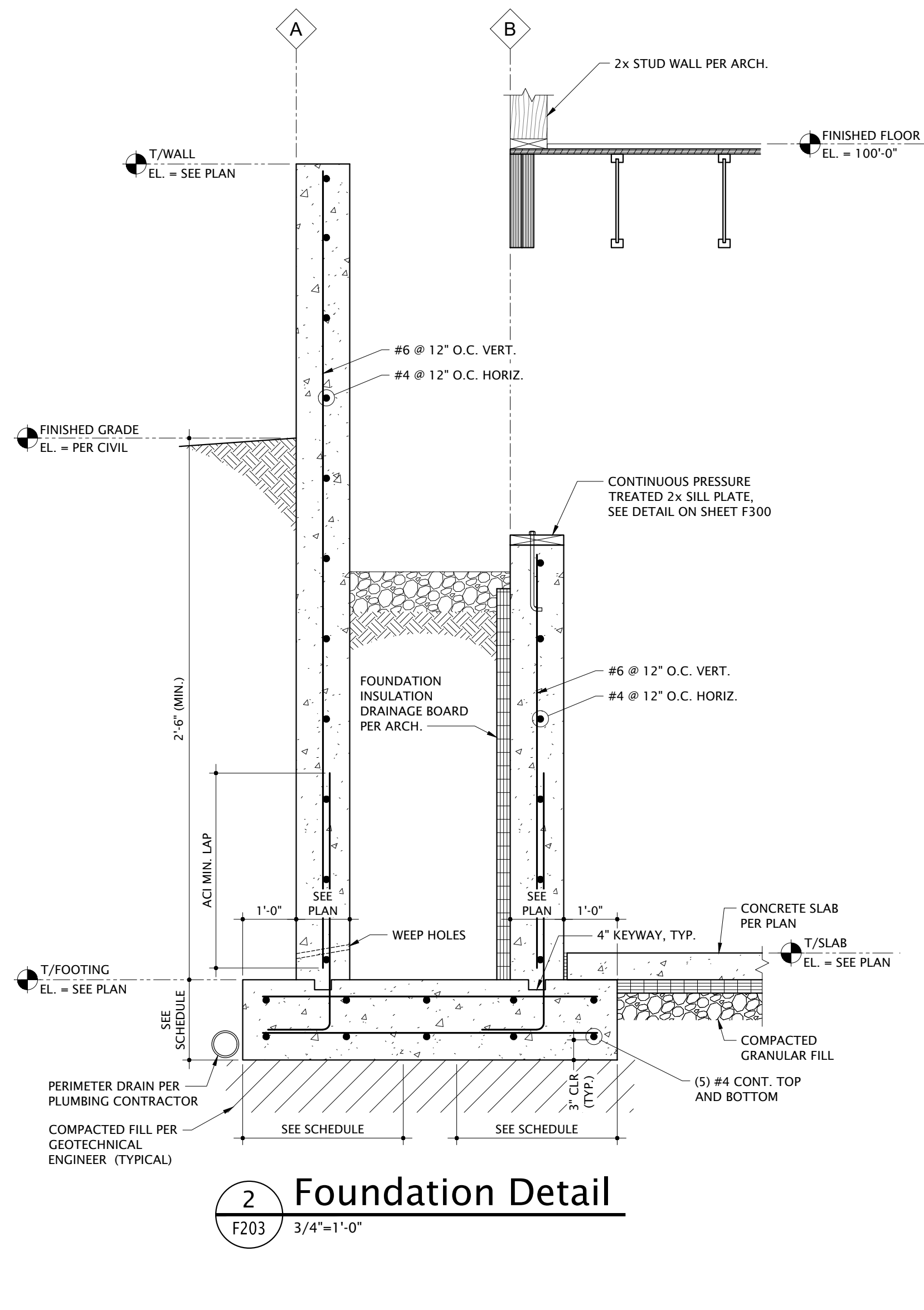
7 Foundation Detail
F202 3/4"=1'-0"



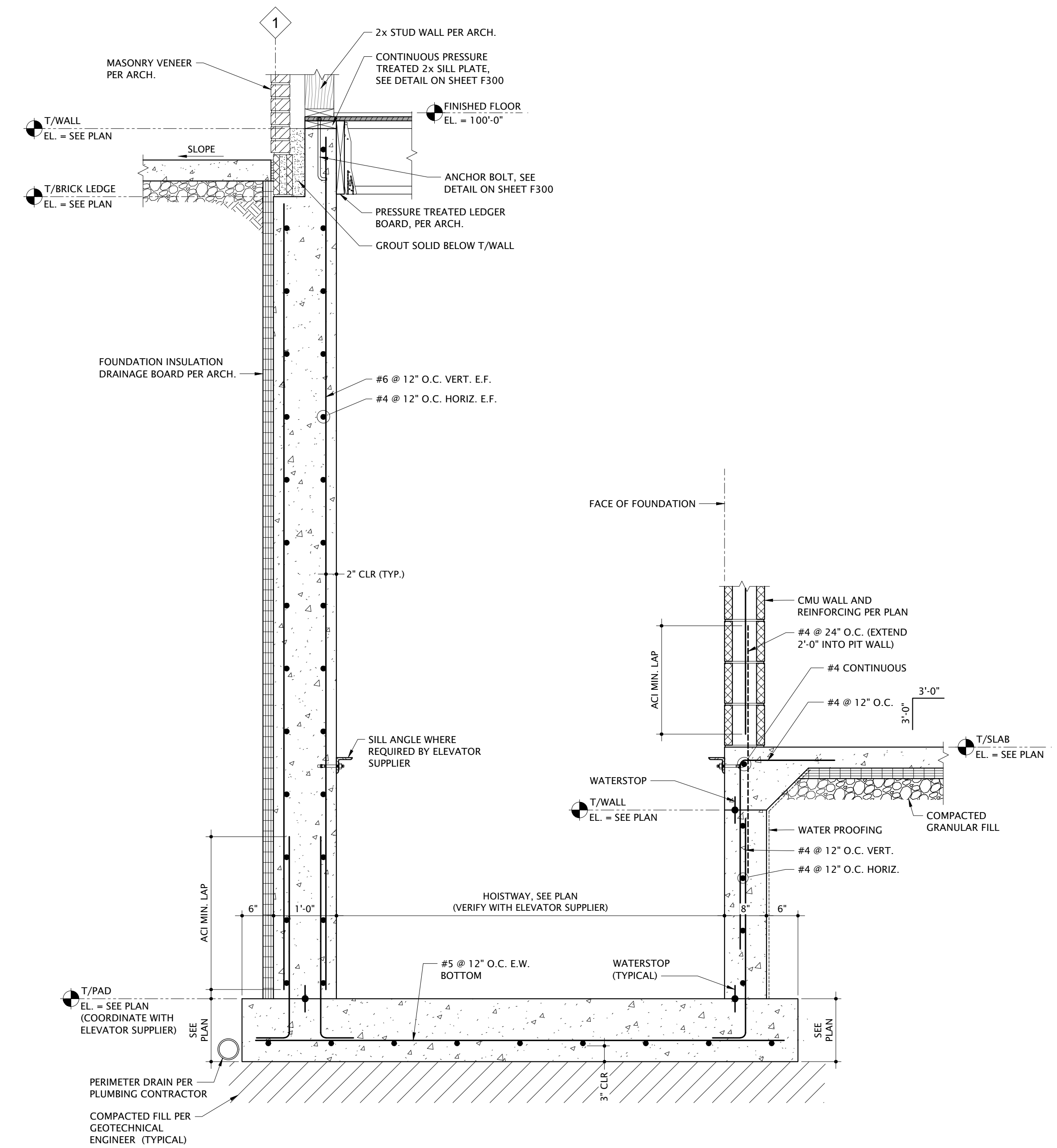
8 Foundation Detail
F202 3/4"=1'-0"



1 Foundation Detail
F203 3/4"=1'-0"

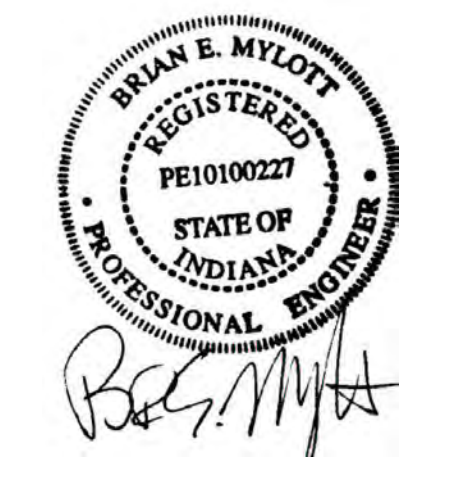


2 Foundation Detail
F203 3/4"=1'-0"



3 Foundation Detail
F203 3/4"=1'-0"

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checked:	BEM
date:	description:
4-26-2024	Foundation Set
5-14-2024	Permit Set

sheet title:
**Foundation
Details**

sheet number:
F203

GENERAL FOUNDATION NOTES

MISCELLANEOUS:

The structure and its several parts have been designed for the in-service loads only. The methods, means, procedures, and sequences of construction are the responsibility of the Contractor. The Contractor shall take all necessary precautions to insure safe working conditions and maintain the integrity of the structure during all stages of construction. The adequacy of the design of temporary bracing, shoring, etc. is the contractor's responsibility.

The bracing design for cast-in-place concrete, tilt-up concrete, precast concrete and masonry walls is the complete responsibility of the Contractor. Temporary bracing for walls shall be adequate to resist the forces imposed during construction. Bracing for a wall shall not be removed until all supporting levels or units have been erected and the concrete of the supporting levels has attained the specified compressive strength (F_c). In the case of walls supporting soil, the braces shall additionally remain in place until the backfilling procedures have been completed.

FOUNDATIONS:

Foundation excavations shall be made to plan elevations. Foundations are to bear on firm, undisturbed soil. The soil conditions beneath foundations shall then be inspected by a qualified Geotechnical Engineer. Where unacceptable soils occur, excavate and replace with an acceptable engineered fill.

Foundations and soils related work shall be performed in accordance with the geotechnical report prepared by ALT & WITZIG dated 5/5/2021.

Seismic site class: D

S_s = 0.158
S₁ = 0.086
F_a = 1.6
F_v = 2.4

Design Net Soil Bearing Pressures:

Spread Footings: 2.0 ksf
Continuous Wall Footings: 1.6 ksf

Foundation conditions noted during construction, which differ from those described in the geotechnical report shall be reported to the Architect, Structural Engineer and Geotechnical Engineer before construction is continued.

CONCRETE:

Reinforced concrete has been designed in accordance with the current "Building Code Requirements for Structural Concrete" (ACI 318).

Mixing, transporting, and placing of concrete shall conform to the latest edition of the "Specifications for Structural Concrete for Buildings" (ACI 301).

Concrete in the following areas shall consist of natural sand fine aggregate and normal weight coarse aggregates conforming to ASTM C33, Type 1 Portland Cement conforming to ASTM C150, and shall have the following compressive strength (F_c) at 28 days:

Footings and Mats: 3,000 psi
Slabs-on-Grade: 4,000 psi (700 psi flexural)
Retaining Walls, Curbs, Sidewalks and Slabs Exposed to De-icers: 4,000 psi (6% + 1% entrained air by volume)

Concrete (flowable fill or lean concrete) used as fill under footings or as backfill behind walls shall consist of natural sand fine aggregate, Type 1 Portland Cement conforming to ASTM C150 (50 pounds minimum), and type C or F Fly Ash, and have a compressive strength (F_c) at 28 days of 75 psi.

Concrete compressive strength tests shall be performed in accordance with ASTM C39. Copies of the test results shall be forwarded directly to the Structural Engineer. One set of specimens shall be taken for each day's pour of appreciable size and for each 250 cubic yards in accordance with the latest edition of ASTM C31. Each set shall include one specimen tested at 7 days, 2 specimens tested at 28 days and one specimen retained in reserve. This set of test cylinders shall be protected against freezing.

Slump tests shall be made prior to the addition of plasticizers. Where concrete is placed by pumping methods, concrete for test cylinders and slump tests shall be taken at the point of final placement.

Adjustment of slump by adding water to the mix at the job site shall occur as follows. Adjustment shall be made one time only with a maximum of 2 gallons of water per cubic yard such that the specified slumps and water / cement ratios are not exceeded. The concrete shall be mixed after the addition of water one minute per cubic yard to a maximum of 5 minutes.

Protect the concrete surface between finishing operations on hot, dry days or any time plastic shrinkage cracks could develop by using wet burlap, plastic membranes or fogging. Protect concrete deck at all times from rain, hail or other injurious effects.

Construction joints shall be prepared by roughening the contact surface in an approved manner to a full amplitude of approximately 1/4 inch leaving the contact surface clean and free of laitance.

Use of construction joints at locations other than those indicated on the drawings shall be submitted to the Structural Engineer for approval.

Principal openings in the structure are indicated on the contract documents. Refer to the architectural, mechanical, electrical, and plumbing drawings for sleeves, curbs, inserts, etc. not herein indicated. Openings in slabs with a maximum side dimension or diameter of 10 inches or less shall not require additional framing or reinforcement, unless noted otherwise. The Structural Engineer shall approve the location of sleeves or openings in structural members.

The Contractor shall verify the location of sleeves, openings, embedded items, etc. and shall insure that they are in place prior to the placement of the concrete.

The Contractor shall submit for review by the Structural Engineer a mix design for each proposed class of concrete. Mix designs shall show weight proportions for components of the mix. The Contractor shall not vary from the mix design without the approval of the Structural Engineer.

No Fly Ash is permitted in the concrete for this project.

CONCRETE SLABS-ON-GRADE:

Slabs-on-grade shall be constructed in accordance with the latest edition of the "Guide for Concrete Floor and Slab Construction" (ACI 302.1R).

In addition to the specifications noted elsewhere, the normal weight concrete for flatwork shall conform to the following:

Minimum Cement Content: 5 sacks / cyd
Maximum Water Cement Ratio by Weight: 0.48
Maximum Slump Prior to Addition of Plasticizers: 3 inches
Maximum Slump if Plasticizers are not used: 4 inches

Minimum cement content shall be 6 sacks/cyd and max w/c ratio shall be 0.43 for Curbs, Sidewalks and Slabs exposed to de-icers.

Slabs-on-grade shall be placed to achieve the following minimum tolerances:

Overall Values: Ff = 40 Fl = 30
Local Values: Ff = 35 Fl = 25

Place concrete in a manner so as to prevent segregation of the mix. Floating and troweling operations shall not occur until the concrete has lost surface water sheen or all free water. Do not sprinkle free cement on the slab surface.

Provide curing of concrete slabs immediately after finishing using a sprayed on liquid curing compound. Other methods may be used with the Structural Engineer's approval. Reference specifications.

Subgrade modulus for slab on grade design: 140 p.c.i.

CONCRETE REINFORCEMENT:

Reinforcing bar detailing, fabricating, and placing shall conform to the latest edition of the following standards: "Specifications for Structural Concrete Buildings" (ACI 301) and "ACI Detailing Manual" (SP66).

Reinforcing steel shall be deformed bars of new billet steel conforming to ASTM A615-90 and shall have a minimum yield strength of 60,000 psi.

Provide standard bar chairs and spacers as required to maintain concrete protection specified.

Welded wire fabric shall be smooth wire fabric conforming to ASTM A185 unless otherwise noted. Fabric shall be supplied in flat sheets and lapped a minimum of 14 inches.

Welded wire fabric in slabs-on-grade shall be placed 1 1/2" down from the top of the slab unless otherwise noted.

Unless otherwise shown or noted, splicing of reinforcing bars shall conform to the current ACI 318. Where the length of lap is not shown or noted, provide a Class "B" lap at splices.

Horizontal bars in walls or grade beams shall be bent at corners and intersections in such a way that continuity is provided through the joint. Separate corner bars of the same size and spacing as the horizontal reinforcing may be substituted for the bent portion of the continuous bars.

The Concrete Contractor shall prepare detailed working or shop drawings to enable fabrication, erection and construction of the work in accordance with the drawings and specifications and shall submit one reproducible copy and one blue line copy to the Structural Engineer for approval. These shop drawings will be reviewed for design concepts expressed in the contract documents only. The Contractor shall be responsible for all dimensions, accuracy, and fit of work.

NON-SHRINK GROUT:

Grout shall be a non-metallic, shrinkage resistant (when tested in accordance with the latest edition of ASTM C827 or CRD-C621), premixed, non-corrosive, non-staining product containing Portland Cement, silica sands, shrinkage compensating agents and fluidity improving compounds. Grout shall have a minimum compressive strength (F_c) of 5,000 psi in 28 days.

Grout compressive strength tests shall be performed in accordance with the latest edition of ASTM C109.

MASONRY:

Engineered concrete masonry has been designed in accordance with the latest edition of the "Building Code Requirements for Concrete Masonry Structures" (ACI 531) by the American Concrete Institute (ACI).

Concrete masonry construction shall conform to the latest edition of the "Specification for Concrete Masonry Construction" (ACI531.1).

Concrete masonry construction shall have a minimum compressive strength (F_m) 1,500 psi at 28 days.

Mortar shall be Type M below grade and Type M or S above grade proportioned in accordance with the latest edition of ASTM C 270 or C 476.

Reinforcing steel for bond beams and vertical block cores shall be deformed bars of new billet steel complying with ASTM A 615-85 and having a minimum yield strength of 60,000 psi.

Unless otherwise noted, masonry cores (where specified on drawings) and bond beams shall be filled with concrete meeting the following requirements.

Minimum 2,500 psi 28-day compressive strength with 3/4-inch maximum aggregate and 7 inch maximum slump.

Unless otherwise noted, provide two 1/2-inch x 1'-2" hooked anchor bolts at beam bearings shown on framing plans. Space at beam gage.

Bearings for beams, lintels, joists, etc. shall be bond beams or hollow masonry units with cores filled solid with concrete. See drawings for minimum bearing requirements.

SPECIAL INSPECTION REQUIREMENTS

BUILDING CODE SECTION 1704 & 1707 REQUIRES A SPECIAL INSPECTOR TO OBSERVE THE WORK ASSIGNED FOR CONFORMANCE TO THE APPROVED DESIGN DRAWINGS AND SPECIFICATIONS. THESE INSPECTIONS ARE IN ADDITION TO INSPECTIONS SPECIFIED ELSEWHERE. ENGINEER OF RECORD, LLC DOES NOT PROVIDE THESE INSPECTIONS.

THE OWNER SHALL RETAIN THE SERVICES OF A MATERIAL TESTING AGENCY TO MAKE AVAILABLE A SPECIAL INSPECTOR WHO SHALL PROVIDE INSPECTIONS DURING CONSTRUCTION ON THE TYPES OF LISTED WORK.

SPECIAL INSPECTOR SHALL SUBMIT COPIES OF INSPECTION REPORTS TO THE CONSTRUCTION MANAGER AND THE STRUCTURAL ENGINEER.

REQUIRED INSPECTIONS DURING CONCRETE CONSTRUCTION

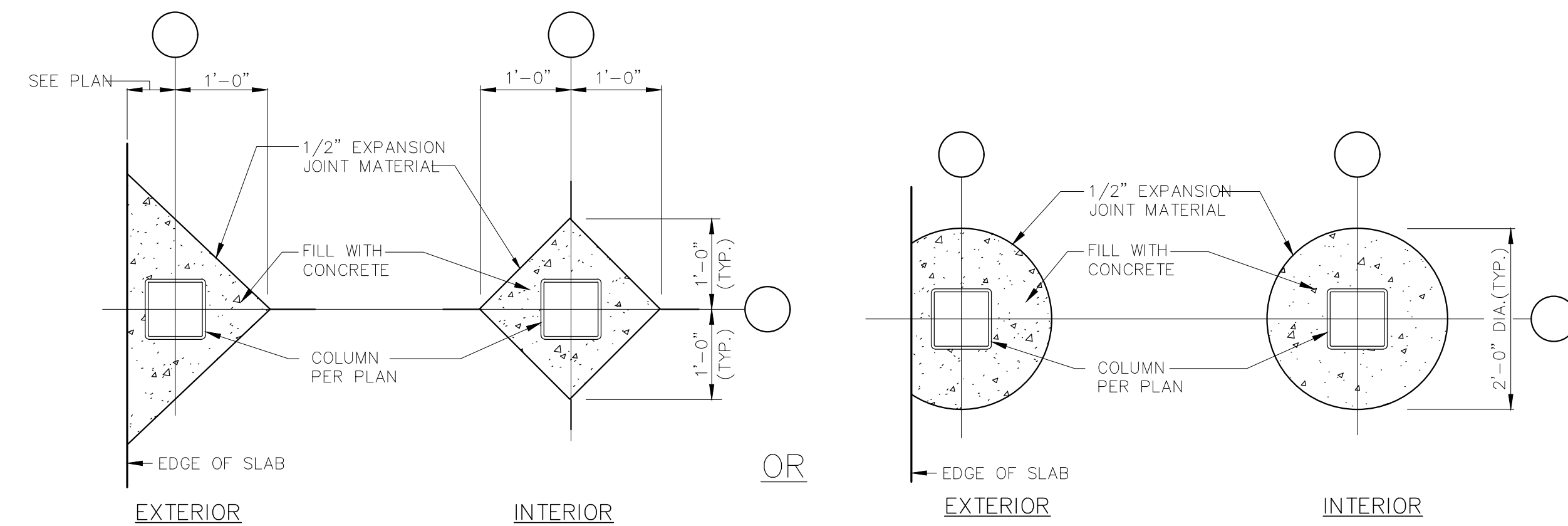
INSPECTION TASK	FREQUENCY OF INSPECTION	REFERENCE FOR CRITERIA
1. INSPECTION OF REINFORCING STEEL INCLUDING PLACEMENT	PERIODIC	ACI 318: 3.5, 7.1-7.7
2. INSPECTION OF REINFORCING STEEL WELDING IN ACCORDANCE WITH "INSPECTION FOR STEEL MATERIALS"	PERIODIC	ACI 318: 3.5.2 AWS D1.4
3. INSPECT ANCHOR RODS INSTALLED IN CONCRETE (ONLY RODS WITH DOUBLE NUTS ON BOTTOM)	CONTINUOUS	IBC: 1912.5
4. VERIFY USE OF REQUIRED MIX DESIGN	PERIODIC	ACI 318: CH. 4 5.2-5.4
5. SAMPLING OF FRESH CONCRETE, INCLUDING: SLUMP, AIR CONTENT, CONCRETE TEMPERATURE AT THE TIME OF MAKING SPECIMENS FOR STRENGTH EVALUATION	CONTINUOUS	ACI 318: 5.6, 5.8 ASTM C-172, C31
6. INSPECTION OF CONCRETE PLACEMENT FOR PROPER TECHNIQUES	CONTINUOUS	ACI 318: 5.9, 5.10
7. INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURES AND TECHNIQUES	PERIODIC	ACI 318: 5.11, 5.13
8. ERECTION OF PRECAST CONCRETE MEMBERS	PERIODIC	ACI 318: Ch. 16
7. EVALUATION OF CONCRETE STRENGTH TEMPERATURES AND TECHNIQUES	PERIODIC	ACI 318: 5.63

LEVEL 1 SPECIAL INSPECTIONS FOR MASONRY CONSTRUCTION

1. NONE REQUIRED		
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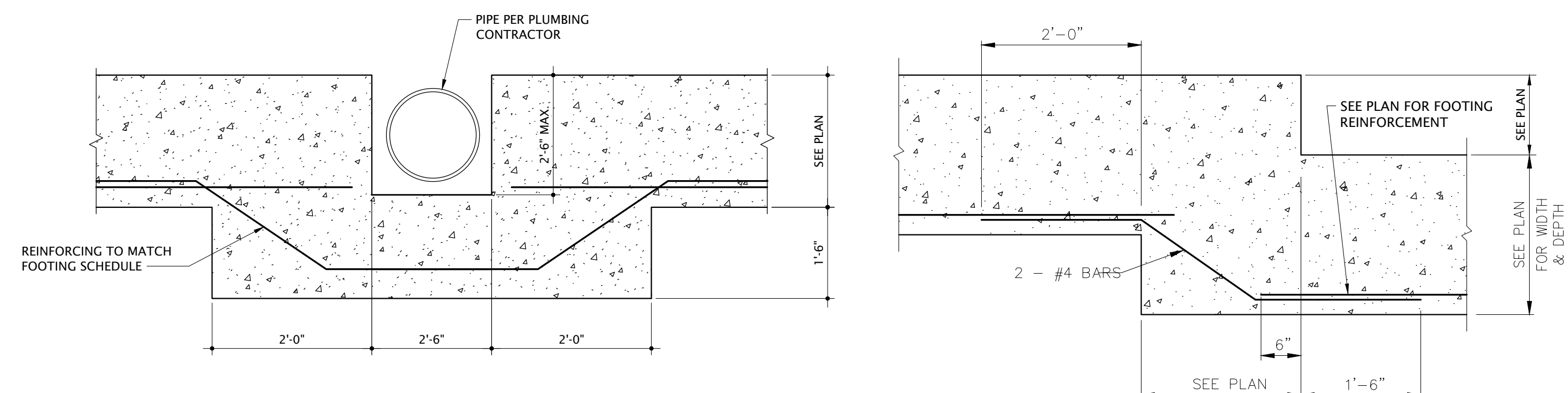
SPECIAL INSPECTION REQUIREMENTS FOR WIND RESISTANCE

1. NONE REQUIRED		
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Typical Column Isolation Joints

Not to Scale

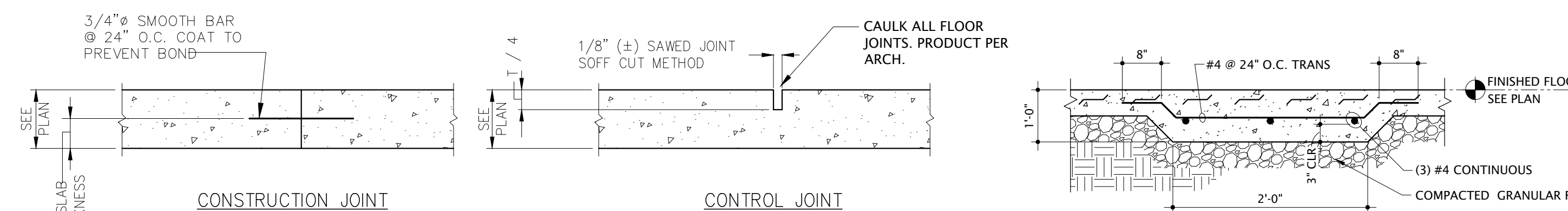


Foundation Detail at Utility Lines

Not to Scale

Typical Stepped Footing

Not to Scale



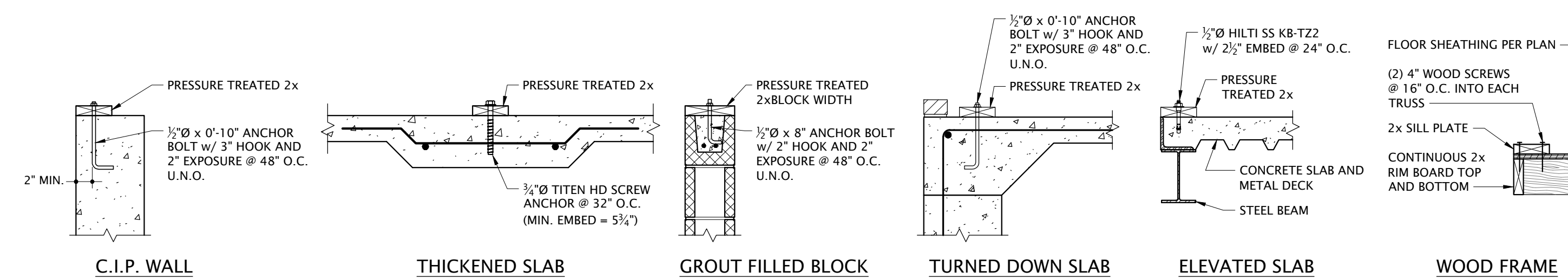
Typical Slab on Grade

Not to Scale

NOTE:
MAXIMUM JOINT SPACING (FT) = T x 2/3
WHERE T = SLAB THICKNESS IN INCHES.

Typical Thickened Slab Foundation

3/4"=1'-0"



Typical Wood Sill Plate Attachment Detail

Not to Scale

NOTE: (2) FASTENERS MINIMUM PER PLATE.



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consultants:

J. Ilc.
Ilc.

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date: description:

4-26-2024 Foundation Set

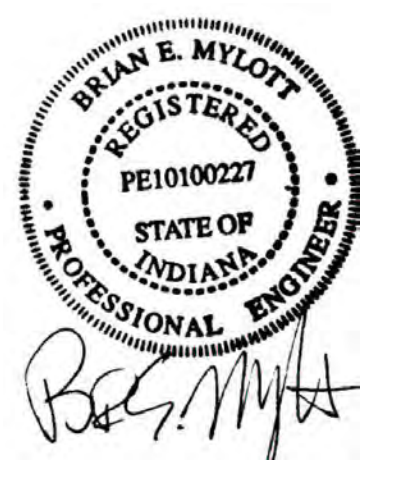
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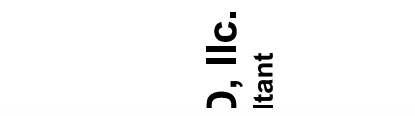
Foundation
General Notes
and Typical Details

sheet number:

F300



certification:
 consultants:



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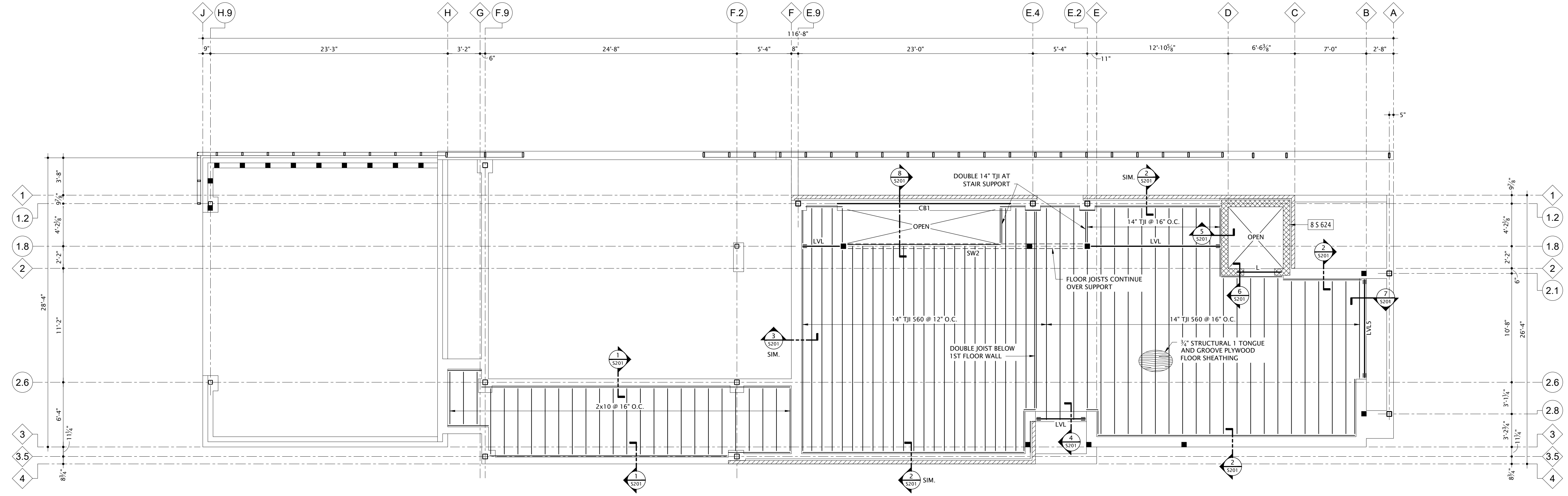
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drawn:	TMK
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date:	5-14-2024
description:	Permit Set

sheet title:
**1st Floor
 Framing Plan**

sheet number:
S101



1st Floor Framing Plan
 NORTH
 3/16" = 1'-0"

NOTES:

1. FINISHED FLOOR REFERENCE ELEVATION = 100'-0" (SEE ARCHITECTURAL).
2. WOOD FLOOR FRAMING TO BE DESIGNED BY REGISTERED ENGINEER PER FRAMING CONTRACTOR/SUPPLIER. SEE SHEET 3.0 FOR DESIGN CRITERIA.
3. CB1 INDICATES 18"x16" CONCRETE BEAM REINFORCED WITH 3 #7 CONTINUOUS TOP, BOTTOM AND MIDDLE, WITH #3 TIES @ 12" O.C. SEE DETAIL 3/F201 FOR MORE INFORMATION.
4. 'L' INDICATES CMU LINTEL PER SHEET S302.
5. [8 S 624] SEE SHEET S302 FOR CMU WALL SIZE AND REINFORCING.
6. ■ INDICATES 6x6 WOOD POST WITH SIMPSON CAP AND BASE.
7. — INDICATES LVL HANGER DESIGNED AND SUPPLIED BY LUMBER SUPPLIER. SUPPLY WELDABLE CONCEALED FLANGE HANGER AT STEEL COLUMNS TO BE INSTALLED BY STEEL SUPPLIER.
8. LVL INDICATES WOOD BEAM PER SCHEDULE ON SHEET S301.



B.E. Mylott

certification:
consultants:

J. Ilc.
llc.
llc.

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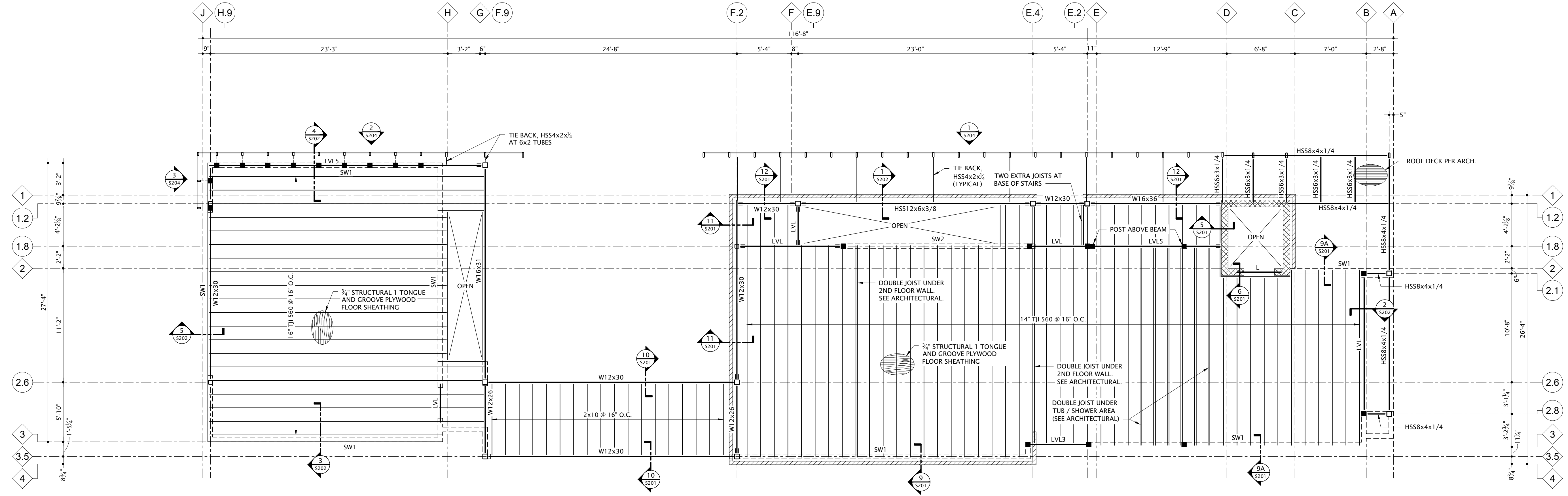
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drawn: TMK
checked: BEM
date: 5-14-2024
description: Permit Set

sheet title:
2nd Floor Framing Plan

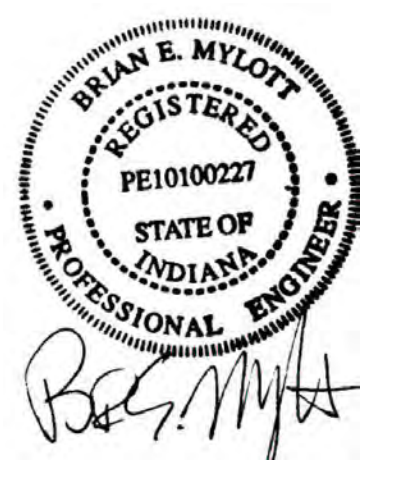
sheet number:
S102



2nd Floor Framing Plan
NORTH 3/16" = 1'-0"

NOTES:

1. FINISHED FLOOR REFERENCE ELEVATION = SEE ARCHITECTURAL.
2. T/STEEL ELEVATION = SEE ARCHITECTURAL.
3. WOOD FLOOR FRAMING TO BE DESIGNED BY REGISTERED ENGINEER PER FRAMING CONTRACTOR/SUPPLIER. SEE SHEET 3.0 FOR DESIGN CRITERIA.
4. PROVIDE FULL HEIGHT BLOCKING AT ALL INTERIOR NON-LOAD BEARING WALLS.
5. ALL HSS COLUMN SIZES = HSS6x6x3/8".
6. INDICATES MOMENT CONNECTION.
 INDICATES HANGER DESIGNED AND SUPPLIED BY FRAMING CONTRACTOR FOR LOADS PROVIDED.
7. STEEL CONTRACTOR TO DESIGN CONNECTIONS FOR END REACTIONS SHOWN ON PLAN. MINIMUM REACTION = 125, IF NONE SHOWN.
8. INDICATES 6x6 WOOD POST WITH SIMPSON CAP AND BASE.
9. INDICATES LVL HANGER DESIGNED AND SUPPLIED BY LUMBER SUPPLIER. SUPPLY WELDABLE CONCEALED FLANGE HANGER AT STEEL COLUMNS TO BE INSTALLED BY STEEL SUPPLIER.
10. LVL INDICATES WOOD BEAM PER SCHEDULE ON SHEET S301.



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consultants:

J. Ilc.
llc.

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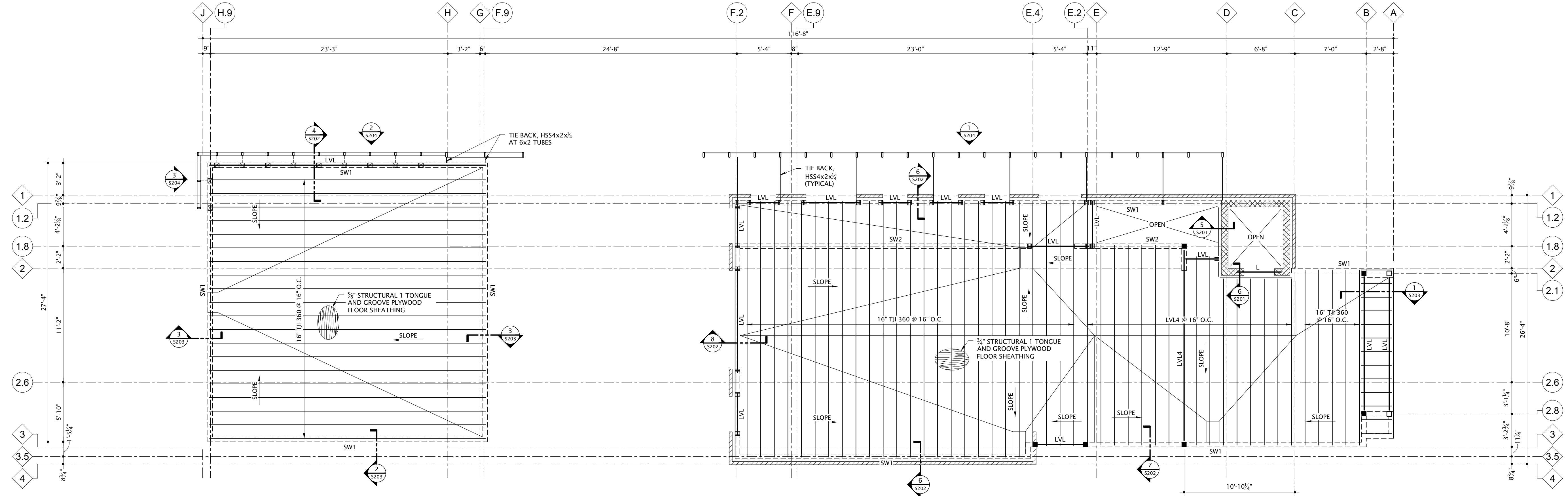
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date:	5-14-2024
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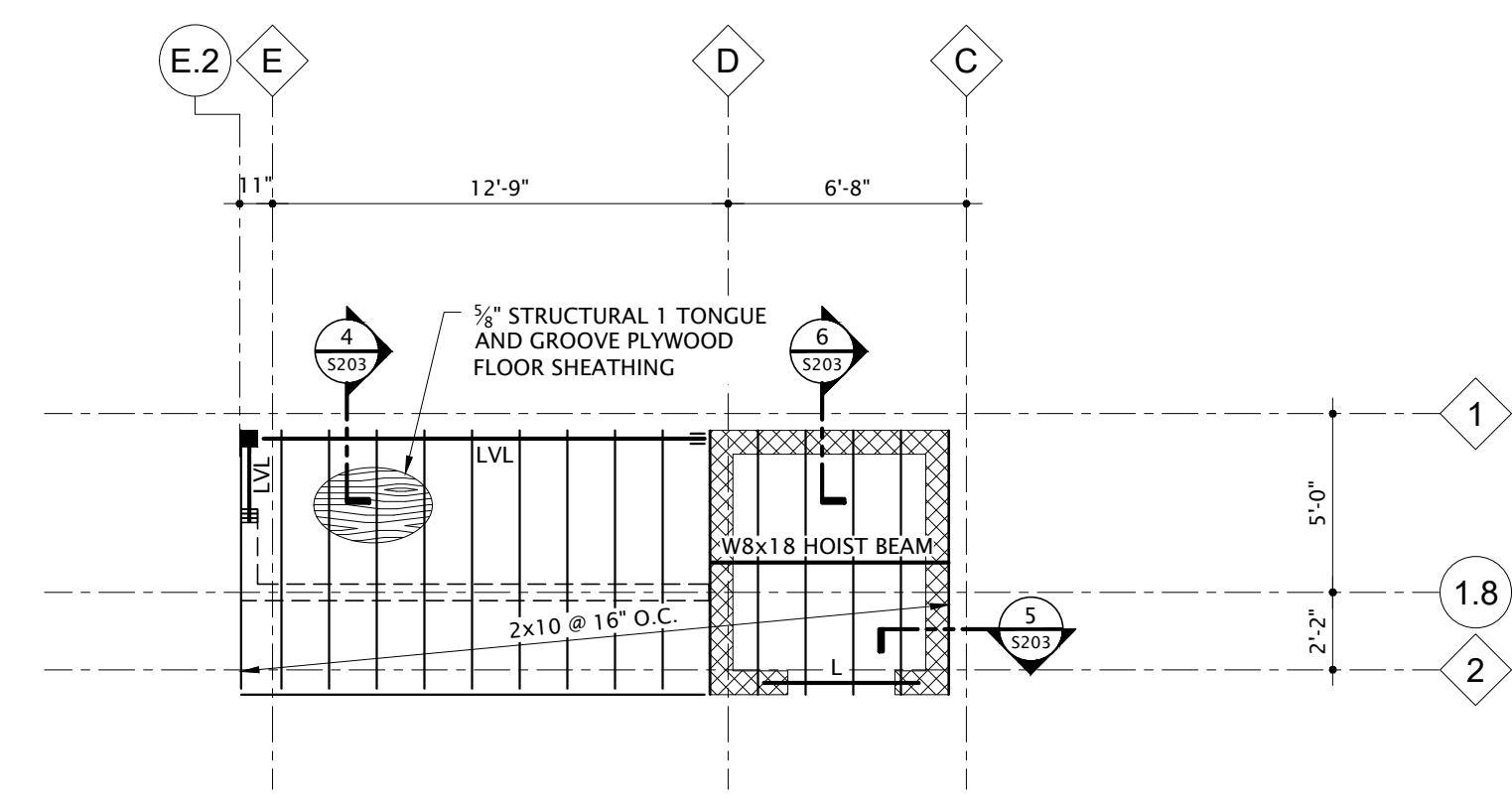
sheet title:
Roof Framing Plan

sheet number:
S103



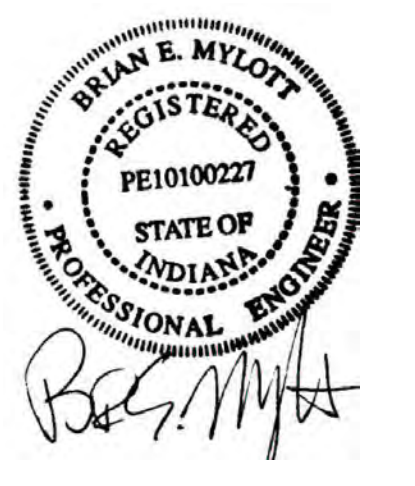
Roof Framing Plan
3/16" = 1'-0"
NORTH

- NOTES:**
1. ROOF FRAMING ELEVATION = SEE ARCHITECTURAL.
 2. WOOD ROOF FRAMING TO BE DESIGNED BY REGISTERED ENGINEER PER FRAMING CONTRACTOR/SUPPLIER. SEE SHEET 3.0 FOR DESIGN CRITERIA.
 3. PROVIDE FULL HEIGHT BLOCKING AT ALL INTERIOR NON-LOAD BEARING WALLS.
 4. SEE ARCHITECTURAL FOR ROOF SLOPE TO DRAINS. MINIMUM SLOPE 1/4"/FOOT.
 5. ■ INDICATES 6x6 WOOD POST WITH SIMPSON CAP AND BASE.
 6. — INDICATES LVL HANGER DESIGNED AND SUPPLIED BY LUMBER SUPPLIER. SUPPLY WELDABLE CONCEALED FLANGE HANGER AT STEEL COLUMNS TO BE INSTALLED BY STEEL SUPPLIER.
 7. LVL INDICATES WOOD BEAM PER SCHEDULE ON SHEET S301.



High Roof Framing Plan
3/16" = 1'-0"
NORTH

- NOTES:**
1. ROOF FRAMING ELEVATION = SEE ARCHITECTURAL.
 2. WOOD ROOF FRAMING TO BE DESIGNED BY REGISTERED ENGINEER PER FRAMING CONTRACTOR/SUPPLIER. SEE SHEET 3.0 FOR DESIGN CRITERIA.
 3. PROVIDE FULL HEIGHT BLOCKING AT ALL INTERIOR NON-LOAD BEARING WALLS.
 4. SEE ARCHITECTURAL FOR ROOF SLOPE TO DRAINS. MINIMUM SLOPE 1/4"/FOOT.
 5. ■ INDICATES 6x6 WOOD POST WITH SIMPSON CAP AND BASE.
 6. — INDICATES LVL HANGER DESIGNED AND SUPPLIED BY LUMBER SUPPLIER. SUPPLY WELDABLE CONCEALED FLANGE HANGER AT STEEL COLUMNS TO BE INSTALLED BY STEEL SUPPLIER.
 7. LVL INDICATES WOOD BEAM PER SCHEDULE ON SHEET S301.



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 consultants:
 J Ilc.
 Iltant

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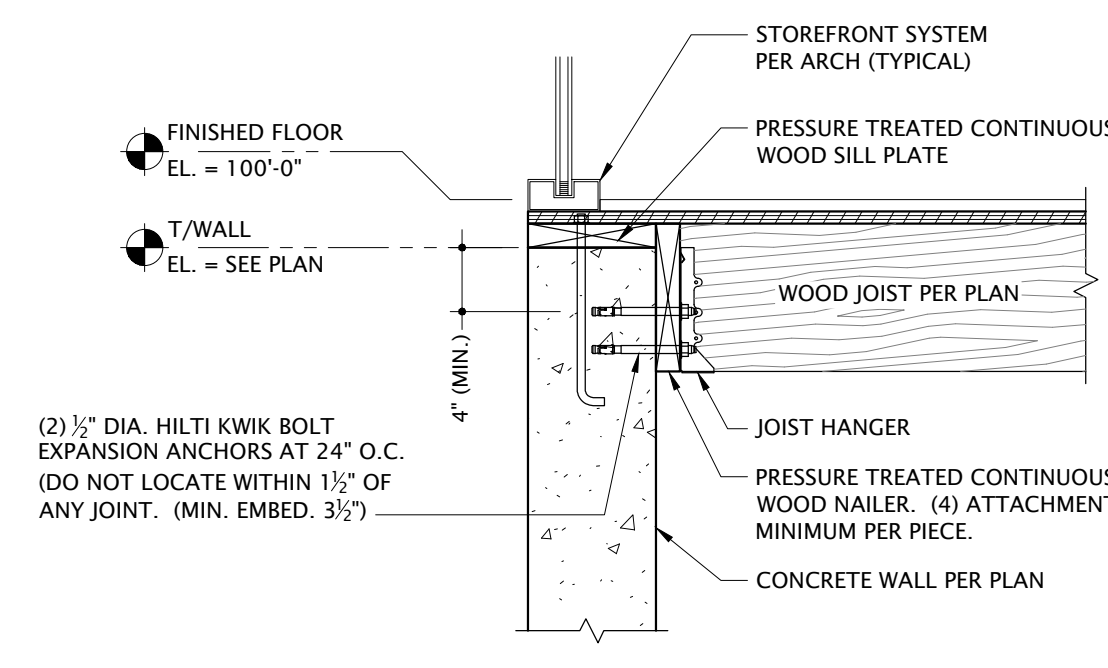
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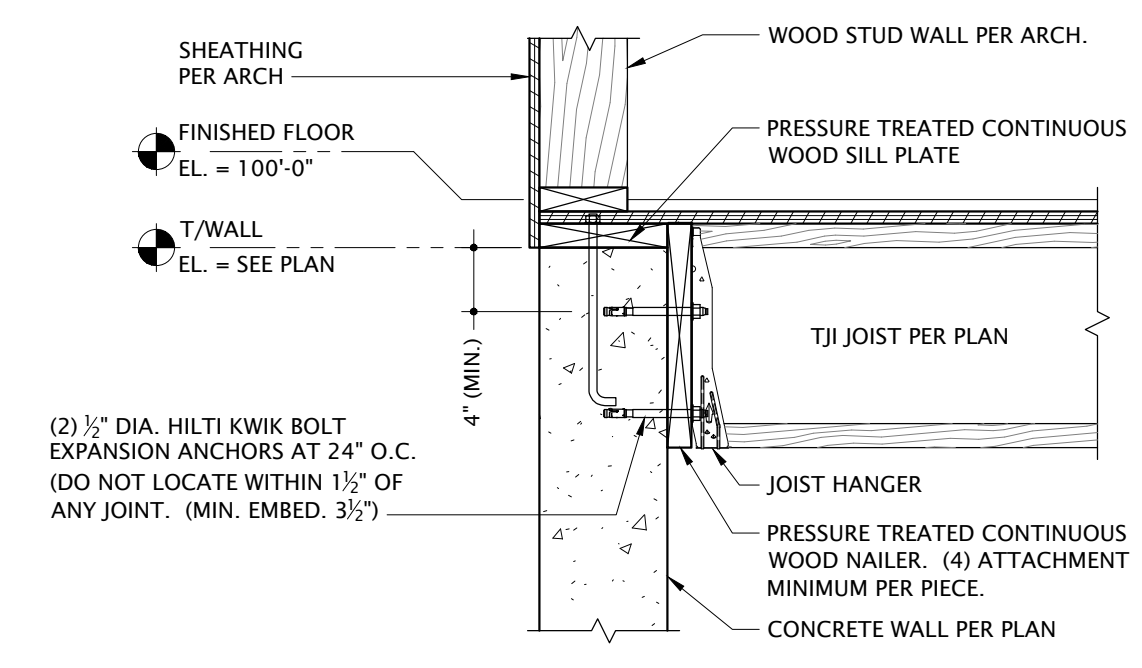
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 description: Permit Set

sheet title:
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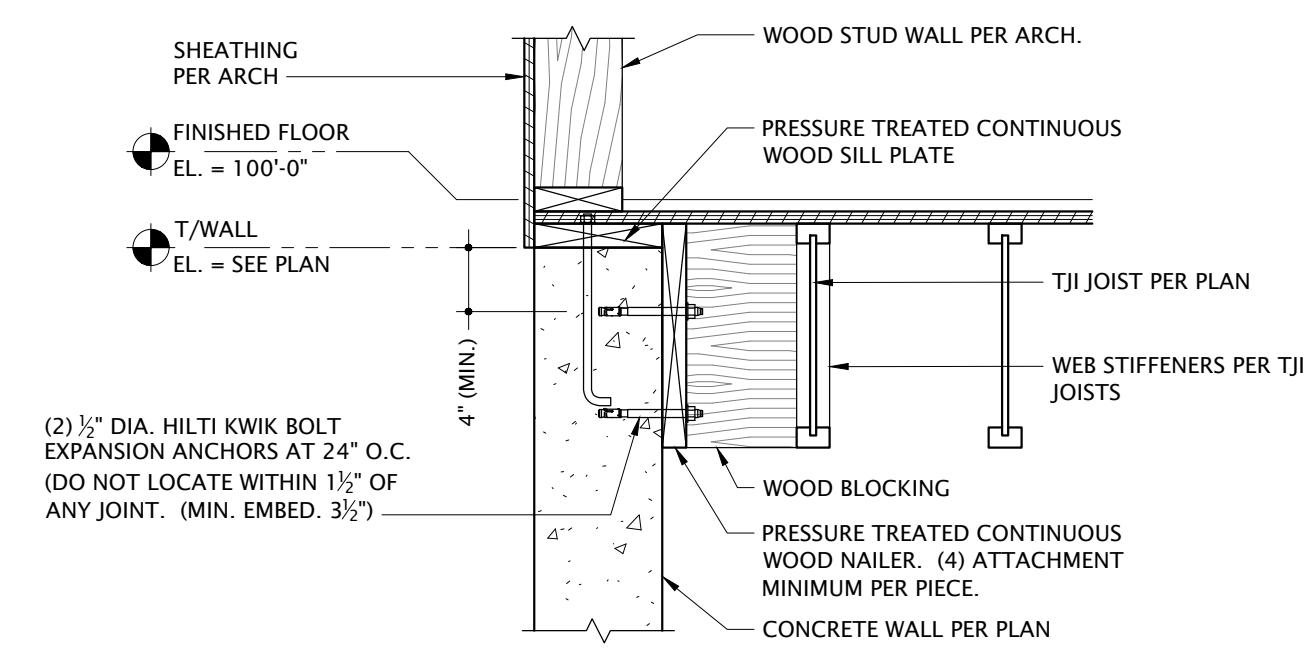
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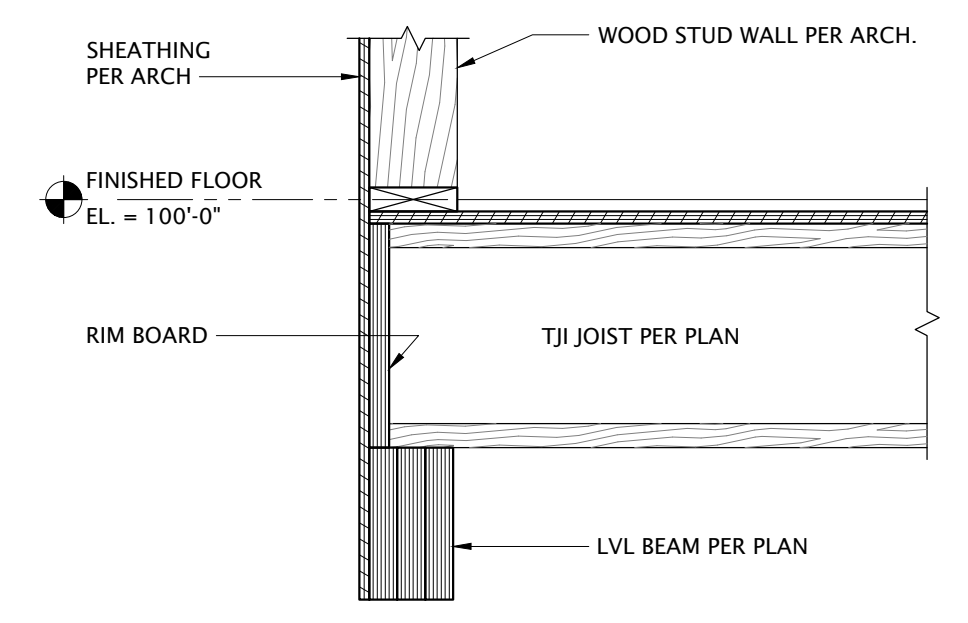
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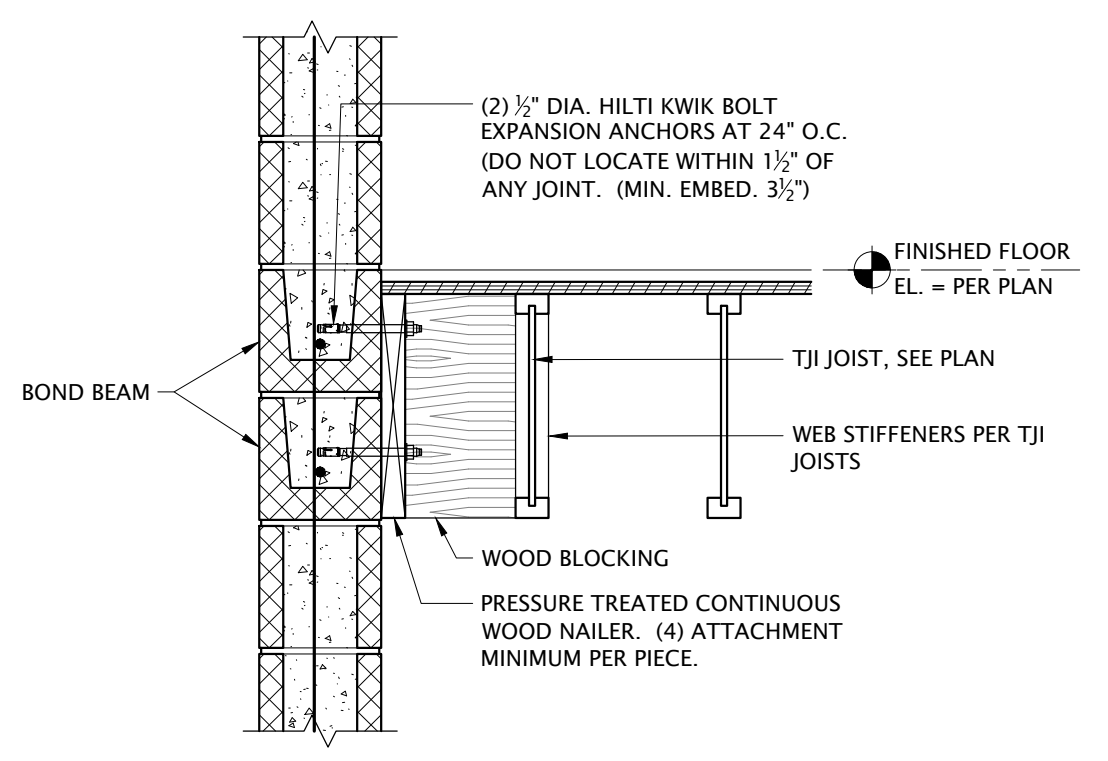
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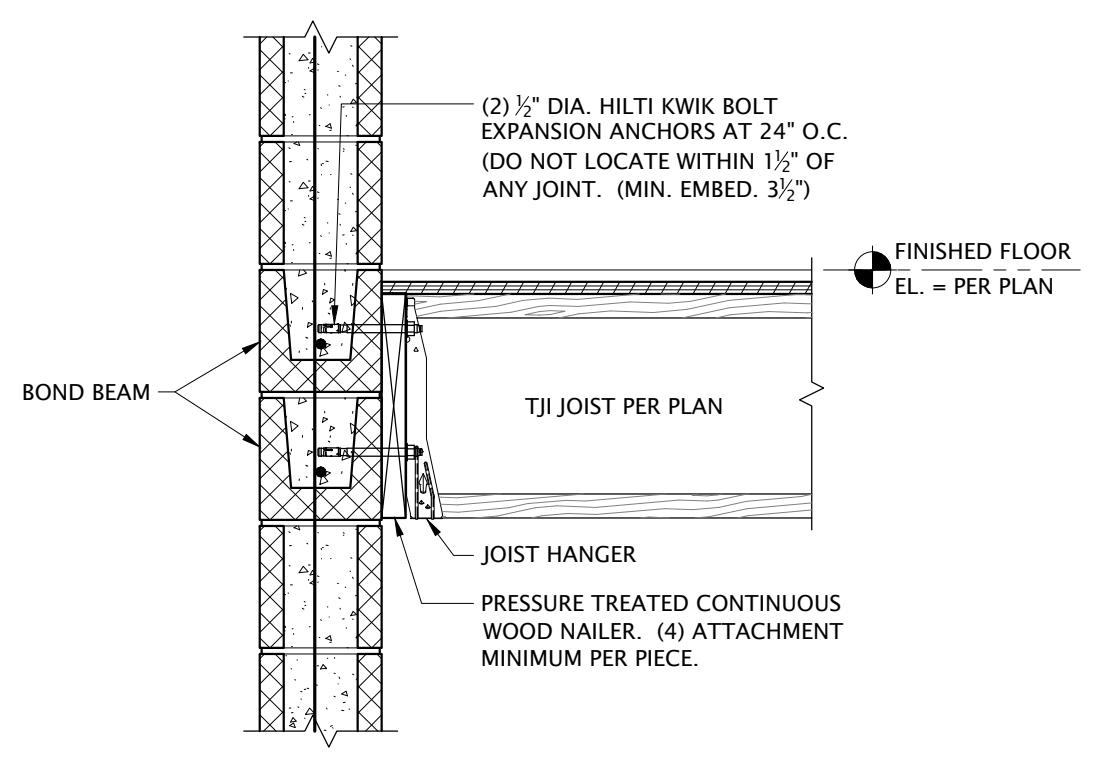
3 Framing Detail
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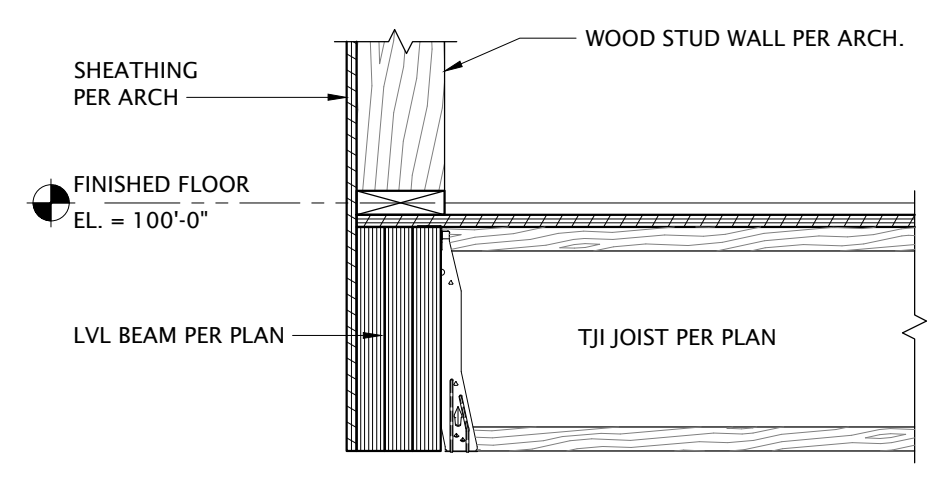
4 Framing Detail
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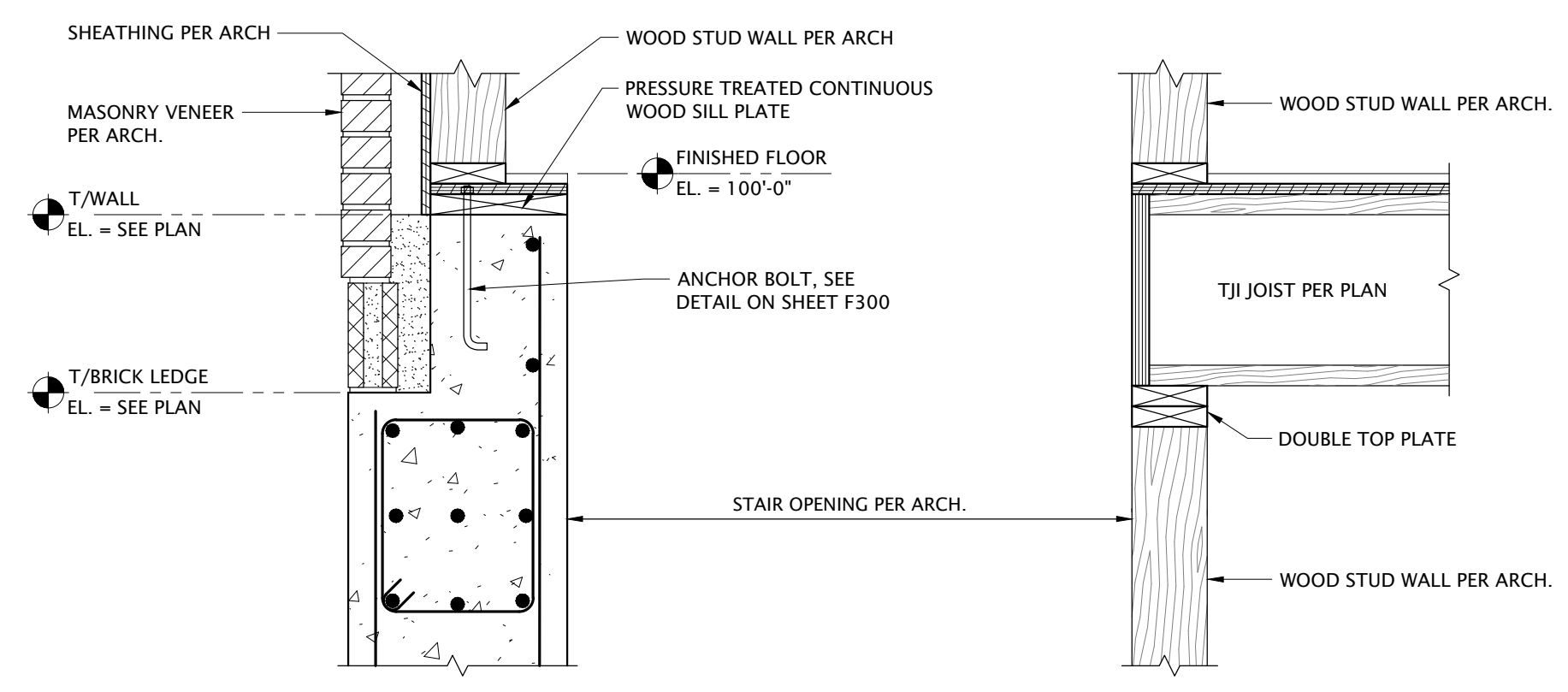
5 Framing Detail
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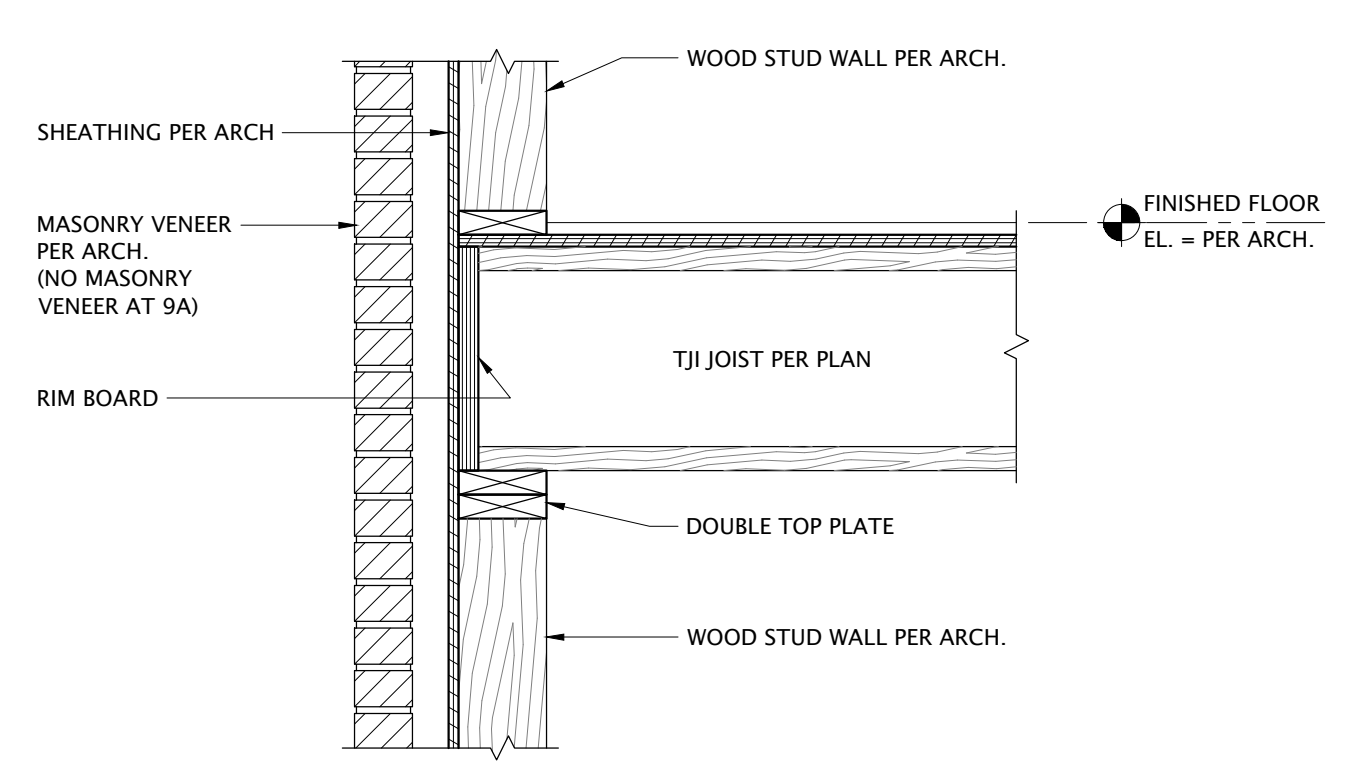
6 Framing Detail
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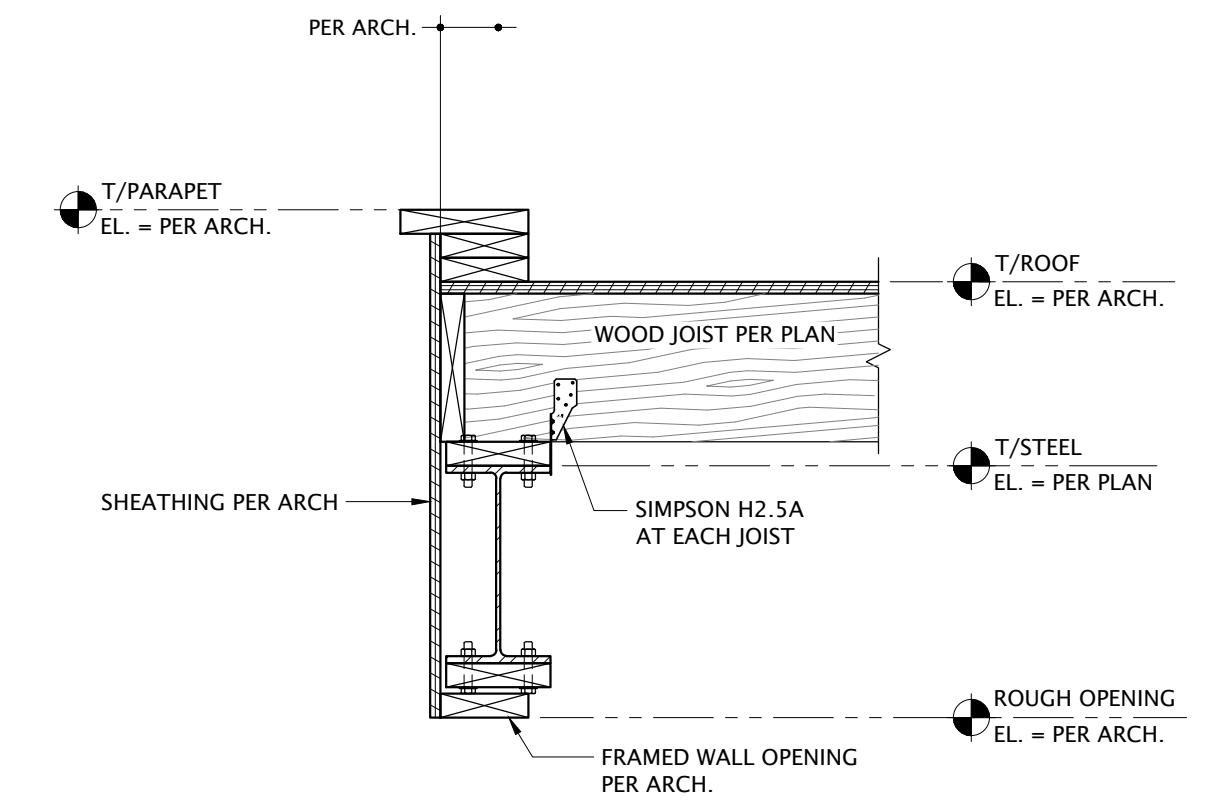
7 Framing Detail
 S201 1"=1'-0"



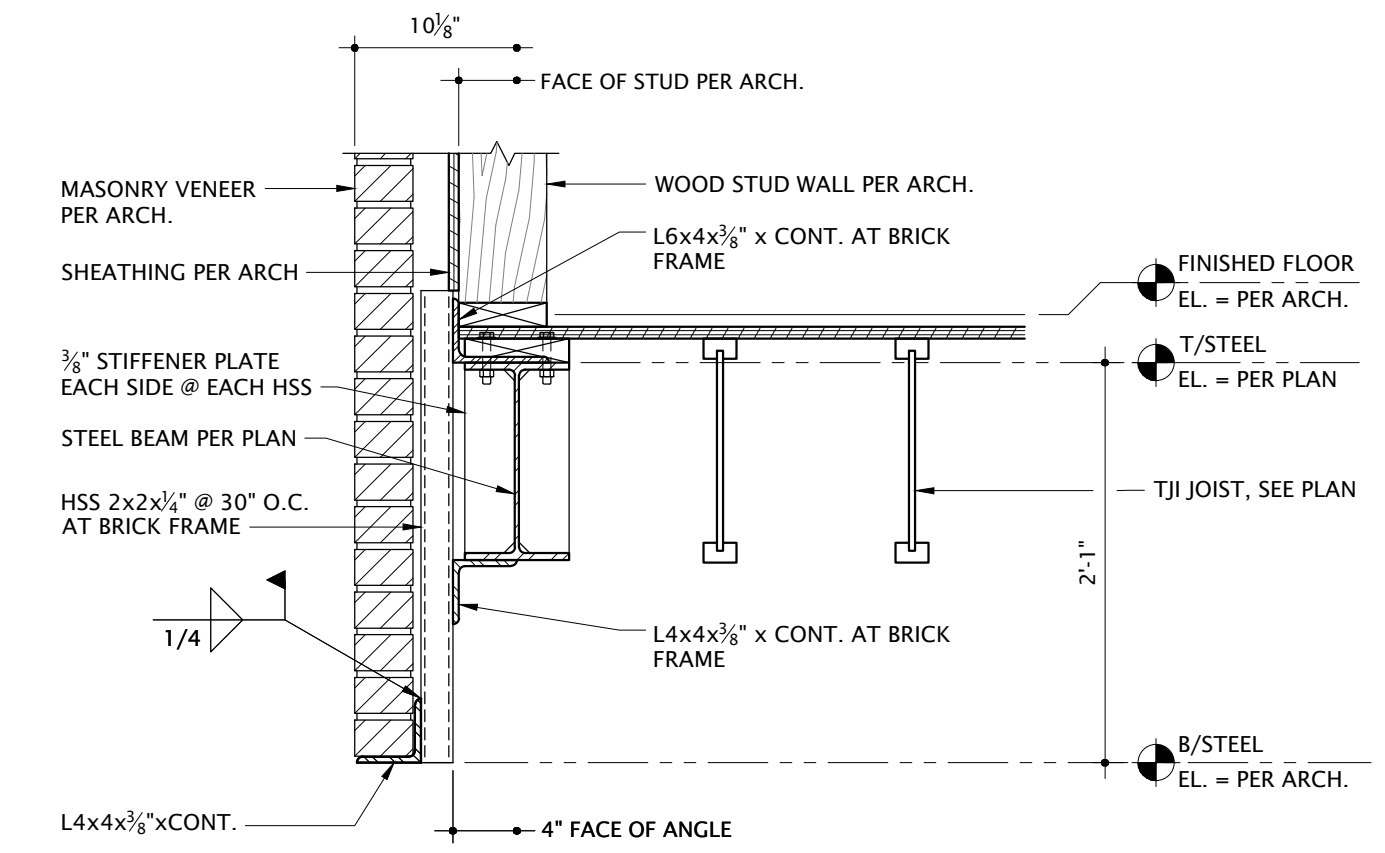
8 Framing Detail
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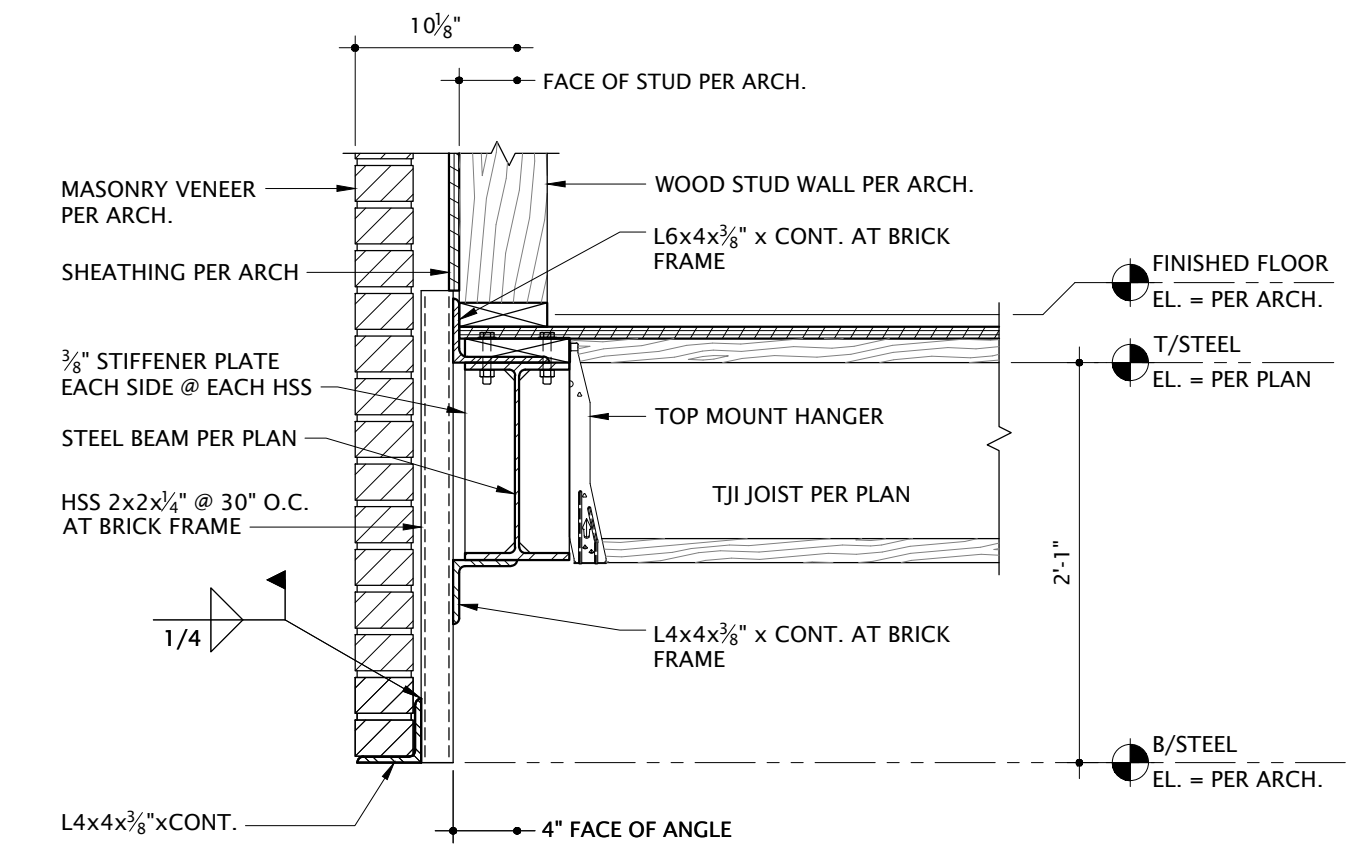
9 Framing Detail
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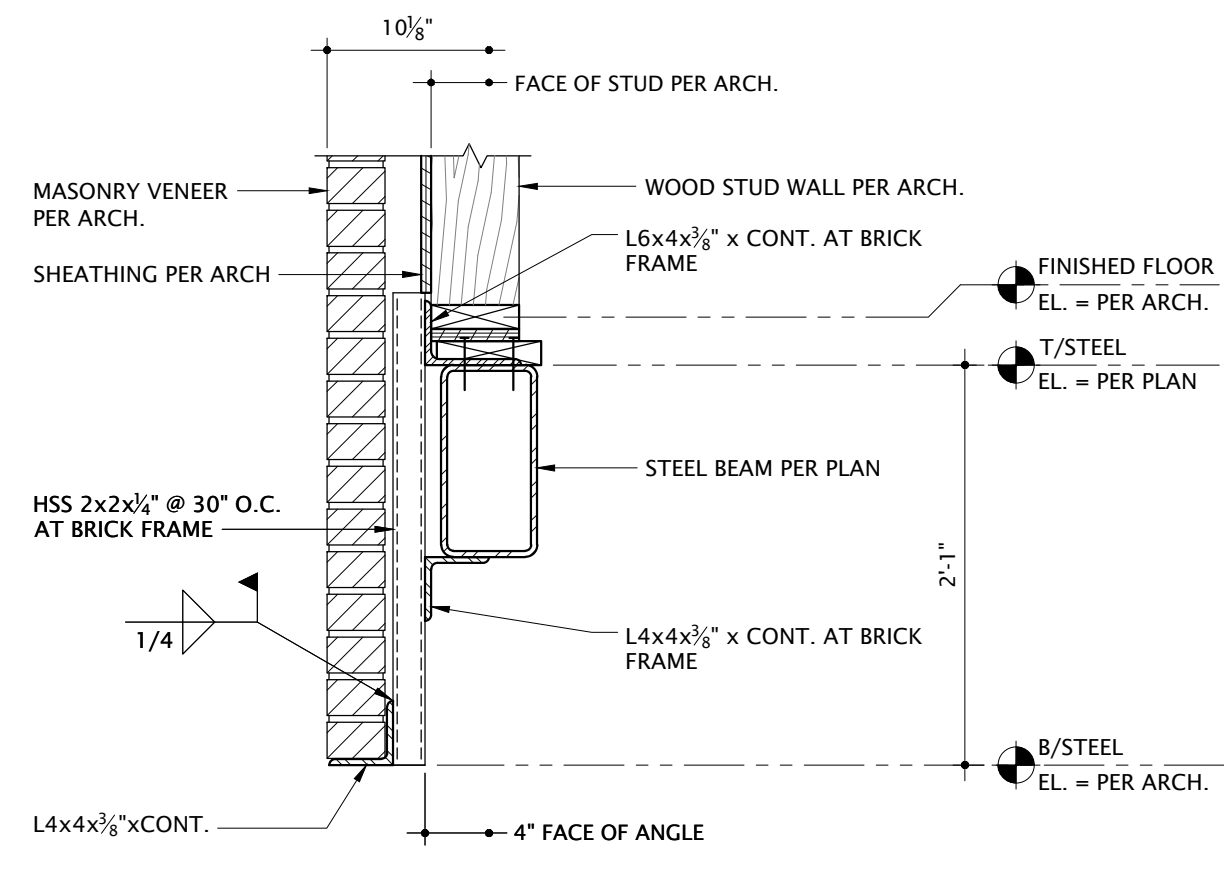
10 Framing Detail
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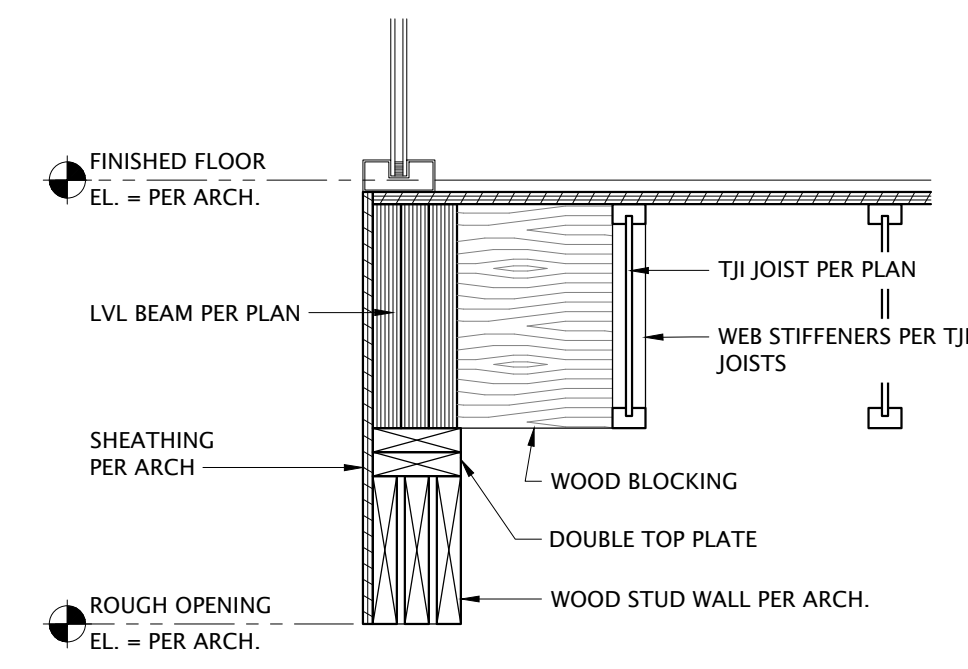
11 Framing Detail
 S201 1"=1'-0"



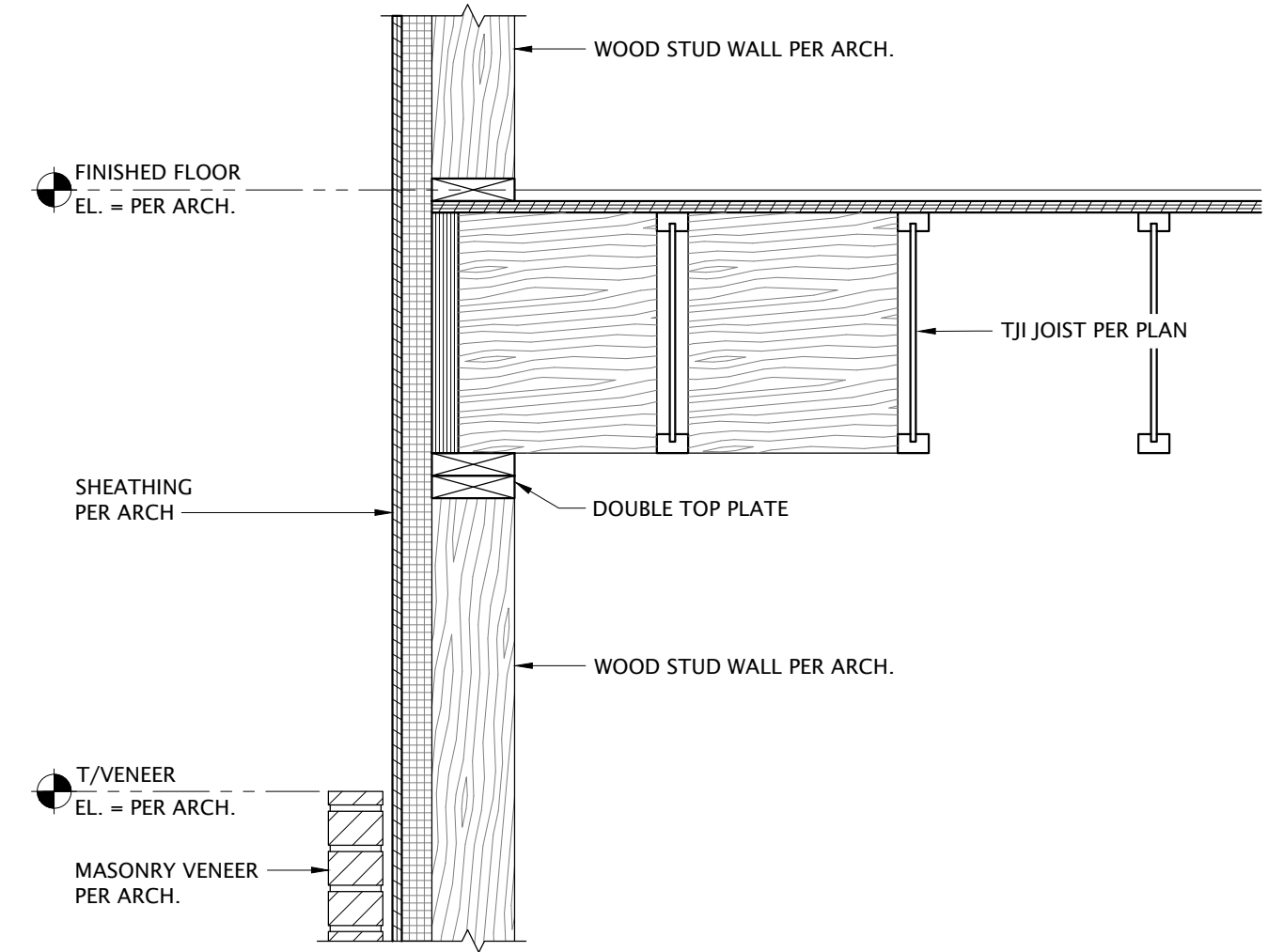
12 Framing Detail
 S201 1"=1'-0"



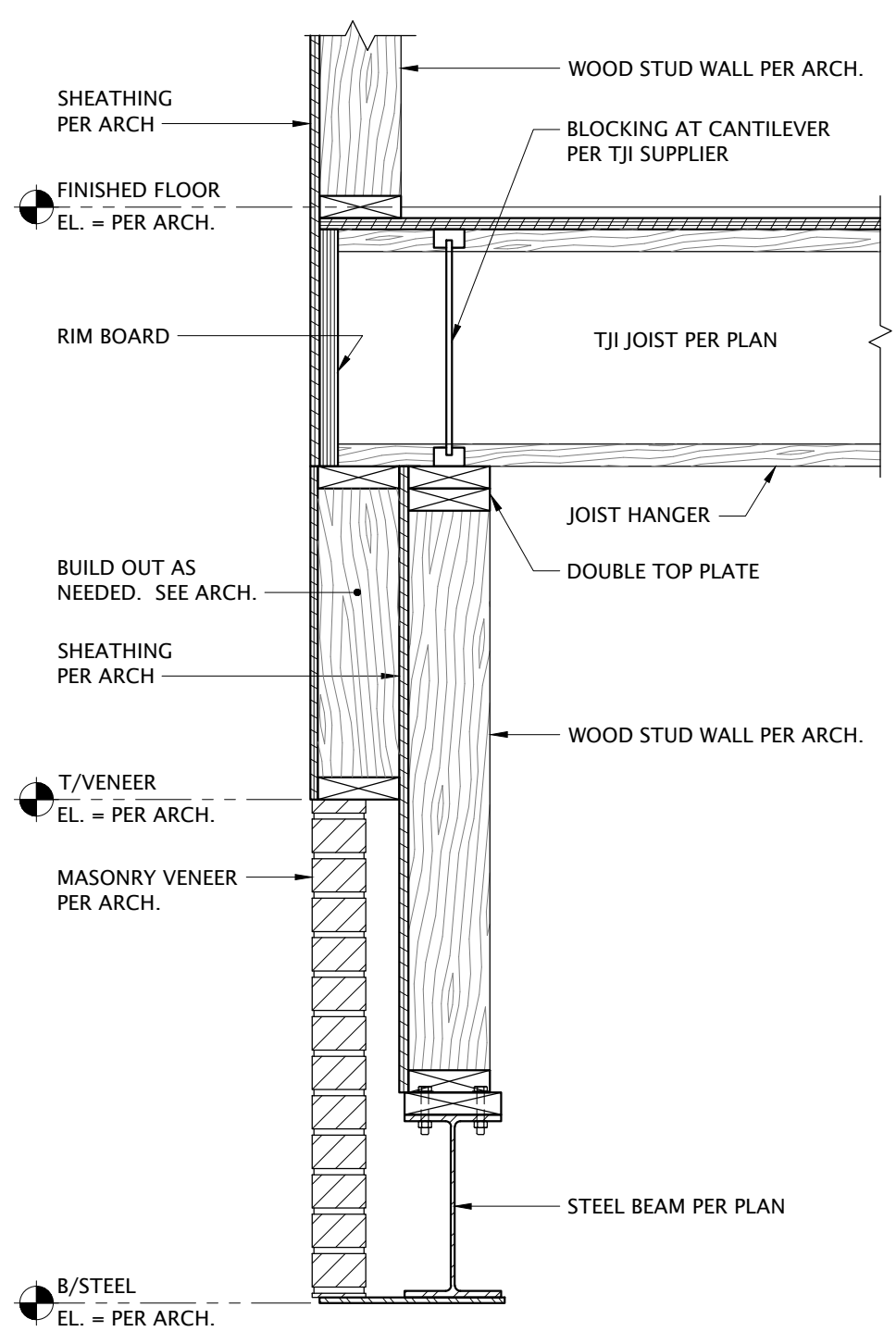
1 Framing Detail
S202 1"=1'-0"



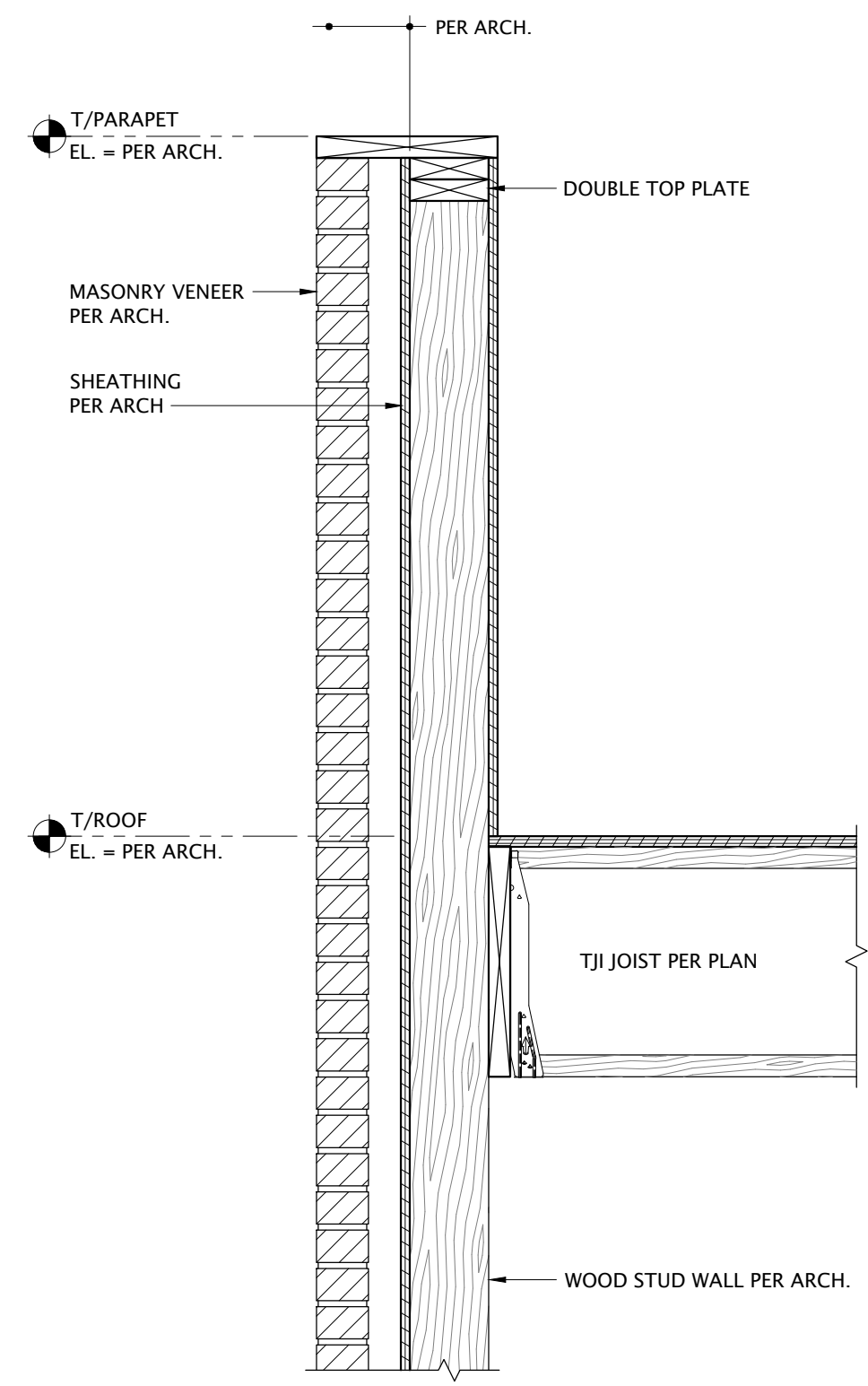
2 Framing Detail
S202 1"=1'-0"



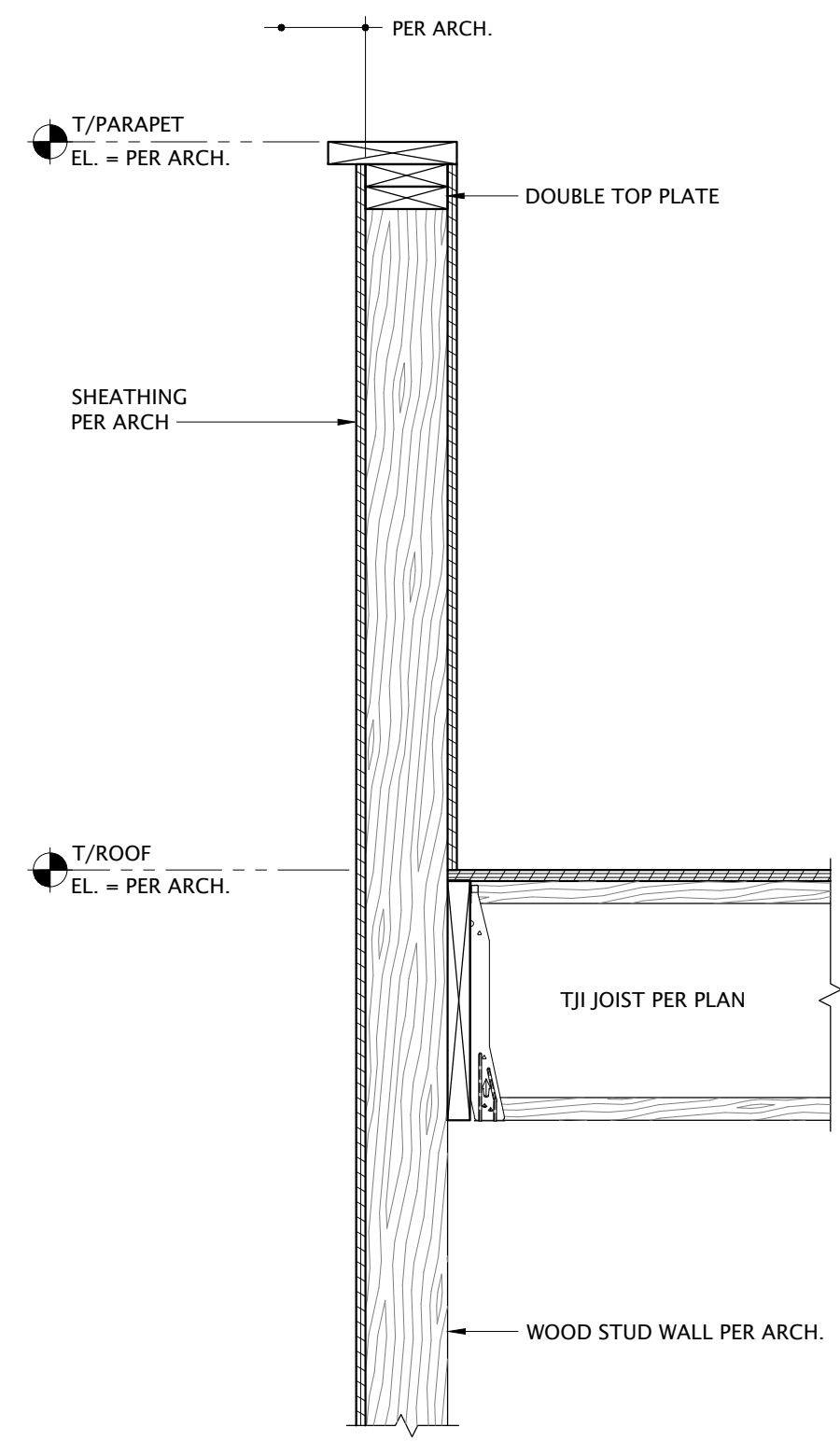
3 Framing Detail
S202 1"=1'-0"



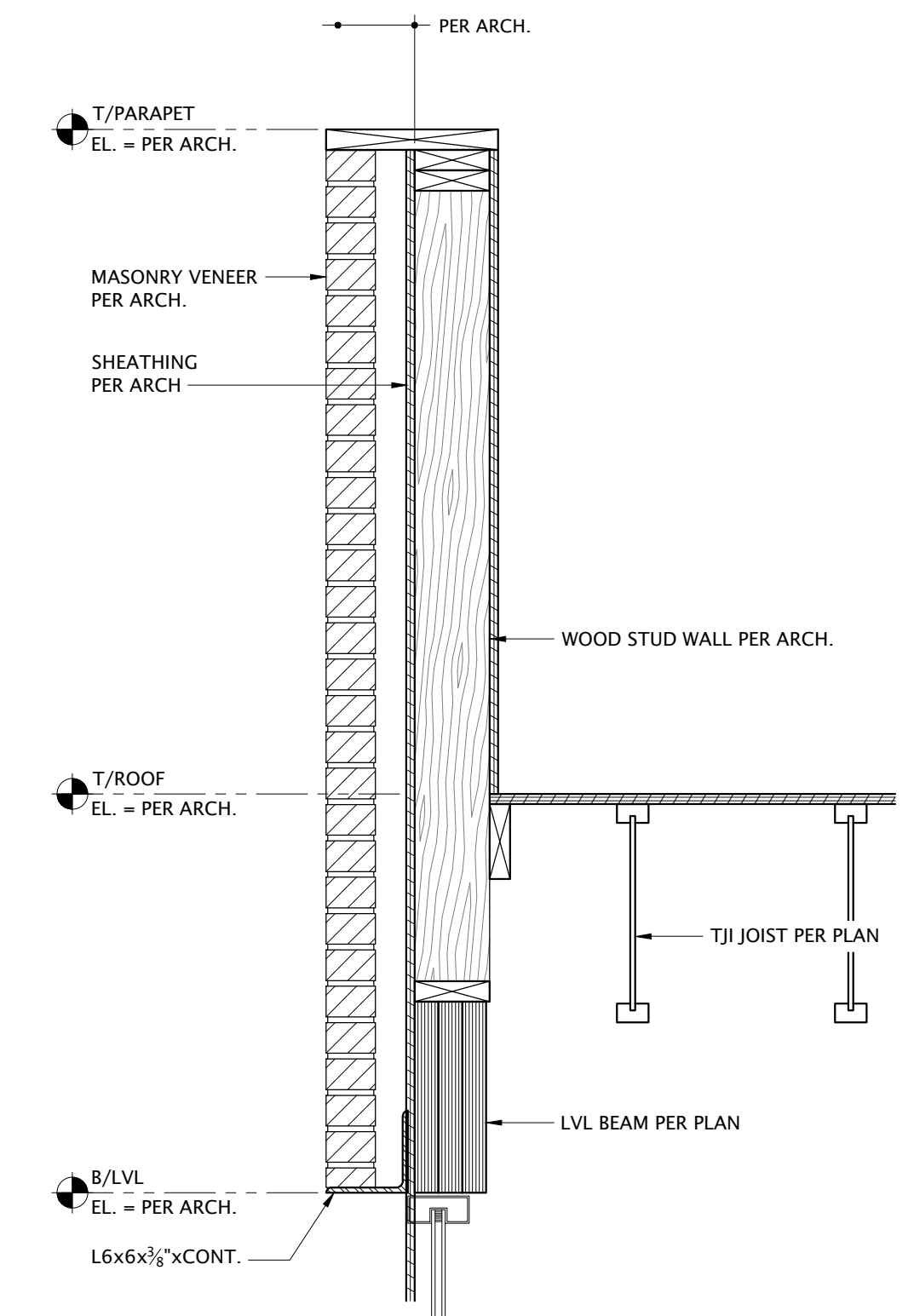
5 Framing Detail
S202 1"=1'-0"



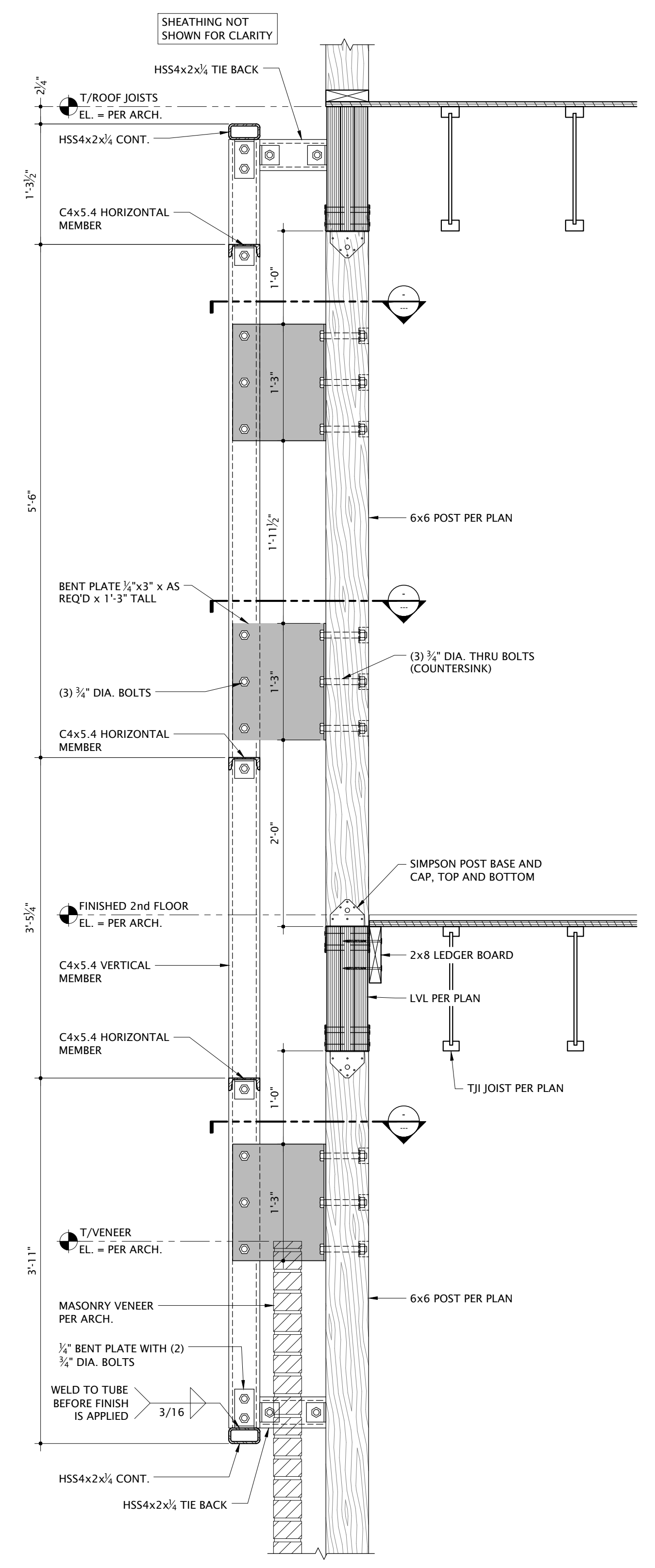
6 Framing Detail
S202 1"=1'-0"



7 Framing Detail
S202 1"=1'-0"

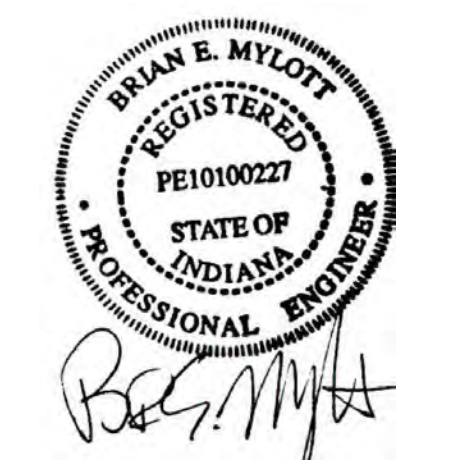


8 Framing Detail
S202 1"=1'-0"



4 Framing Detail
S202 1"=1'-0"

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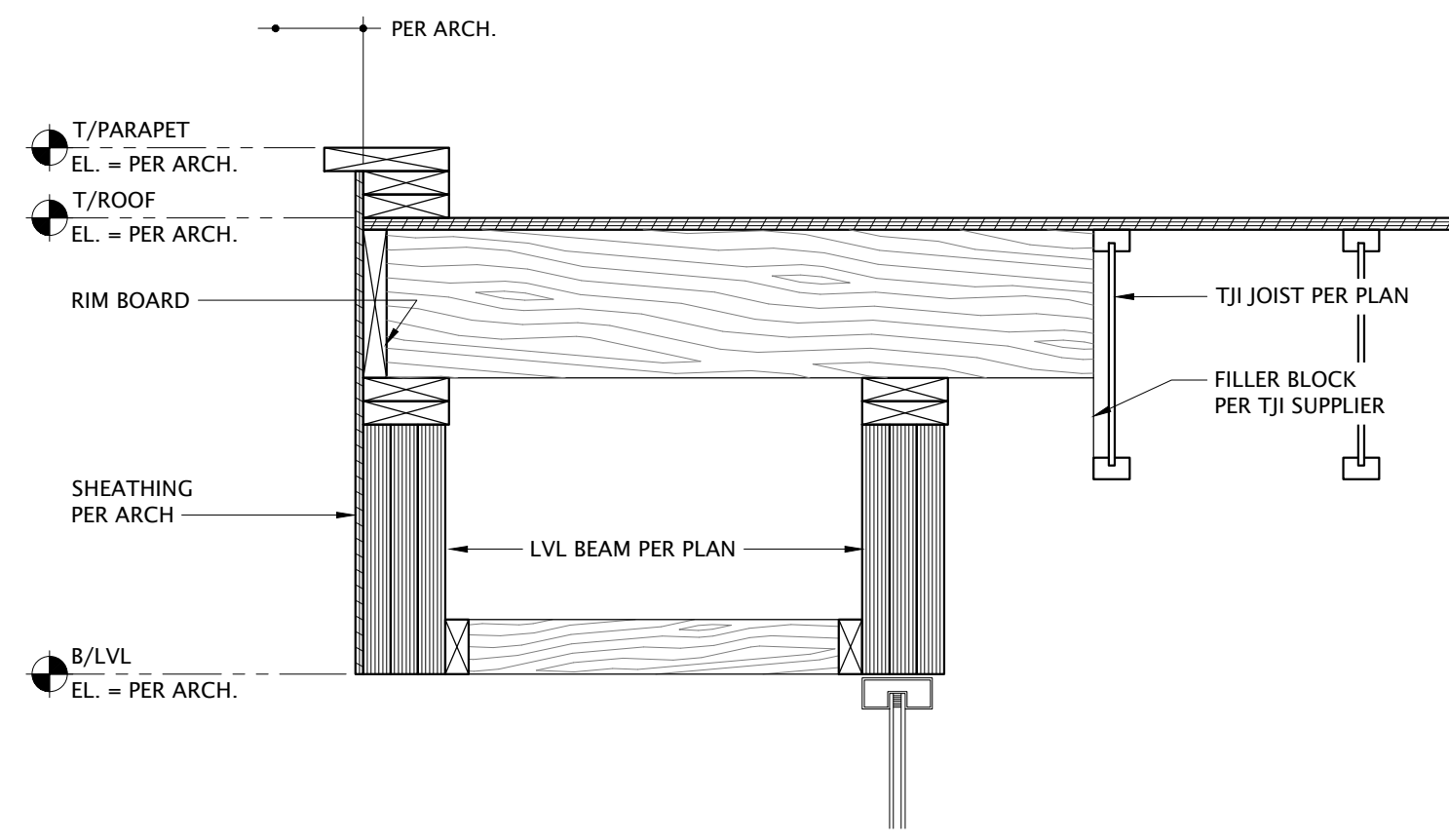
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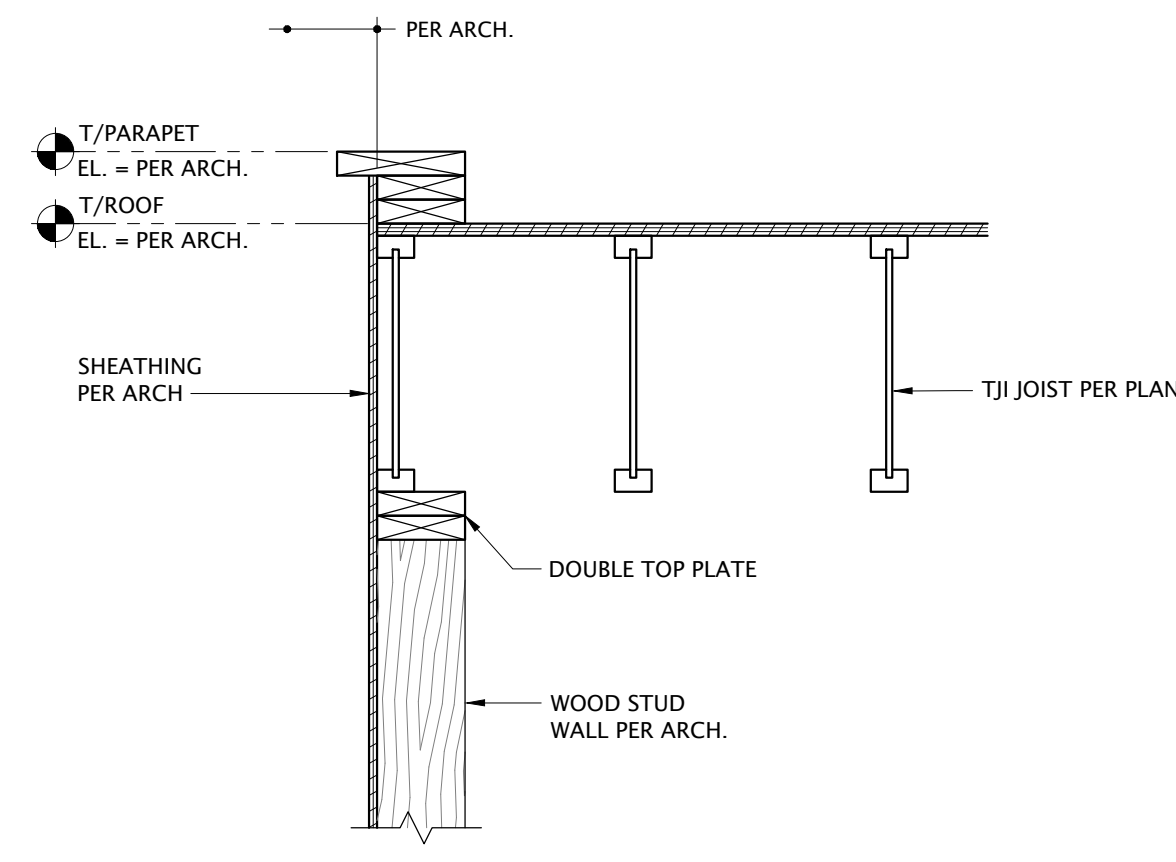
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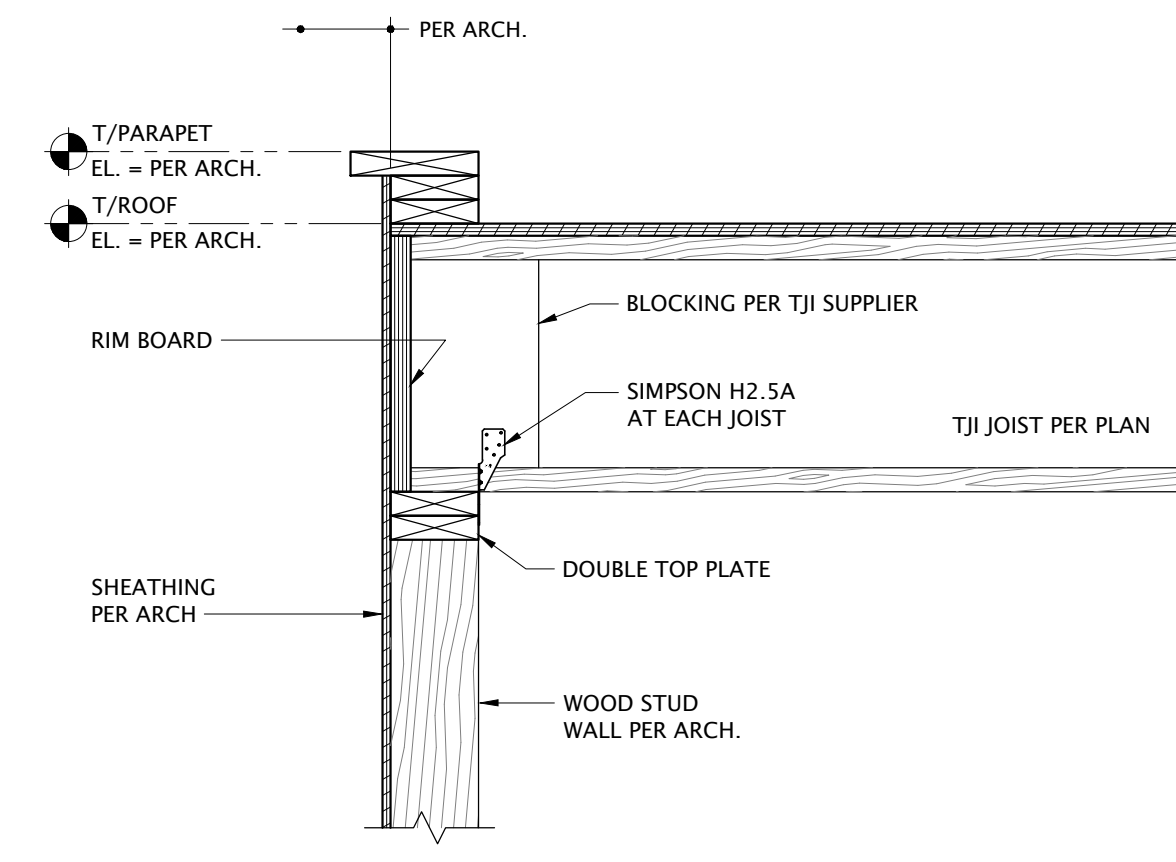
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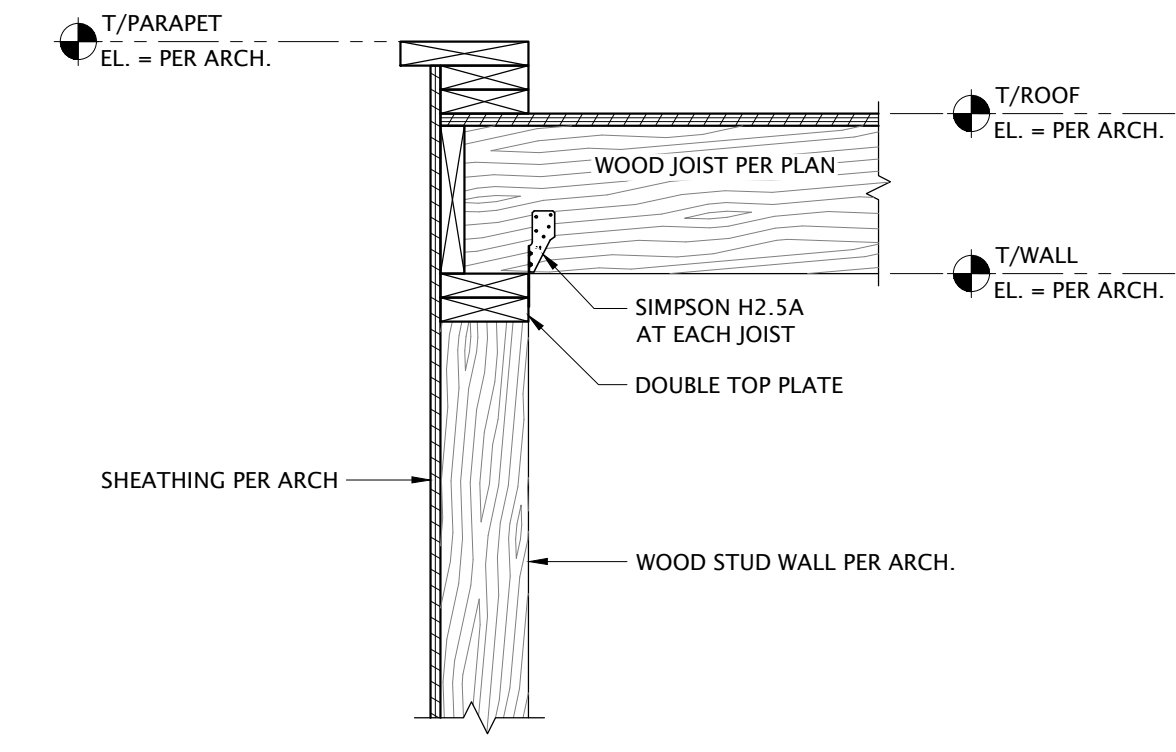
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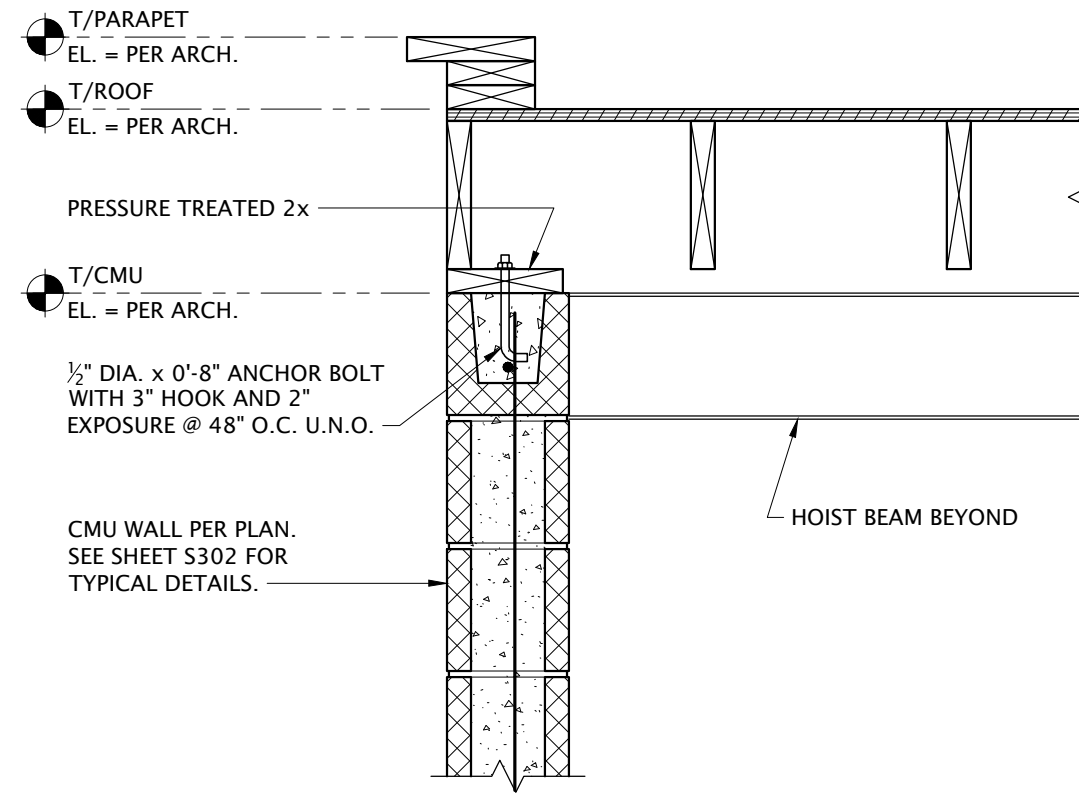
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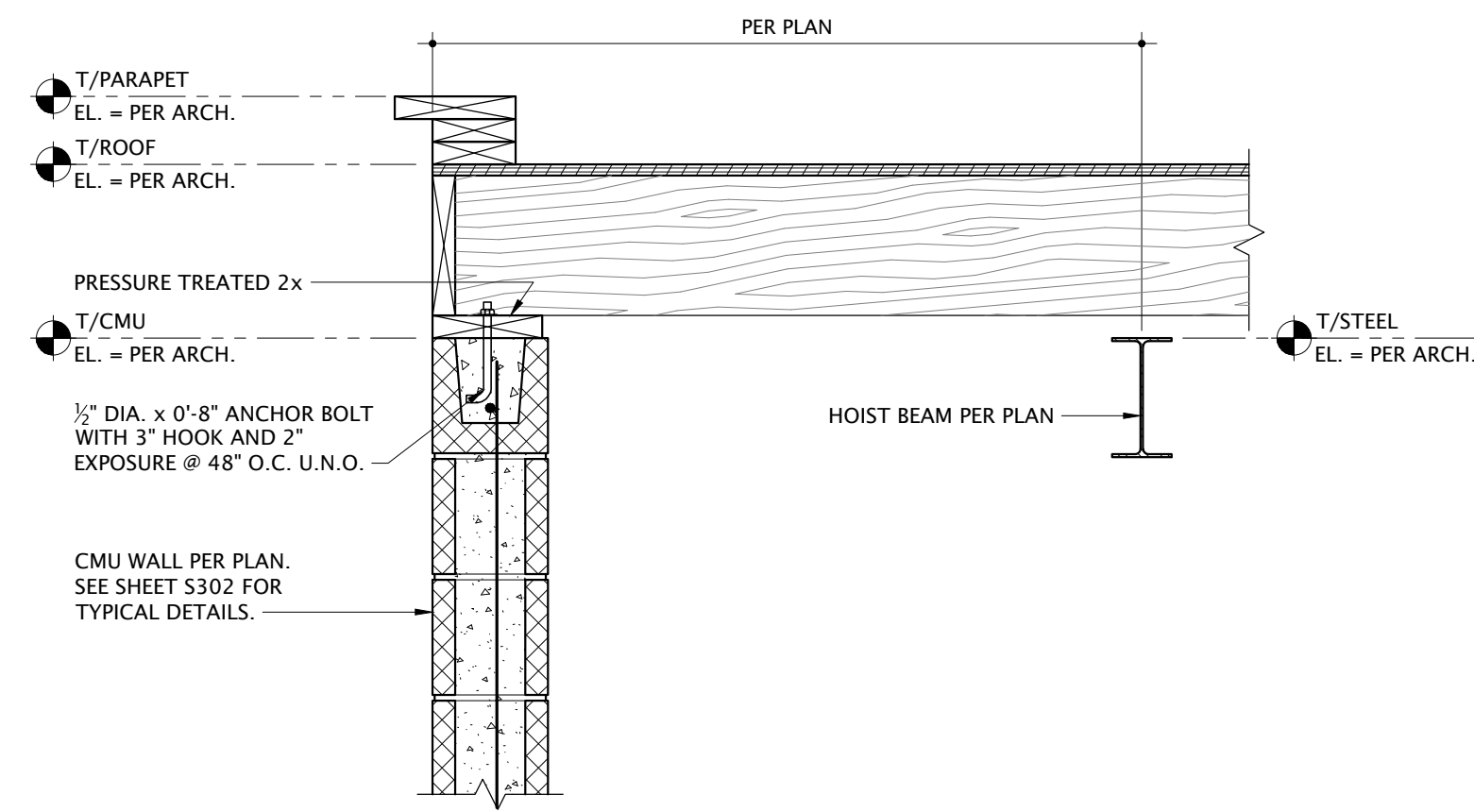
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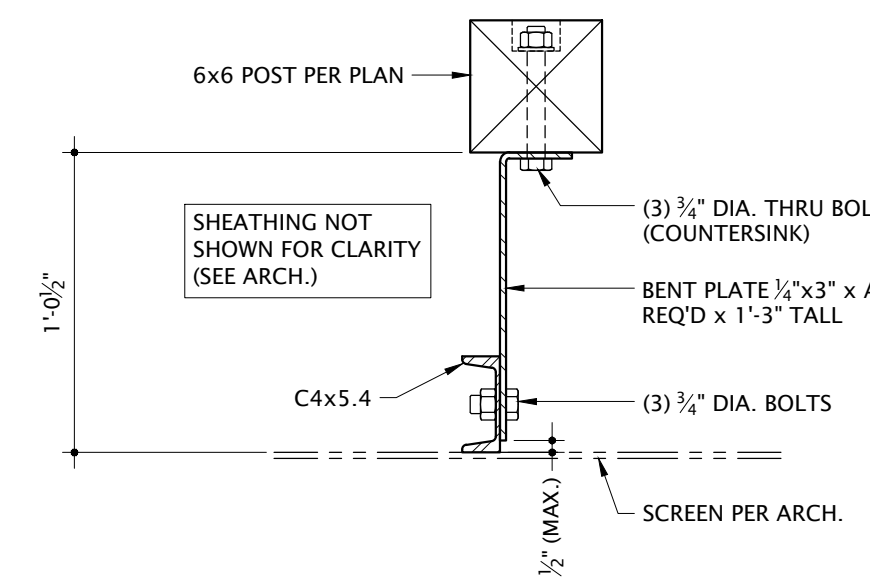
4 Framing Detail
S203 1"=1'-0"



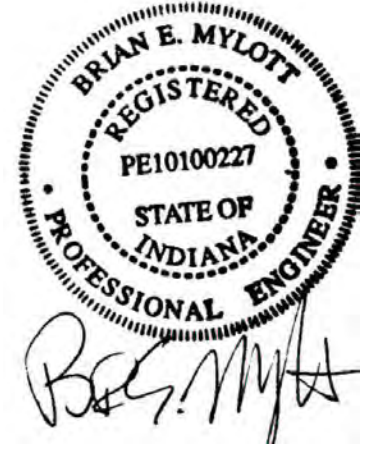
5 Framing Detail
S203 1"=1'-0"



6 Framing Detail
S203 1"=1'-0"



7 Framing Detail
S203 1 1/2"=1'-0"



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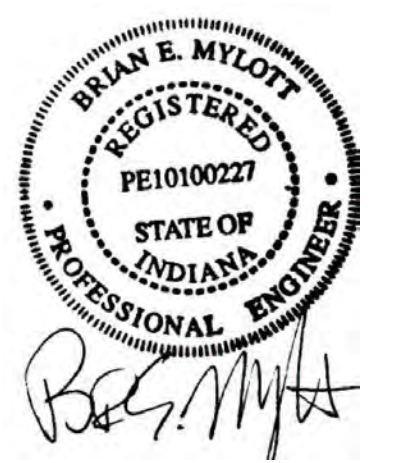
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sheet number:
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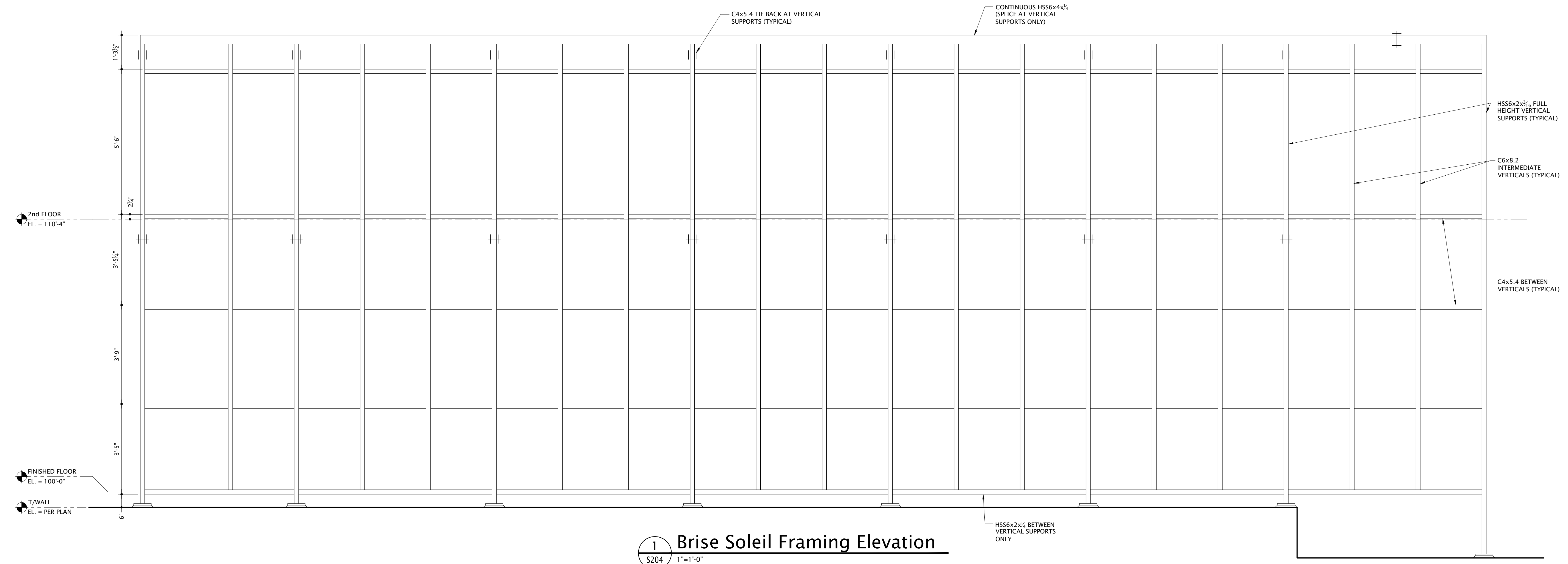
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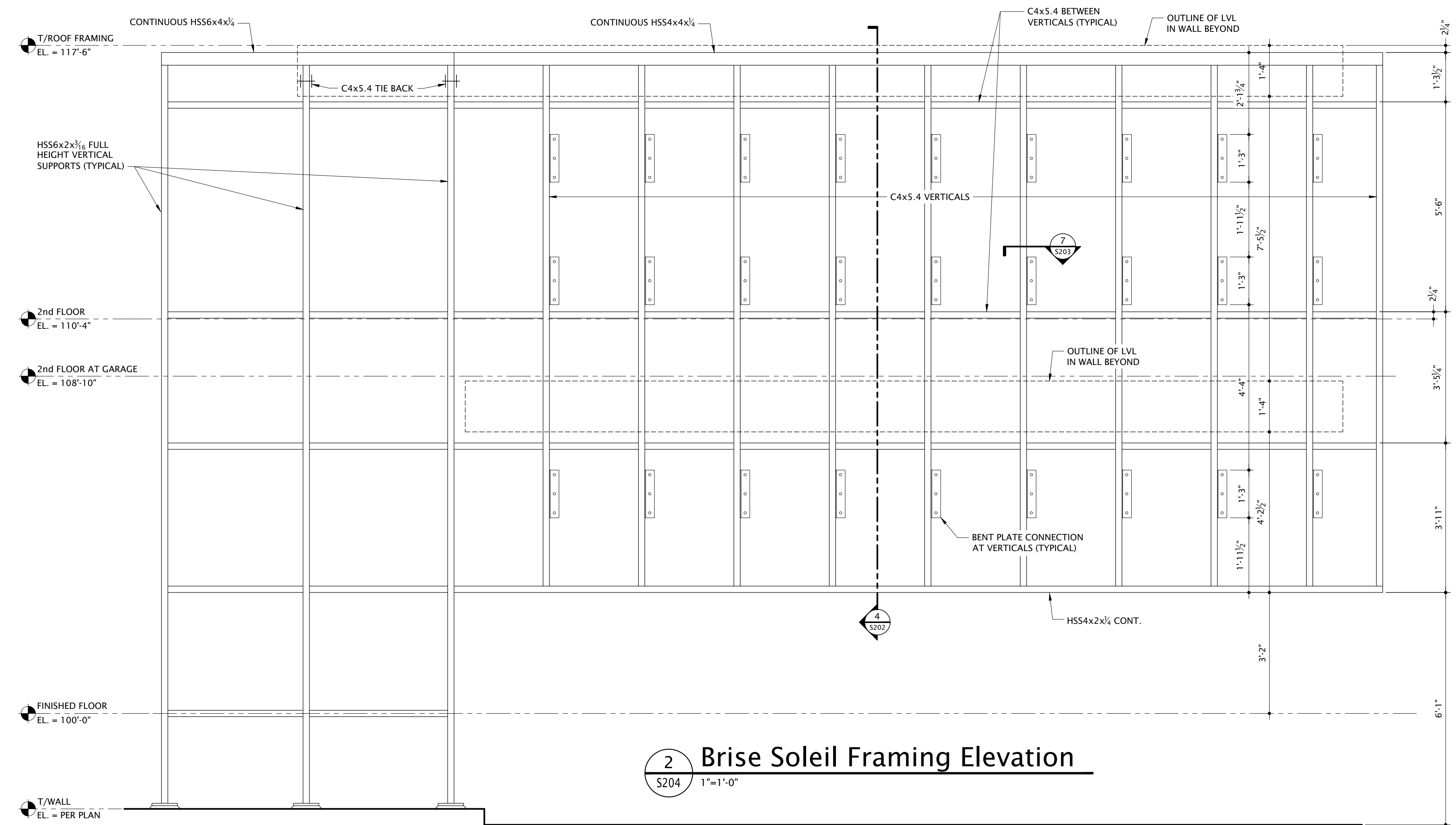
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sheet title:
Brise Soleil Elevations

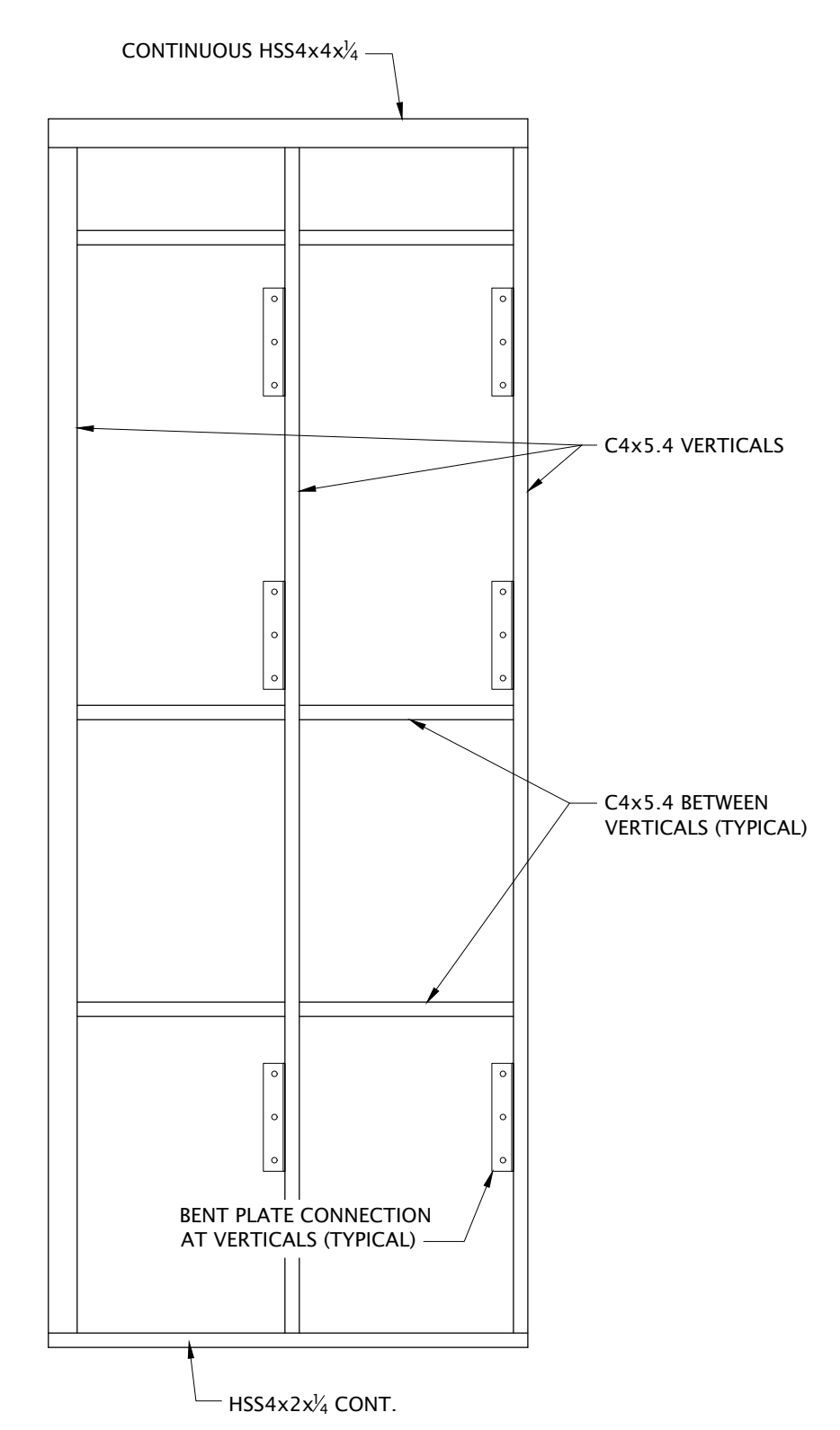
sheet number:
S204



1
 S204 1"=1'-0"
Brise Soleil Framing Elevation



2
 S204 1"=1'-0"
Brise Soleil Framing Elevation



3
 S204 1"=1'-0"
Brise Soleil Framing Elevation

GENERAL STRUCTURAL NOTES

MISCELLANEOUS:
The structure and its several parts have been designed for the in-service loads only. The methods, means, procedures, and sequences of construction are the responsibility of the Contractor. The Contractor shall take all necessary precautions to insure safe working conditions and maintain the integrity of the structure during all stages of construction. The adequacy of the design of temporary bracing, shoring, etc. is the contractor's responsibility.

The contractor shall check all dimensions and conditions in the field, and report any errors or discrepancies to the Structural Engineer prior to the fabrication and erection of any new members. The contractor is responsible for the fit of the new parts to the existing.

STRUCTURAL STEEL:
Structural steel detailing, fabrication, and erection shall conform to the AISC "Specification for the Design, Fabrication, and Erection of Structural Steel for Buildings", latest edition with amendments, and the AISC "Code of Standard Practice for Steel Buildings", 1986 edition with amendments.

Structural steel rolled shapes shall conform to ASTM A 36.
Structural tube steel shall conform to ASTM A 500, Grade B (Fy = 46 ksi).

Structural steel rolled shapes, except plates, shall conform to ASTM A 572, Grade 50, unless otherwise noted.

Anchor bolts shall conform to ASTM A 36, unless otherwise noted.

Erector shall maintain adequate temporary bracing in each direction until diaphragm and lateral brace construction is completed.

Unless otherwise noted, bolted connections for structural steel members shall be made with 3/4" diameter high strength bolts, conforming to ASTM A325. Except as noted, bolted connections shall be tightened to the snug tight condition. Bolted connections where used in wind brace elements shall be tightened using the turn-of-nut method. Connections shall conform to the "Specification for Structural Joints Using ASTM A325 or A490 Bolts", approved by the Research Council on Structural Connections of the Engineering Foundation.

Welding procedures shall conform to the latest edition of the American Welding Society's "Structural Welding Code for Steel ANSI / AWS D1.1", "Reinforcing Steel ANSI / AWS D1.4", and "Sheet Steel ANSI / AWS D1.3".

Splicing of structural steel members where not detailed on the contract documents is prohibited without the prior approval of the Structural Engineer as to location, type of splice and connection to be made.

Welded connections using ASTM A572 steel as a base metal shall be made with E70XX Low Hydrogen electrodes. Unless otherwise shown or noted on the drawings, other welded connections may be made with standard E70XX electrodes.

Structural steel shall be shop-painted with a rust inhibiting primer. Primer color shall be gray unless otherwise directed by the Architect. Steel which will be exposed to weather shall receive one additional finish coat. All abrasions caused by handling after shop painting shall be touched-up after erection is complete.

The Structural Steel Contractor shall prepare detailed working or shop drawings to enable him to fabricate, erect and construct all parts of the work in accordance with the drawings and specifications and shall submit one reproducible copy and one blue line copy to the Structural Engineer for approval. These shop drawings will be reviewed for design concepts expressed in the contract documents only. The Contractor shall be responsible for all dimensions, accuracy, and fit of work.

LUMBER:
Structural lumber shall be detailed, fabricated, and erected in accordance with the latest editions of the "Timber Construction Manual" by the American Institute of Timber Construction (AITC) and the "National Design Specification for Wood Construction" by the National Forest Products Association (NFPA).

Lumber shall be No. 1 Southern Pine, kiln dried, with a maximum moisture content of 15 %, or approved equal. Normal duration design values (psi) shall meet or exceed the following:

Lumber Size	Fb Repetitive Use	Fc Parallel to Grain	Ft Parallel to Grain	E Modulus at Elasticity
2 x 4	2,100	1,850	1,100	1,800,000
2 x 6	1,750	1,850	950	1,800,000
2 x 8	1,650	1,750	850	1,800,000
2 x 10	1,650	1,750	750	1,800,000
2 x 12	1,350	1,700	700	1,800,000

Lumber used for blocking and other non-stress related uses shall be No. 2 Southern Pine, surface dry, with a maximum moisture content of 19 %.

Unless otherwise shown or noted, bolts and lag screws in connections of wood members shall be made with material conforming to ASTM A 307. Standard cut washers shall be used between the wood and bolt head and the wood and nut.

Joist hangers and connection plates shall be manufactured by Simpson Company or approved equal.

Nails and other wood fastenings, unless otherwise noted, shall conform to the latest edition of the "National Design Specification for Wood Construction" by the NFPA.

Rough sawn timbers shall be treated and finished as required by the specifications. Weather exposed ends shall be treated with CCA.

All rough sawn and manufactured lumber in contact with masonry or exposed to weather shall be pressure treated by supplier prior to installation.

PLYWOOD / O.S.B. :
Plywood panels shall be detailed, fabricated, and erected in accordance with the latest criteria established by the American Plywood Association (APA) including their latest edition of the "Plywood Design Specification" (and its supplements).

Plywood panels shall be identified with the appropriate trademark of the APA and shall meet the requirements of the latest edition of the "U.S. Product Standard PS 1 for Construction and Industrial Plywood" (or the APA PRP-108 Performance Standards and Policies for Structural-Use Panels).

Roof and floor panels shall be installed with the long dimension (face grain) across the supports with panels continuous over two or more supports (minimum three span condition).

Stagger panel and joints. End joints shall only occur over a support. Unless recommended otherwise by the panel manufacturer, provide a 1/8-inch gap between panel ends and edges (except underlayment panels which shall have a 1/32-inch gap). Panel edges shall be tongue-and-groove or supported on 2-inch (nominal) lumber blocking installed between joists.

Unless otherwise noted, panels shall be fastened to their supports as follows:

ROOF PANELS:
6" O.C. along supported panel edges and 12" o.c. at intermediate supports. Use 6d galvanized common nails for panels 1/2" thick and less and 8d galvanized common nails for panels of greater thickness.

SUBFLOOR PANELS:
6" O.C. along supported panel edges and 12" o.c. at intermediate supports using 6d common nails for panels 1/2" thick and less and 8d common nails for panels of greater thickness.

PLYWOOD / O.S.B. SHEARWALLS:
6" o.c. along panel edges and 6" o.c. at intermediate supports using 6d common nails for panels 1/2" thick and less and 8d common nails for panels of greater thickness.

For field-glued floors, adhesives conforming to APA Specification AFG-01 shall be used and applied in accordance with the manufacturer's recommendations. Apply a continuous line of glue on the joists and an intermittent line of glue in the groove of tongue-and-groove panels.

SPECIAL INSPECTION REQUIREMENTS

BUILDING CODE SECTION 1704 & 1707 REQUIRES A SPECIAL INSPECTOR TO OBSERVE THE WORK ASSIGNED FOR CONFORMANCE TO THE APPROVED DESIGN DRAWINGS AND SPECIFICATIONS. THESE INSPECTIONS ARE IN ADDITION TO INSPECTIONS SPECIFIED ELSEWHERE. ENGINEER OF RECORD, LLC DOES NOT PROVIDE THESE INSPECTIONS.

THE OWNER SHALL RETAIN THE SERVICES OF A MATERIAL TESTING AGENCY TO MAKE AVAILABLE A SPECIAL INSPECTOR WHO SHALL PROVIDE INSPECTIONS DURING CONSTRUCTION ON THE TYPES OF LISTED WORK.

SPECIAL INSPECTOR SHALL SUBMIT COPIES OF INSPECTION REPORTS TO THE CONSTRUCTION MANAGER AND THE STRUCTURAL ENGINEER.

INSPECTION FOR STEEL MATERIALS

INSPECTION TASK	FREQUENCY OF INSPECTION	REFERENCE FOR CRITERIA
1. MATERIAL VERIFICATION OF HIGH STRENGTH BOLTS, NUTS AND WASHERS		
A. IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS	PERIODIC	AISC ASD, SEC. A3.4 OR AISC LRFD, SEC. A3.3
B. MANUFACTURER'S CERTIFICATE OF COMPLIANCE	PERIODIC	
2. HIGH STRENGTH BOLTING		
A. BEARING TYPE CONNECTIONS	PERIODIC	AISC LRFD, SEC. M2.5
B. SLIP CRITICAL CONNECTIONS	CONTINUOUS	
3. MATERIAL VERIFICATION OF STRUCTURAL STEEL		
A. MATERIAL IDENTIFICATION MARKINGS	PERIODIC	ASTM A6 OR ASTM A588
B. CERTIFIED MILL TEST REPORTS	PERIODIC	
4. MATERIAL VERIFICATION WELD FILLER MATERIAL		
A. CONFORMANCE TO AWS SPECIFICATION AS SPECIFIED IN THE APPROVED PLANS AND SPECIFICATIONS.	PERIODIC	AISC ASD, SECTIONS A3.5 & A3.6
B. MANUFACTURER'S CERTIFICATE OF COMPLIANCE	PERIODIC	
5a. WELDING OF STRUCTURAL STEEL		
1. COMPLETE AND PARTIAL PENETRATION GROVE WELDS	CONTINUOUS	AWS D1.1
2. MULTI-PASS FILLET WELDS	CONTINUOUS	AWS D1.1
3. SINGLE-PASS FILLET WELDS	PERIODIC	AWS D1.1
4. FLOOR AND ROOF DECK WELDS	PERIODIC	AWS D1.3
5b. WELDING OF REINFORCING STEEL		
1. VERIFICATION OF WELDABILITY OF REINFORCING STEEL	PERIODIC	AWS D1.4
2. SHEAR REINFORCEMENT	CONTINUOUS	AWS D1.4
3. OTHER REINFORCEMENT	PERIODIC	AWS D1.4
6. STEEL FRAME JOINT DETAILS		
1. DETAILS AT BRACES AND STIFFENER PLATES REINFORCING STEEL	PERIODIC	APPROVED CONSTRUCTION DOCUMENTS
2. MEMBER LOCATIONS	PERIODIC	
3. APPLICATION OF JOINT DETAILS AT EACH CONNECTION	PERIODIC	

SPECIAL INSPECTIONS FOR POST INSTALLED ANCHORS

POST INSTALLED ANCHORS MUST BE TESTED PRIOR TO THEIR USE TO SUPPORT OR RESIST ANY LOADS. NOT LESS THAN 25% OF POST INSTALLED ANCHORS SHALL BE TESTED. TESTING MAY USE TORQUE TESTS OR PULL OUT TESTS.

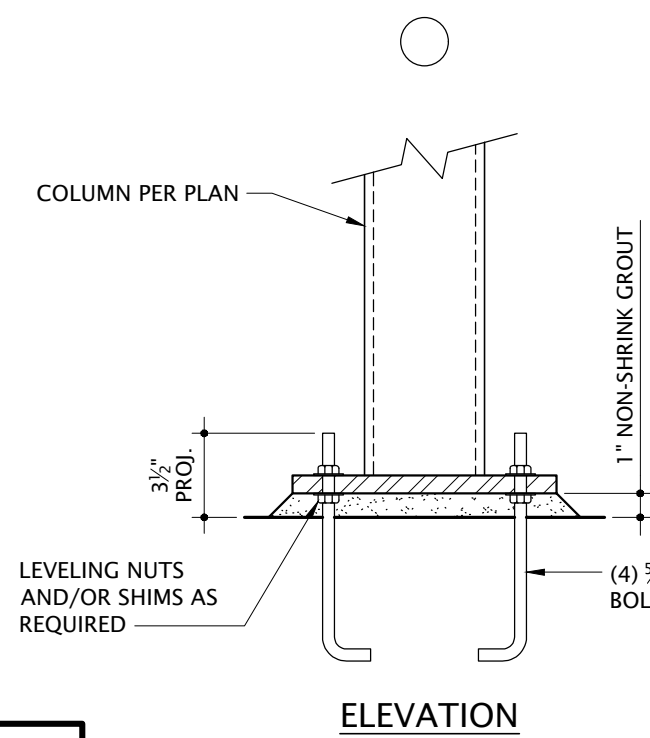
PROOF LOAD TEST THE NEW RODS FOLLOWING MANUFACTURER'S RECOMMENDATIONS. THE PROOF LOAD SHALL BE THE LESSER OF 50% OF ADHESIVE ULTIMATE BOND STRENGTH OR 80% OF STEEL YIELD STRENGTH. PROOF LOADING SHOULD BE DONE AFTER A MINIMUM CURING PERIOD SPECIFIED BY THE MANUFACTURER. ANCHORS SHOULD HAVE NO VISIBLE INDICATIONS OF MOVEMENT DURING OR AFTER THE APPLICATION OF THE PROOF LOAD. CONTACT MANUFACTURER FOR ULTIMATE BOND AND STEEL STRENGTH FOR THEIR PRODUCTS.

IF THERE IS A BOND FAILURE DURING THE TEST, REMOVE THE ANCHOR, CLEAN THE HOLE AND AGAIN INSTALL THE ANCHOR WITH ADHESIVE. ONCE THE ADHESIVE IS SET, RE-TEST THE ANCHOR.

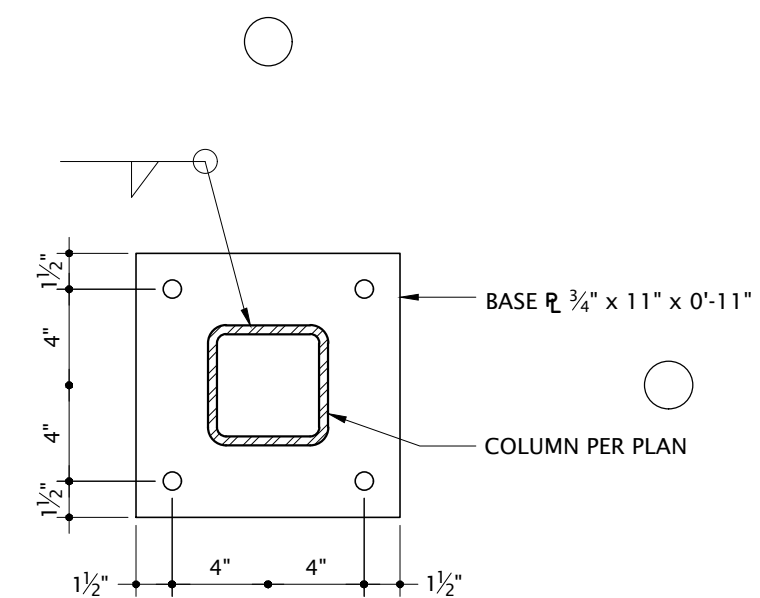
IF THERE IS A FAILURE OF THE STEEL, REMOVE AND DISCARD THE ROD. CLEAN THE HOLE AND INSTALL A NEW ANCHOR WITH ADHESIVE. ONCE THE ADHESIVE IS SET, RE-TEST THE ANCHOR.

FOR EACH ANCHOR TEST THAT FAILS, TEST AN ADDITIONAL TWO ANCHORS.

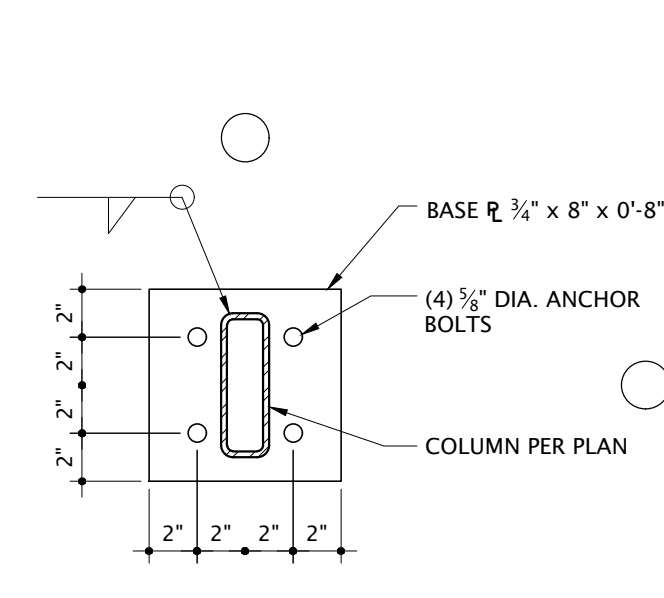
THE PROVIDED INFORMATION RELATES TO THE IN-SERVICE LOADS THAT MAY BE IMPOSED ON THE ANCHORS. THE ENTITIES RESPONSIBLE FOR JOBSITE SAFETY AND STABILITY OF THE STRUCTURE DURING CONSTRUCTION MUST DETERMINE IF THE ANCHOR ROD PATTERN AND TESTING ARE ADEQUATE FOR THE LOADS THAT MAY BE IMPOSED ON THE ANCHORS DURING CONSTRUCTION.



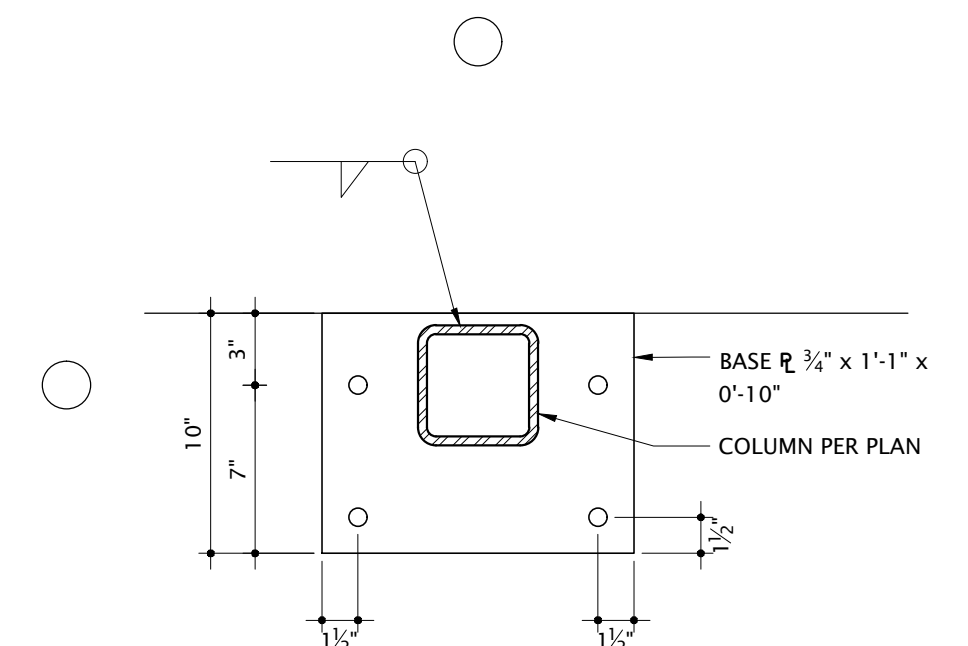
ELEVATION



PLAN AT HSS 6x6 COLUMN



PLAN AT HSS 6x2 COLUMN



Alternate Column Base Detail at Wall or Brick Ledge

1 1/2"=1'-0"

Column Base Plate Details

1 1/2"=1'-0"

DESIGN CRITERIA

BUILDING CODE AND DESIGN DATA:
THE BUILDING STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, 2012 EDITION WITH INDIANA AMENDMENTS.

ROOF DESIGN LOADS:
LIVE/RAIN/SNOW: 25 PSF
DEAD LOADS: 20 PSF
GROUND SNOW LOAD (PG): 20.0 PSF
FLAT-ROOF SNOW LOAD + DRIFT (PF): 14.0 PSF
SNOW EXPOSURE FACTOR (CE): 1.0
SNOW IMPORTANCE FACTOR (I): 1.0
SNOW THERMAL FACTOR: 1.0
LIVE LOAD DEFLECTION: L/360
TOTAL DEFLECTION: L/240

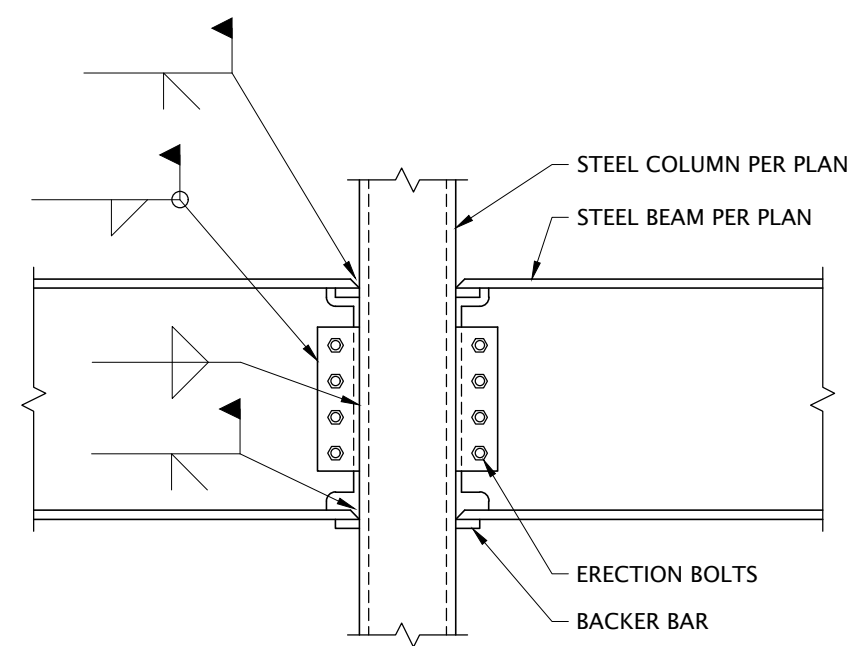
GREEN ROOF DESIGN LOADS:
LIVE LOAD: 60 PSF
DEAD LOAD: 40 PSF
LIVE LOAD DEFLECTION: L/480

FIRST FLOOR DESIGN LOADS:
LIVE LOAD: 50 PSF
DEAD LOADS: SITE SPECIFIC
LIVE LOAD DEFLECTION: L/480

SECOND FLOOR DESIGN LOADS:
LIVE LOAD: 40 PSF
DEAD LOADS: 25 PSF + PARTITION LOAD
LIVE LOAD DEFLECTION: L/480

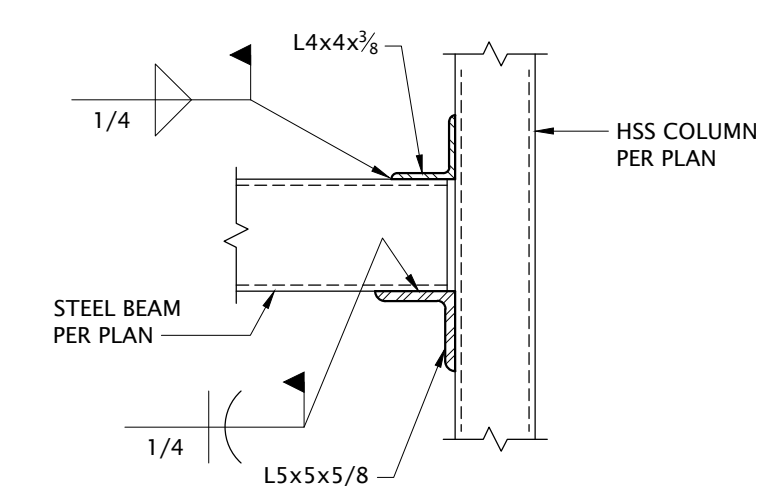
WIND DESIGN DATA:
BASIC WIND SPEED (3 SECOND GUST): 90 MPH
WIND LOAD IMPORTANCE FACTOR (I): 1.0
WIND EXPOSURE CATEGORY: C
INTERNAL PRESSURE COEFFICIENT: +/- 0.18
WIND DESIGN PRESSURE (P): VARIES WITH HEIGHT

SEISMIC DESIGN DATA:
OCCUPANCY CATEGORY: II
SEISMIC IMPORTANCE FACTOR (I): 1.0
SITE CLASS: D
MAPPED SPECTRAL RESPONSE ACCELERATIONS:
Ss: 0.185
S1: 0.085
DESIGN SPECTRAL ACCELERATION PARAMETERS:
SDS: 0.198
SD1: 0.135
SEISMIC DESIGN CATEGORY: C
DESIGN BASE SHEAR: Cs*W
SEISMIC RESPONSE COEFFICIENTS (SC): 0.031
RESPONSE MODIFICATION FACTORS (R): 6.5
ANALYSIS PROCEDURE UTILIZED: EQUIVALENT LATERAL FORCE PROCEDURE



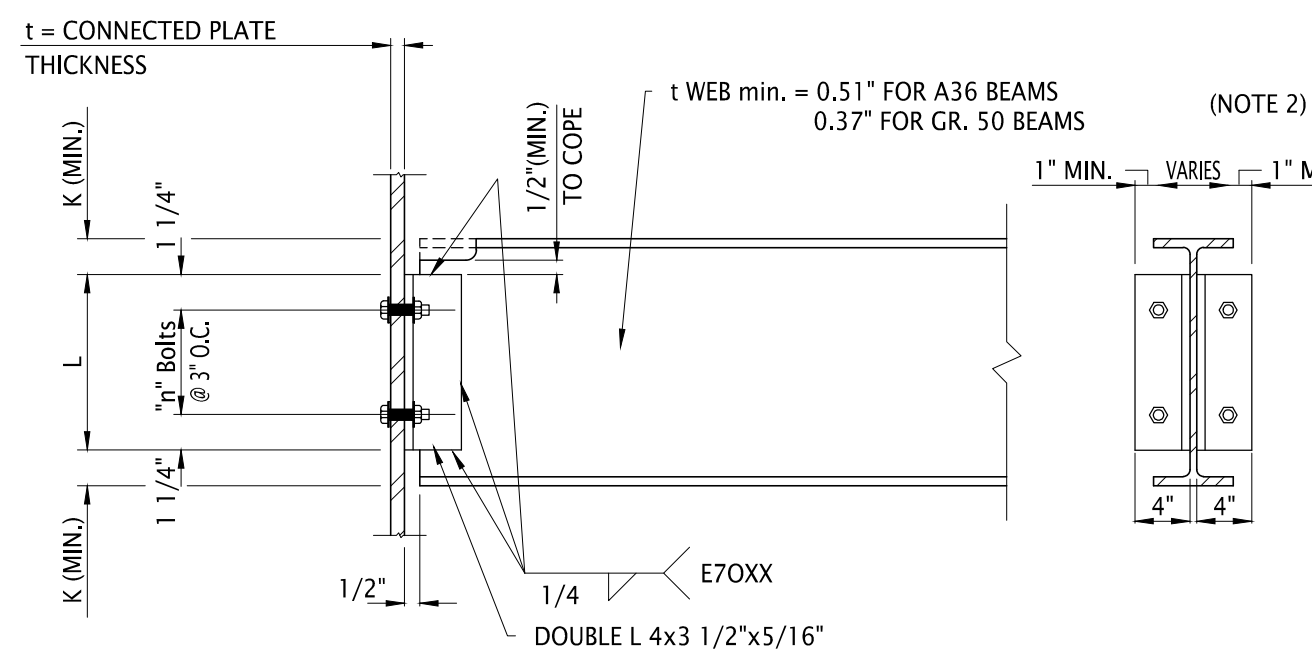
Typical Moment Connection Detail

Not to Scale



Typical Tube Steel Seated Connections at Columns

Not to Scale

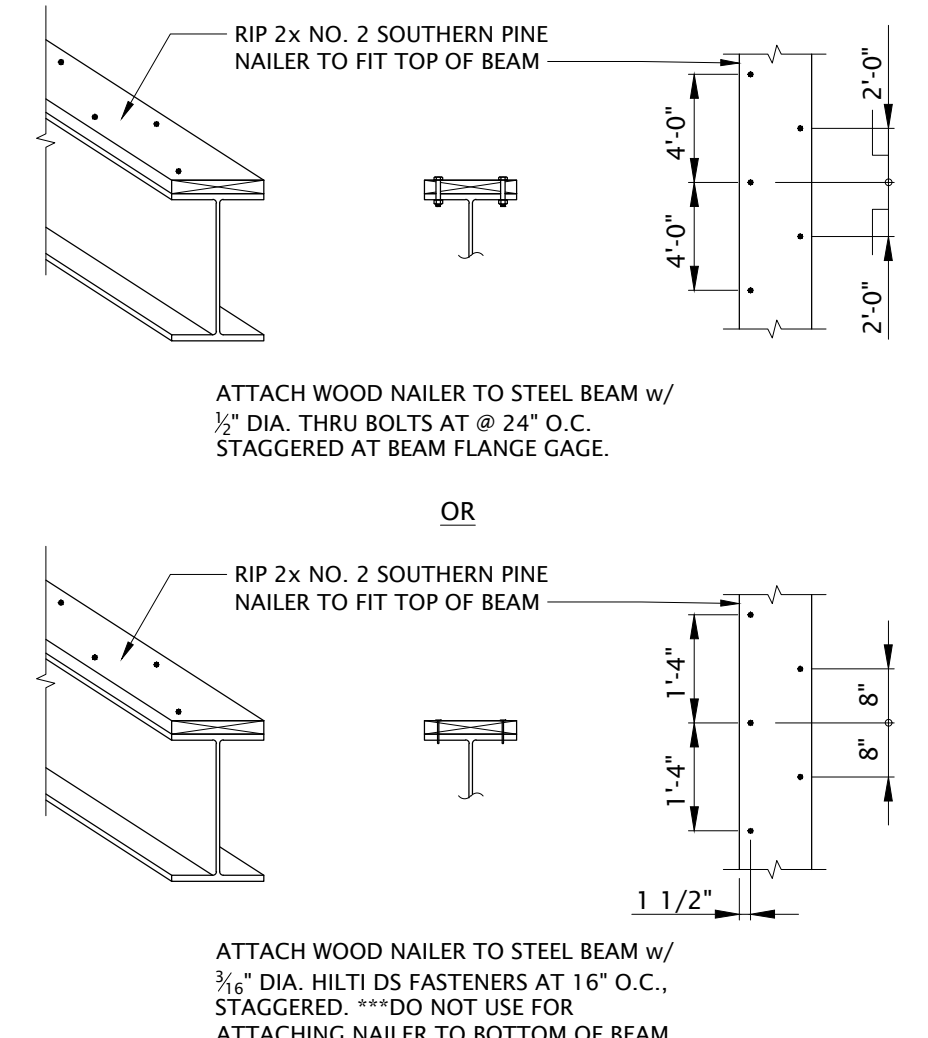


ALLOWABLE SERVICE LOADS (Kips)			
n	L (in)	Bolts	Welds (Note 2)
2	5 1/2"	37.1K	49.5K
3	8 1/2"	55.7K	73.7K
4	11 1/2"	74.2K	97K
5	14 1/2"	92.8K	118K
6	17 1/2"	111K	139K
7	20 1/2"	130K	158K

- NOTES:**
- THE CAPACITY OF THE CONNECTION SHALL BE THE LESSER OF:
A) BOLT CAPACITY
B) WELD CAPACITY
C) CONNECTED PLATE CAPACITY
D) BLOCK SHEAR
 - ALLOWABLE WELD CAPACITY IS BASED ON WEB THICKNESS NOTED ABOVE. RATIO THIS CAPACITY FOR LESSER WEB THICKNESS.
 - ALLOWABLE BOLT CAPACITY IS BASED ON 3/4" Ø A325-N TYPE BOLTS.
 - BLOCK SHEAR SHOULD BE CHECKED FOR COPED BEAMS.
 - STEEL DETAILER SHALL PROVIDE ENGINEERED CERTIFIED CALCULATIONS FOR CONNECTIONS.

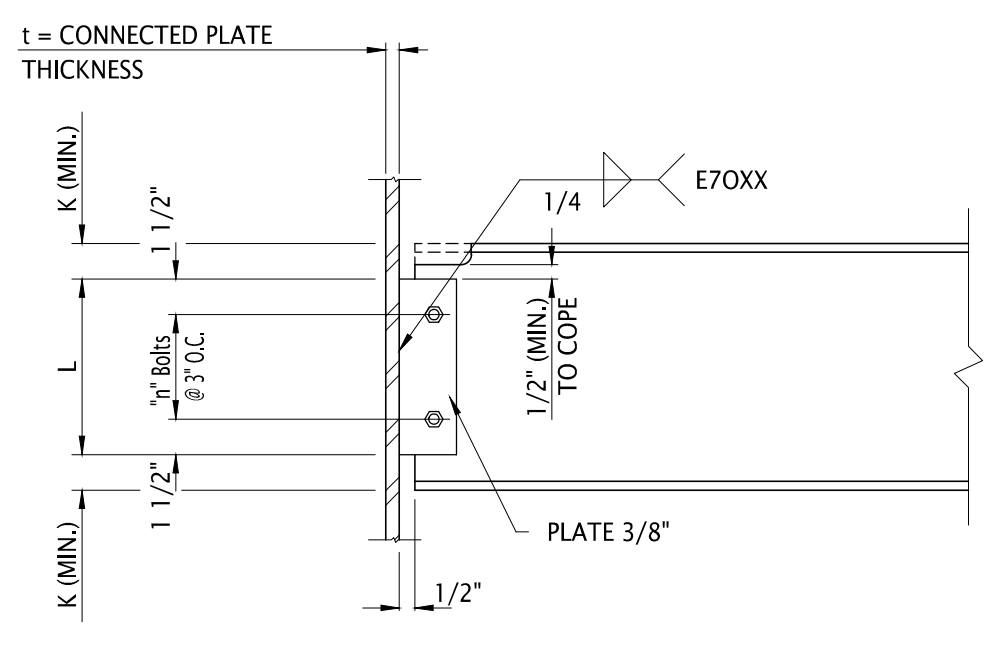
Typical Double Angle Connection Detail ASD design

Not to Scale



Typical Nailer to Steel Beam Details

Not to Scale



ALLOWABLE SERVICE LOADS (Kips)		
n	L (in)	Bolts
2	6"	8.2K
3	9"	16.3K
4	12"	26.1K
5	15"	36.3K
6	18"	46.3K
7	21"	56.4K

- NOTES:**
- THE CAPACITY OF THE CONNECTION SHALL BE THE LESSER OF:
A) BOLT CAPACITY
B) WELD CAPACITY
C) SUPPORTING PLATE CAPACITY
D) WEB NET SHEAR
 - REFER TO AISC ASD - MANUAL OF STEEL CONSTRUCTION (PART 1).
 - ALLOWABLE BOLT CAPACITY IS BASED ON 3/4" Ø A325-N TYPE BOLTS.
 - FOR COPED BEAM CONNECTIONS, THE CAPACITY OF THE NET SHEAR AREA OF THE WEB SHALL BE VERIFIED.
 - STEEL DETAILER SHALL PROVIDE ENGINEERED CERTIFIED CALCULATIONS FOR CONNECTIONS.

Standard Beam Shear Tab Connection Detail ASD design

Not to Scale



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consultants:

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OCTOBER 02, 2024

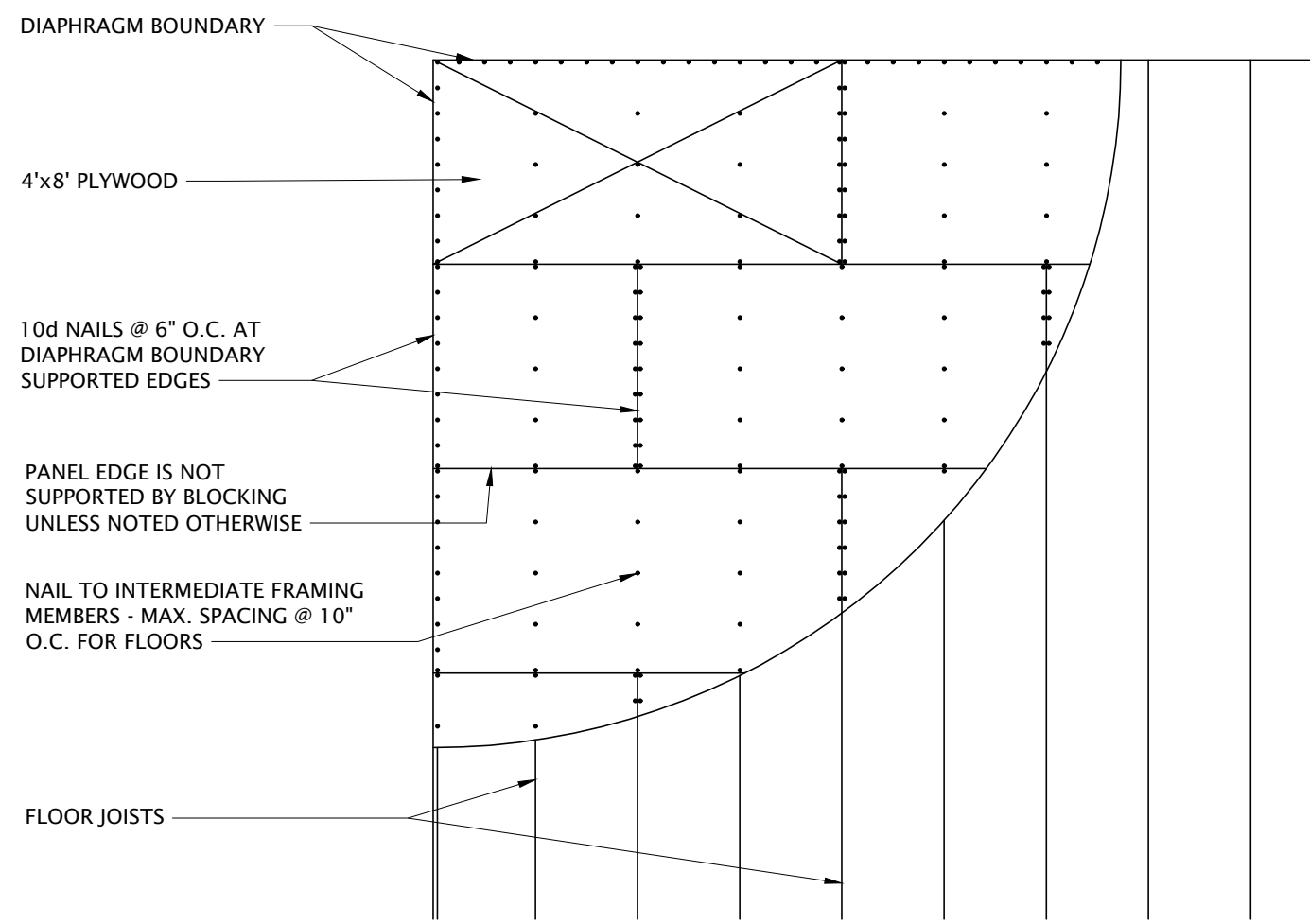
INDIANAPOLIS HISTORIC PRESERVATION COMMISSION

drawn: TMK
checked: BEM

date: 5-14-2024
description: Permit Set

sheet title:
Typical Framing Details and General Notes

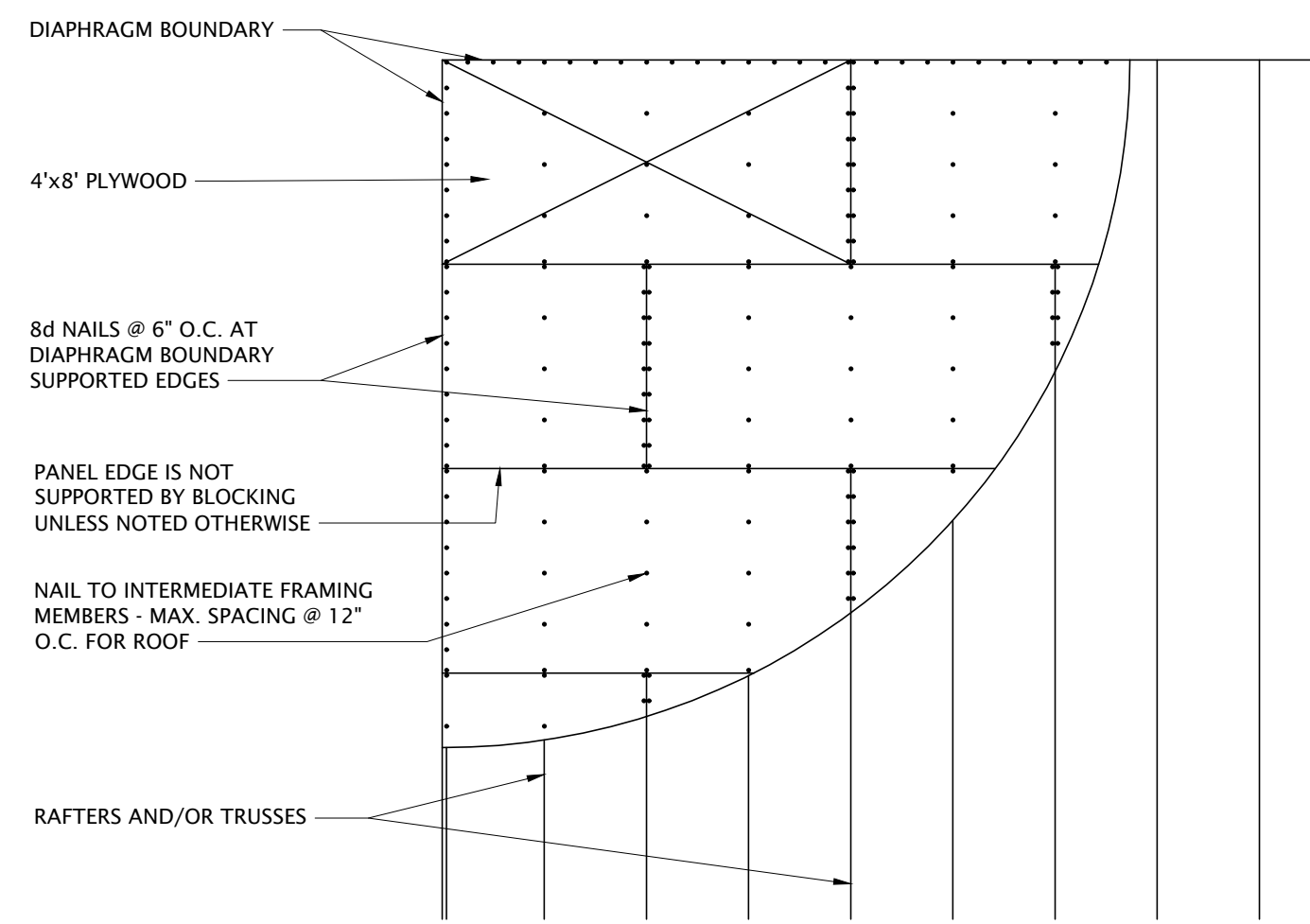
sheet number:
S300



- NOTES:**
1. STAPLES OR PNEUMATIC DRIVEN NAILS MAY BE USED IN LIEU OF COMMON NAILS PROVIDED THEY PROVIDE AN EQUIVALENT CROSS SECTIONAL AREA.
 2. SHEATHING MATERIAL: APA RATED STRUCTURAL 1, 3/4" T&G PLYWOOD.
 3. APPLY ASTM D3498 SUBFLOOR ADHESIVE THAT MEETS OR EXCEEDS APA AFG-01 SPECS. TO EACH MEMBER.
 4. ALTERNATE BID: USE 1 3/4" SCREWS IN LIEU OF NAILS.

Floor Sheathing Nailing Detail

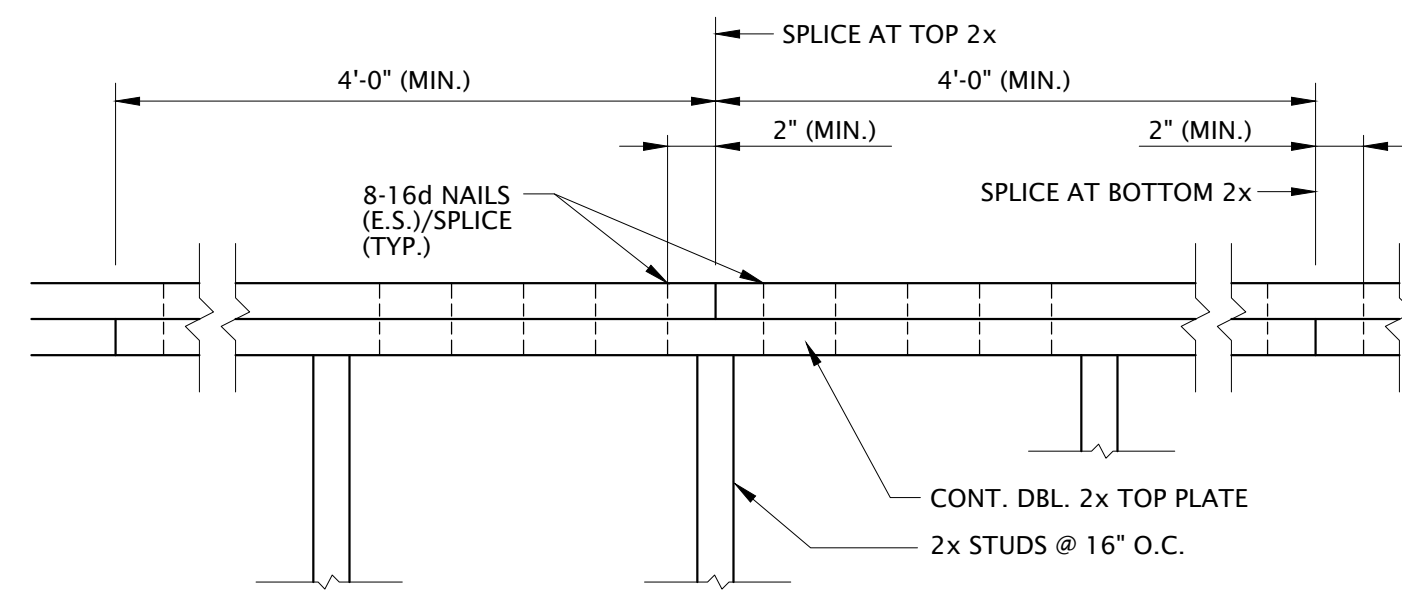
Not to Scale



- NOTES:**
1. STAPLES OR PNEUMATIC DRIVEN NAILS MAY BE USED IN LIEU OF COMMON NAILS PROVIDED THEY PROVIDE AN EQUIVALENT CROSS SECTIONAL AREA.
 2. SHEATHING MATERIAL: 5/8" PLYWOOD/OSB PER PLAN.
 3. USE 1 3/4" SELF TAPPING SCREWS AT METAL ROOF DECK.

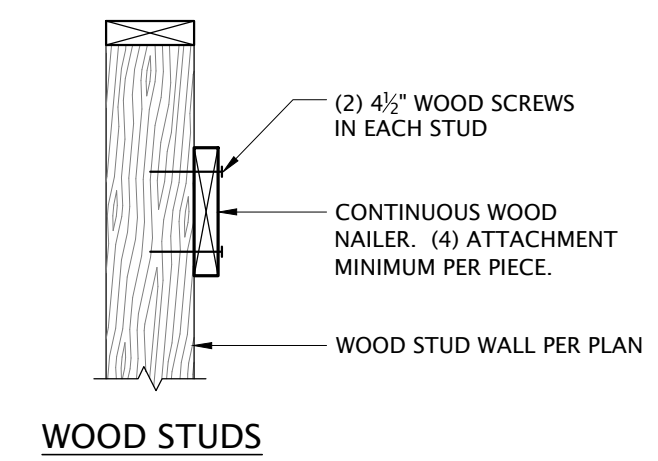
Roof Sheathing Nailing Detail

Not to Scale

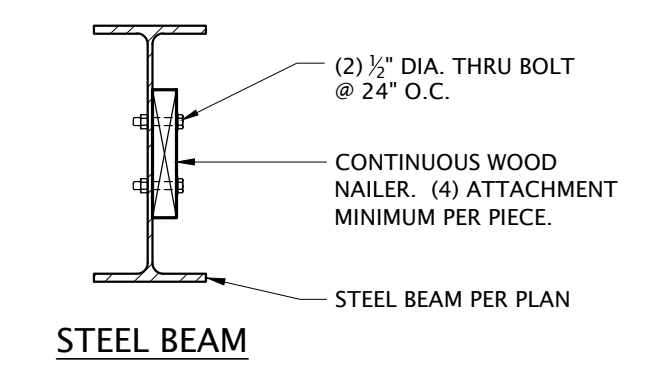


Typical Double 2x Top Plate Splice Detail

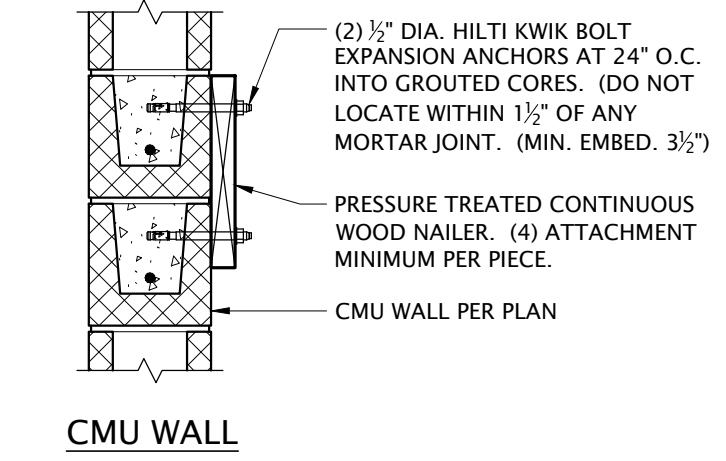
Not to Scale (TYPICAL AT EXTERIOR WALLS, ALL FLOORS)



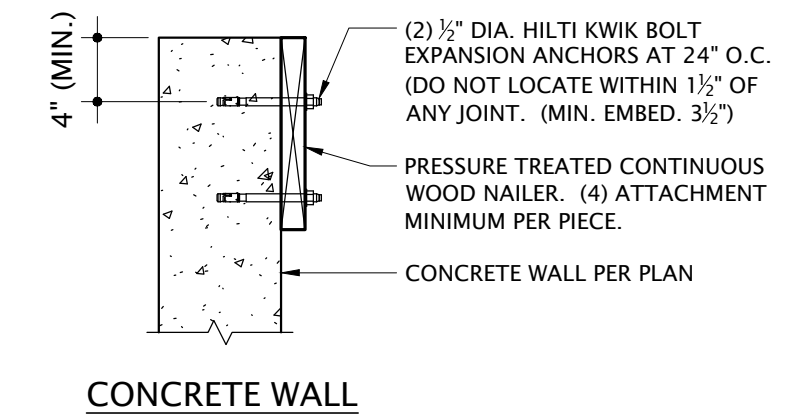
WOOD STUDS



STEEL BEAM



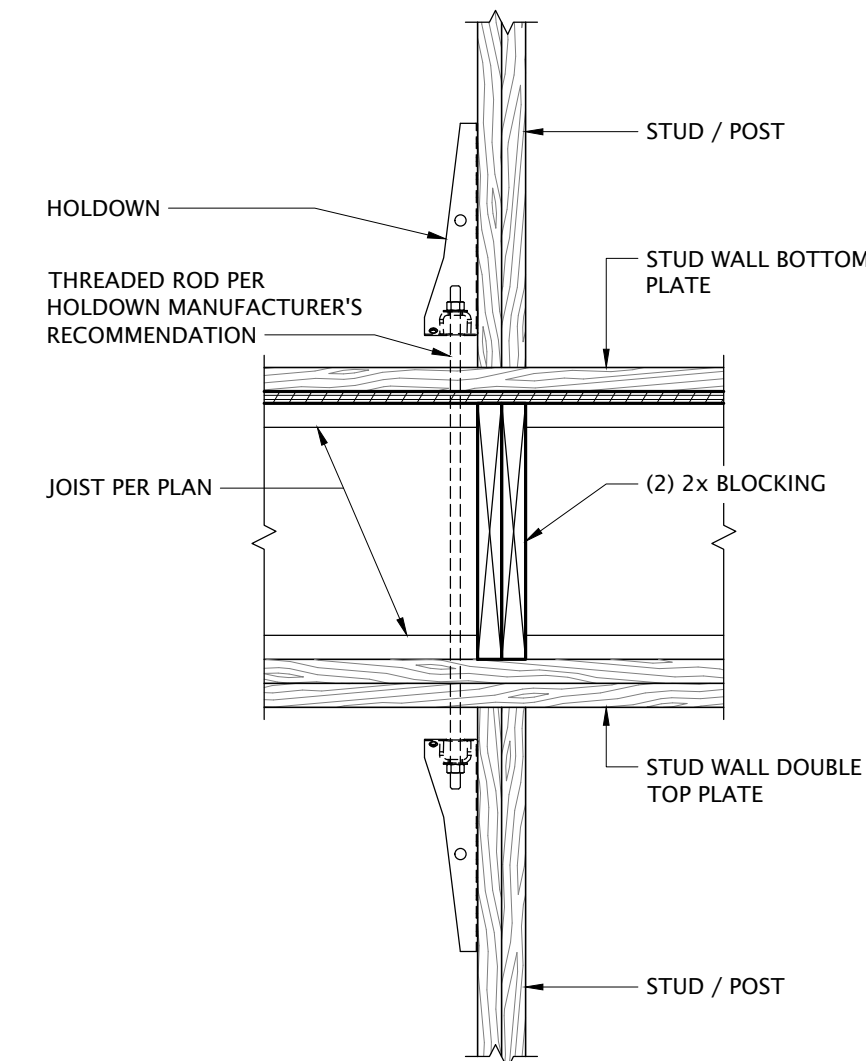
CMU WALL



CONCRETE WALL

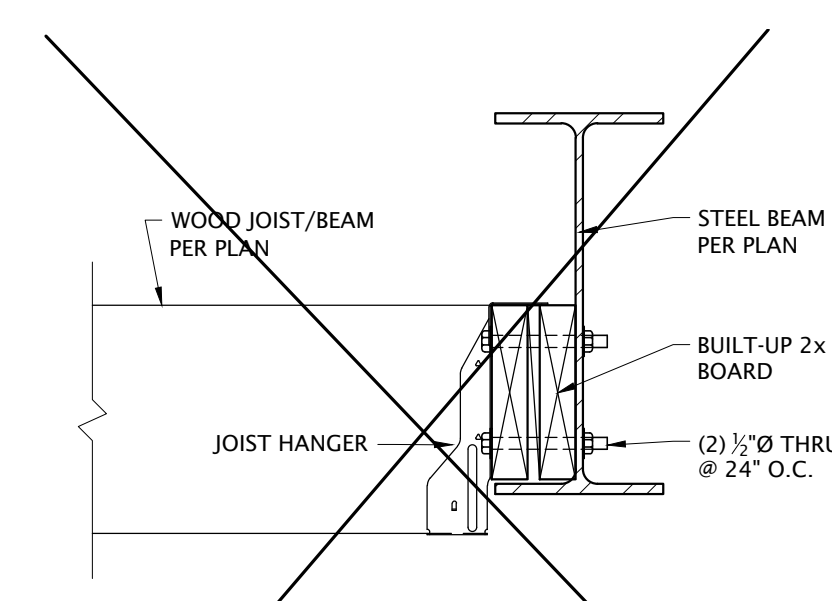
Typical Wood Nailer Details

1"=1'-0"



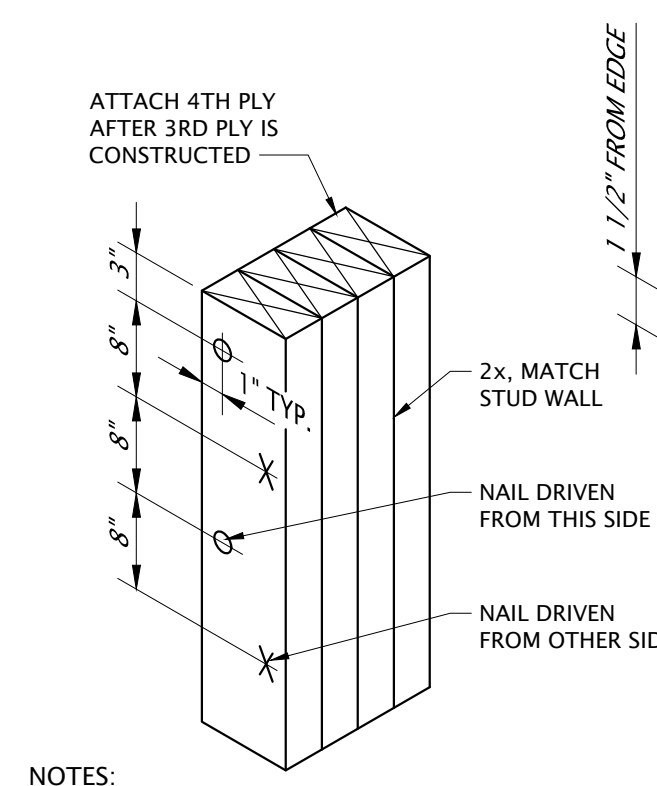
Typical HDU Tie Between Floors

1"=1'-0"



Alternate Joist Bearing Detail

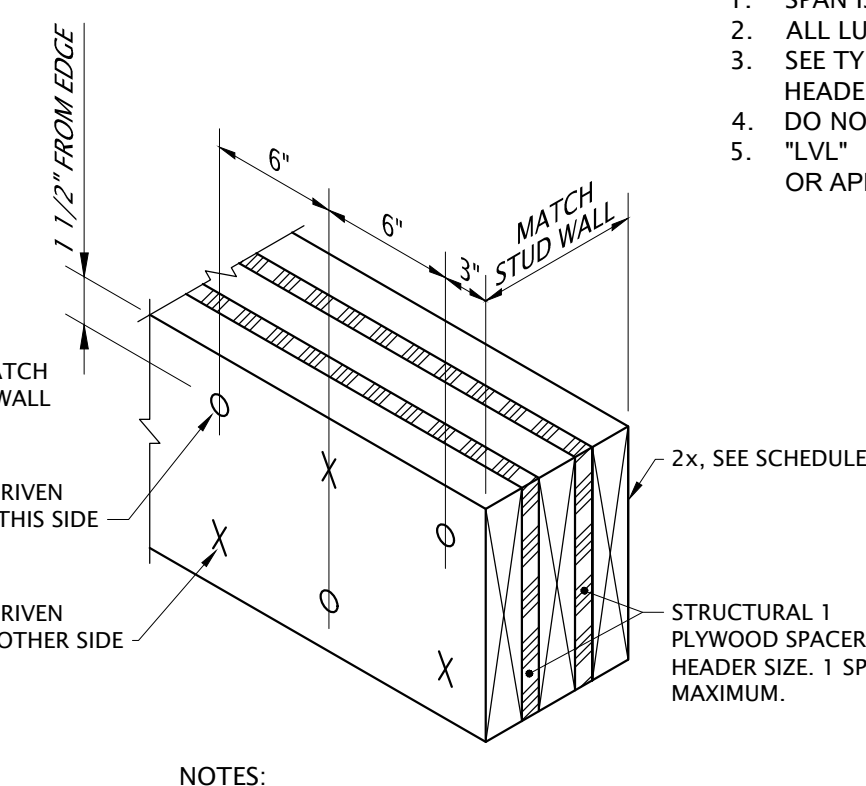
1 1/2"=1'-0"



- NOTES:**
1. NAILS AT BUILT-UP COLUMN ARE 16d U.N.O.

Typical Built-Up Post

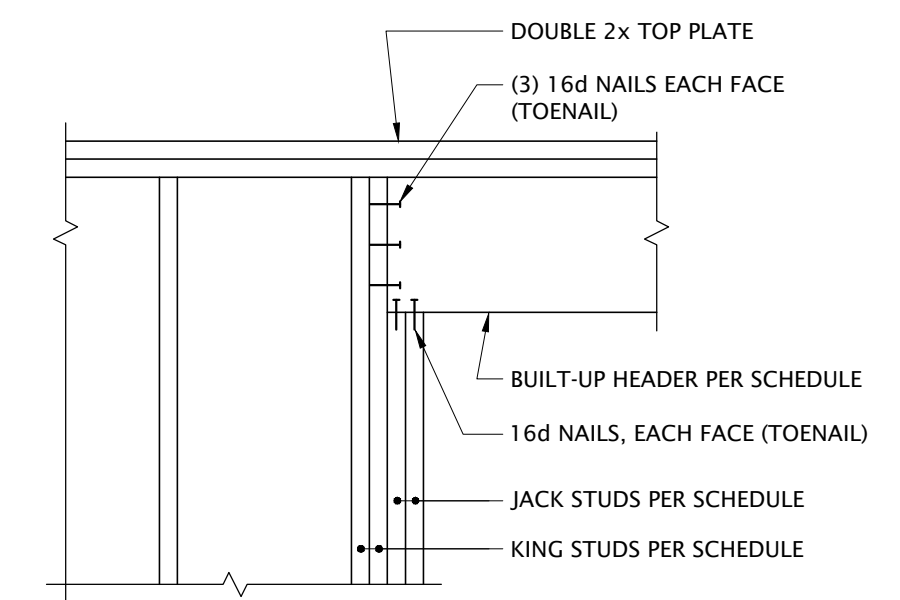
Not to Scale



- NOTES:**
1. NAILS AT BUILT-UP HEADER ARE 20d U.N.O.
 2. GLUE BETWEEN MEMBERS W/ ADHESIVE.

Typical Built-Up Header

Not to Scale

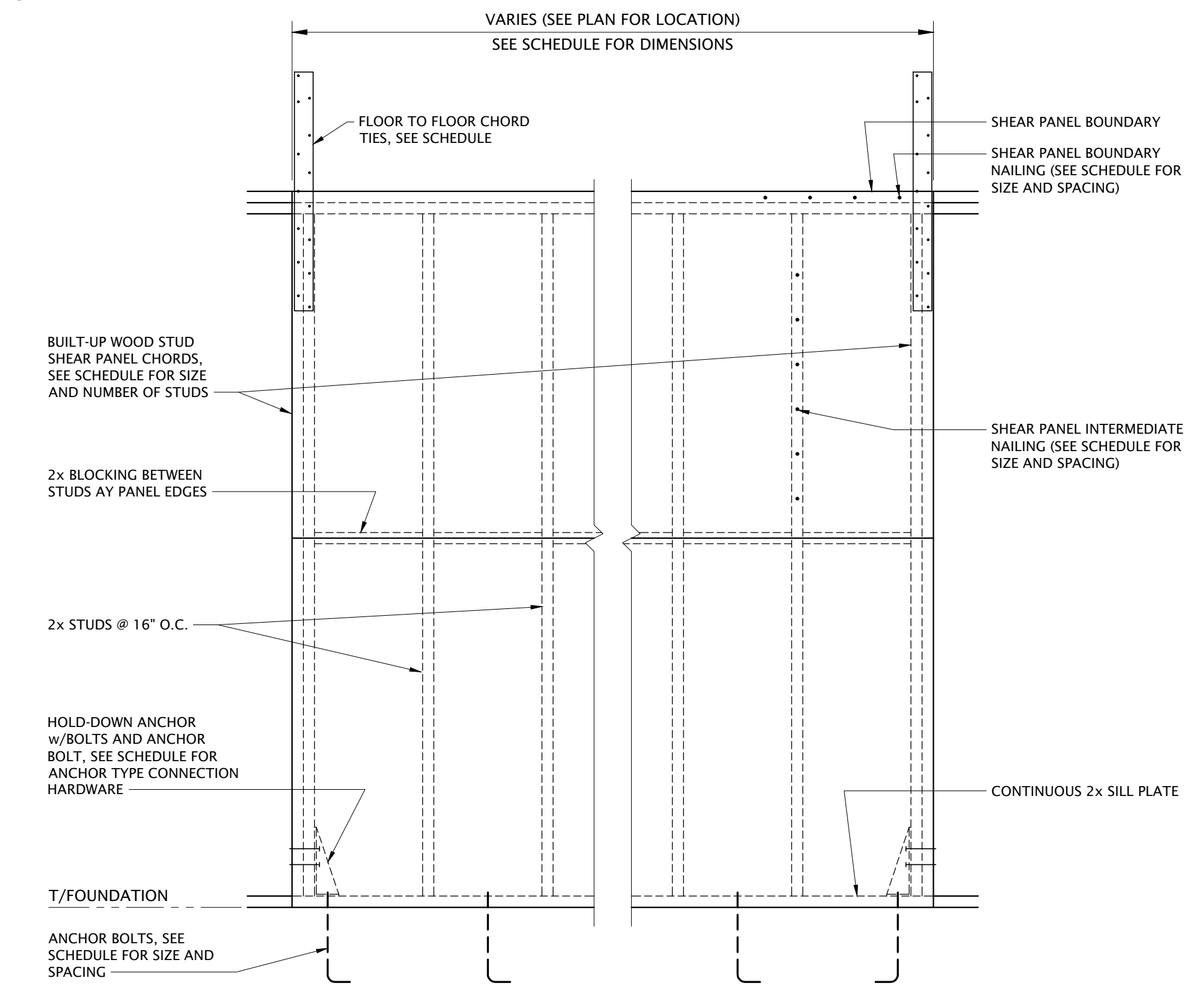


Built-Up Header w/Post Detail

Not to Scale

MARK	DESCRIPTION	PANEL SHEATHING	PANEL NAILING SCHEDULE		PANEL CHORD SIZE	FLOOR TO FLOOR CHORD TIES	ANCHOR BOLT SIZE AND SPACING	HOLD-DOWN ANCHORS
			NAIL SIZE AND TYPE	BOUNDARY INTERMEDIATE				
SW1	TYPICAL EXTERIOR WALL	5/8" PLYWOOD ①③	8d CASING 6d COOLER	6" 4" 12" 4"	(2) 2x6	MST STRAP	1/2" @ 48" O.C.	SIMPSON #HD8A
SW3	TYPICAL INTERIOR WALL	5/8" GYPSUM BOARD ②	6d COOLER	4" 4"	(2) 2x6	MST STRAP	1/2" TITEN HD SCREW ANCHOR @ 32" O.C.	SIMPSON #HD2A

- ①** PLYWOOD ON EXTERIOR FACE ONLY.
② GYPSUM BOARD ON BOTH FACES.
③ GYPSUM BOARD ON INSIDE FACE.

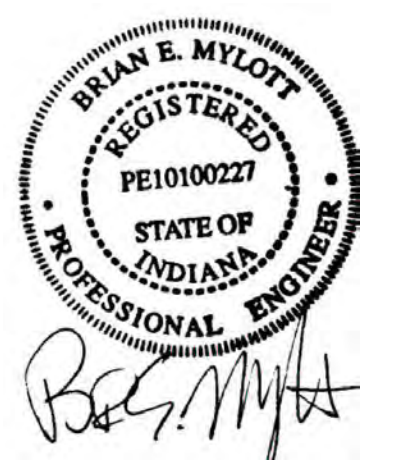


Typical Wood Frame Shear Panel Detail

Not to Scale SEE SCHEDULE FOR PANEL SHEATHING, BOUNDARY NAILING, CHORD SIZE, & HOLD-DOWN ANCHORAGE.

WALL	DESIGNATION	SPAN	SIZE	SUPPORT	
				JACK	KING
2x4	H	0'-0" TO 4'-0"	(2) 2x6	1	1
	H	4'-1" TO 6'-0"	(2) 2x8	1	1
	H	6'-1" TO 7'-0"	(2) 2x10	2	1
	H	7'-1" TO 8'-0"	(2) 2x12	2	2
2x6	LVL	0'-0" TO 4'-0"	LVL 5 1/4 x 9 1/2	1	1
	LVL2	4'-1" TO 6'-0"	LVL 5 1/4 x 9 1/2	2	1
	LVL3	6'-1" TO 9'-0"	LVL 5 1/4 x 11 7/8	2	2
	LVL4	9'-1" TO 12'-0"	LVL 5 1/4 x 14	2	2
	LVL5	12'-1" TO 16'-4"	LVL 5 1/4 x 16	3	2

- NOTES:**
1. SPAN IS ROUGH OPENING SIZE.
 2. ALL LUMBER TO BE NO.1 SYP, U.N.O.
 3. SEE TYPICAL BUILT-UP COLUMN DETAIL AND TYPICAL BUILT-UP HEADER DETAIL FOR FASTENING REQUIREMENTS.
 4. DO NOT SPLICE 2x MATERIAL.
 5. "LVL" INDICATES LOUISIANA PACIFIC GANGLAM 1.8E, F_b=2,650 psi OR APPROVED EQUAL.



certification:
 consultants:

J. Ilc. Inc.

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OCTOBER 02, 2024

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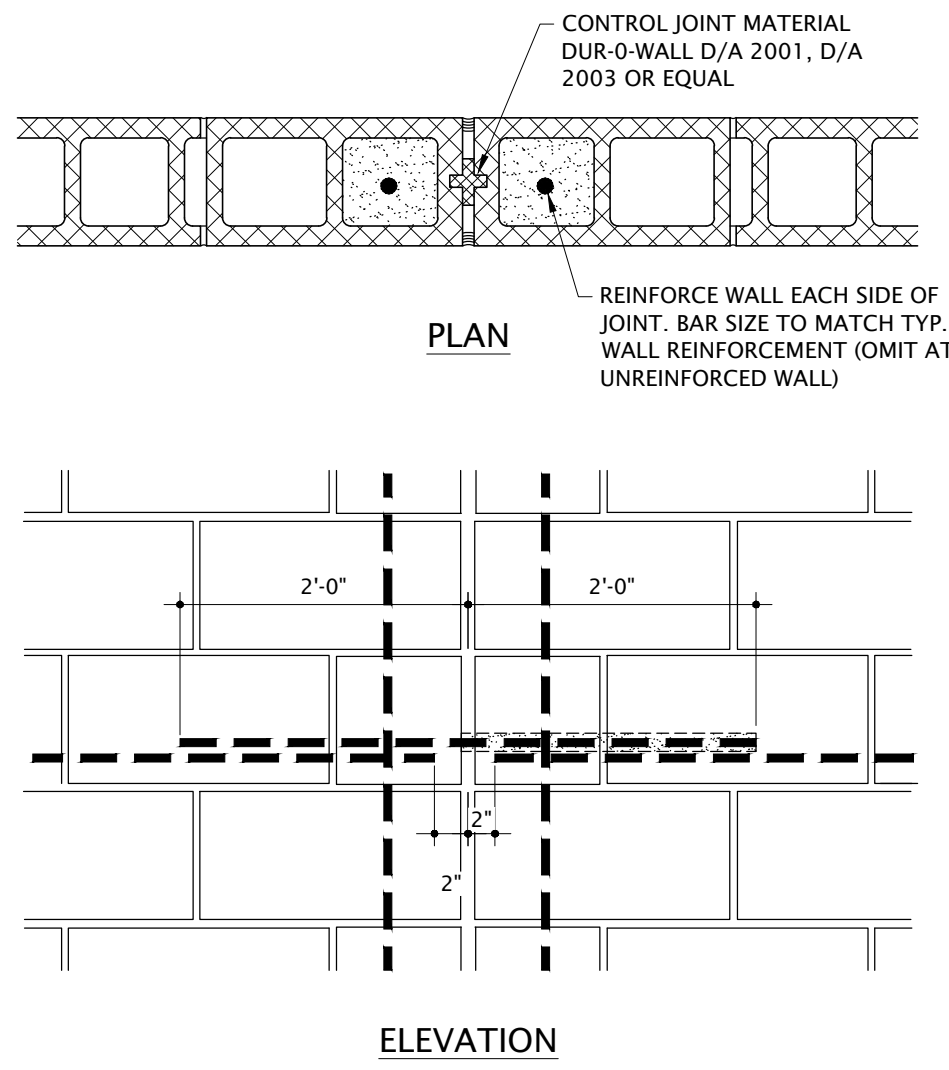
drawn: TMK
 checked: BEM

date: 5-14-2024 description: Permit Set

sheet title:
Typical Framing Details

sheet number:

S301

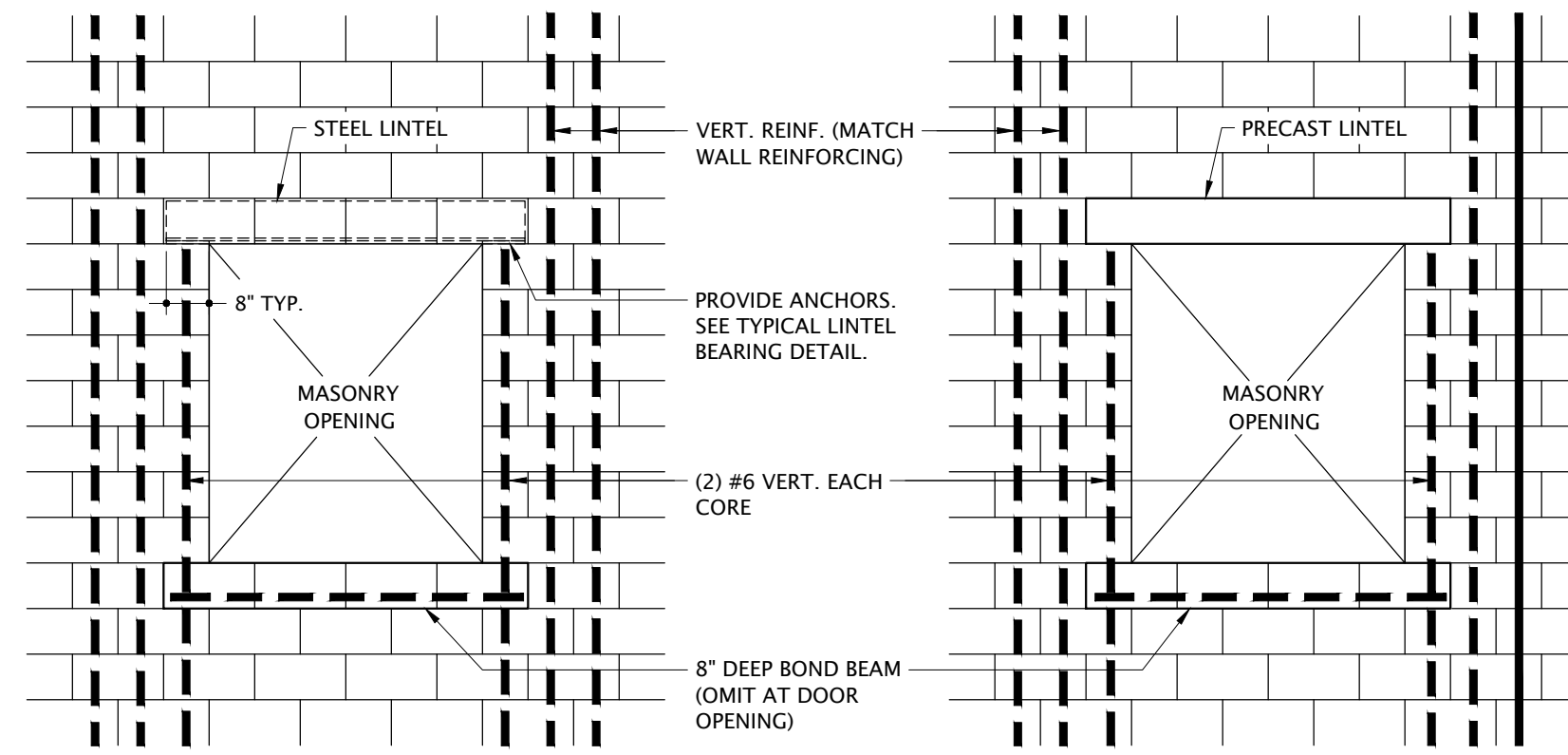


MASONRY CONTROL JOINT NOTES:

- SEE ARCH. DWGS. FOR CONTROL JOINT LOCATIONS. MAXIMUM SPACING OF JOINTS = 20'-0".
- DISCONTINUE HORIZONTAL JOINT REINFORCING AT CONTROL JOINTS.
- STOP BOND BEAM REINFORCING 2" FROM CONTROL JOINT. ADD 3'-0" DOWEL x REINFORCING SIZE. BREAK BOND WITH MASTIC ON DOWEL FOR 18" ONE SIDE OF JOINT.

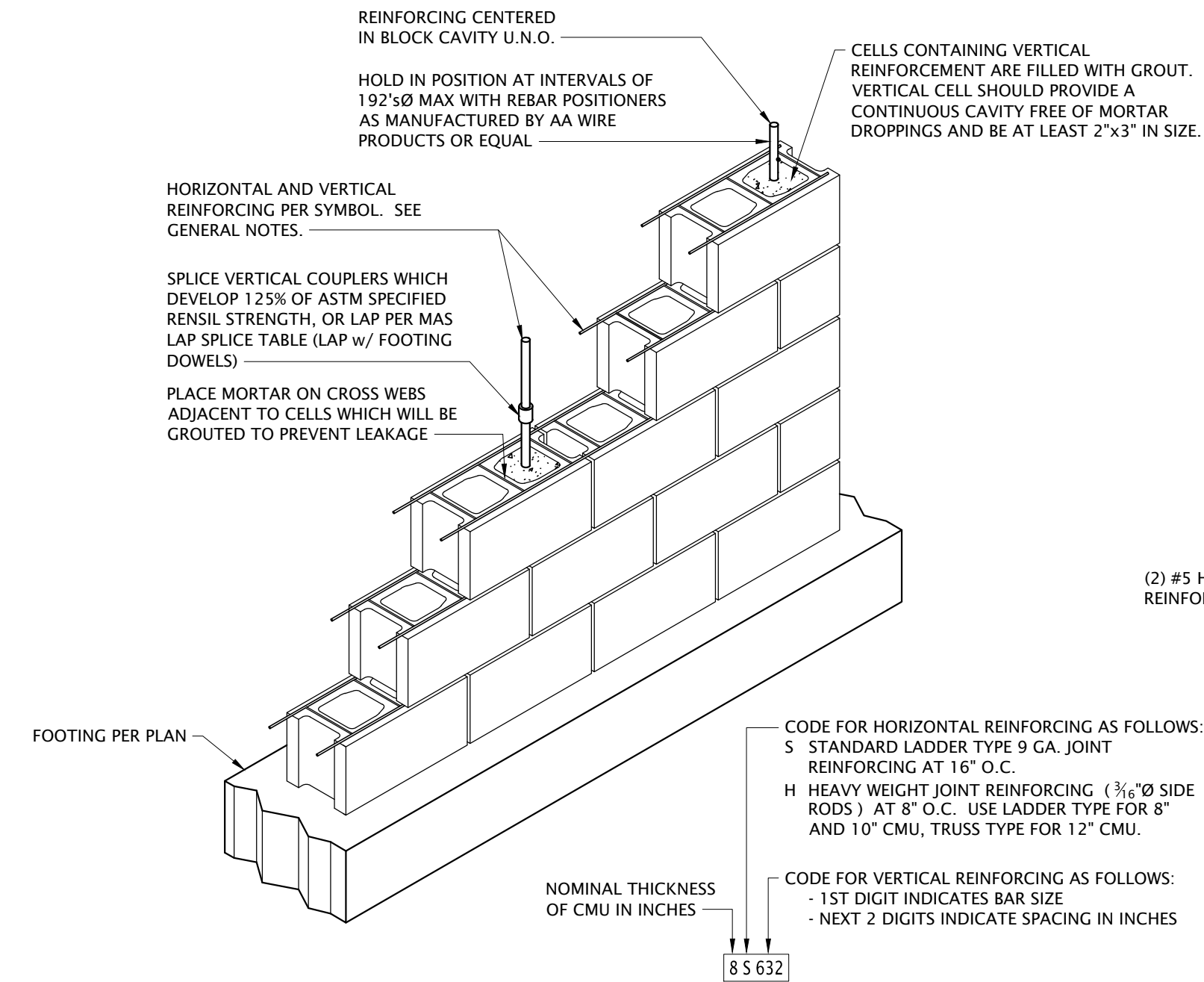
Typical Masonry Control Joint

Not to Scale



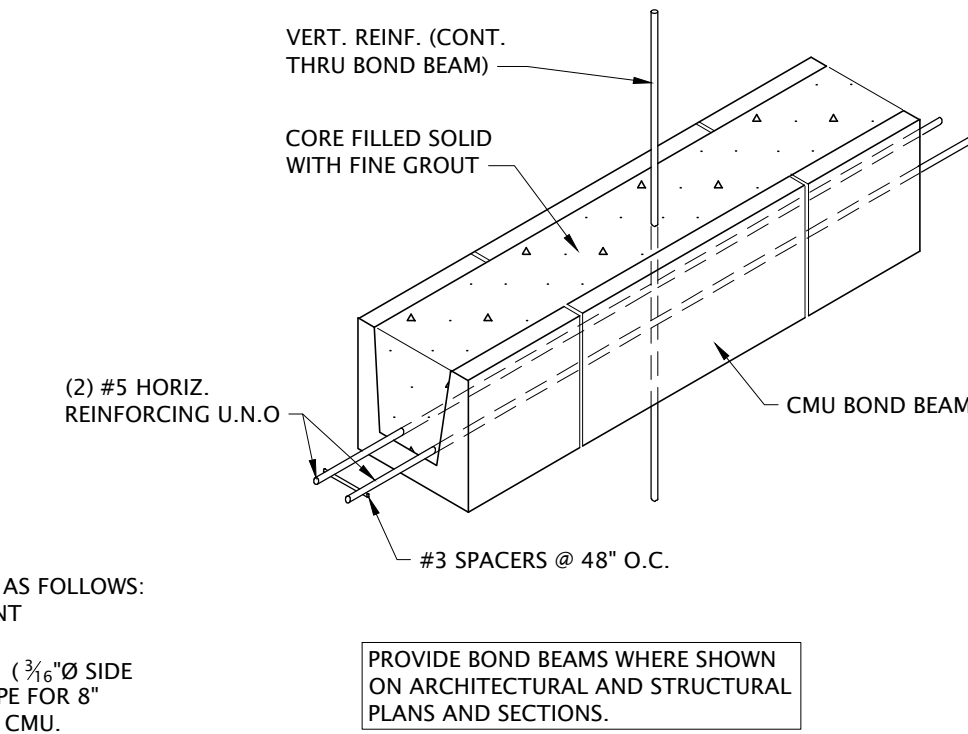
Typical Masonry Wall Opening

Not to Scale



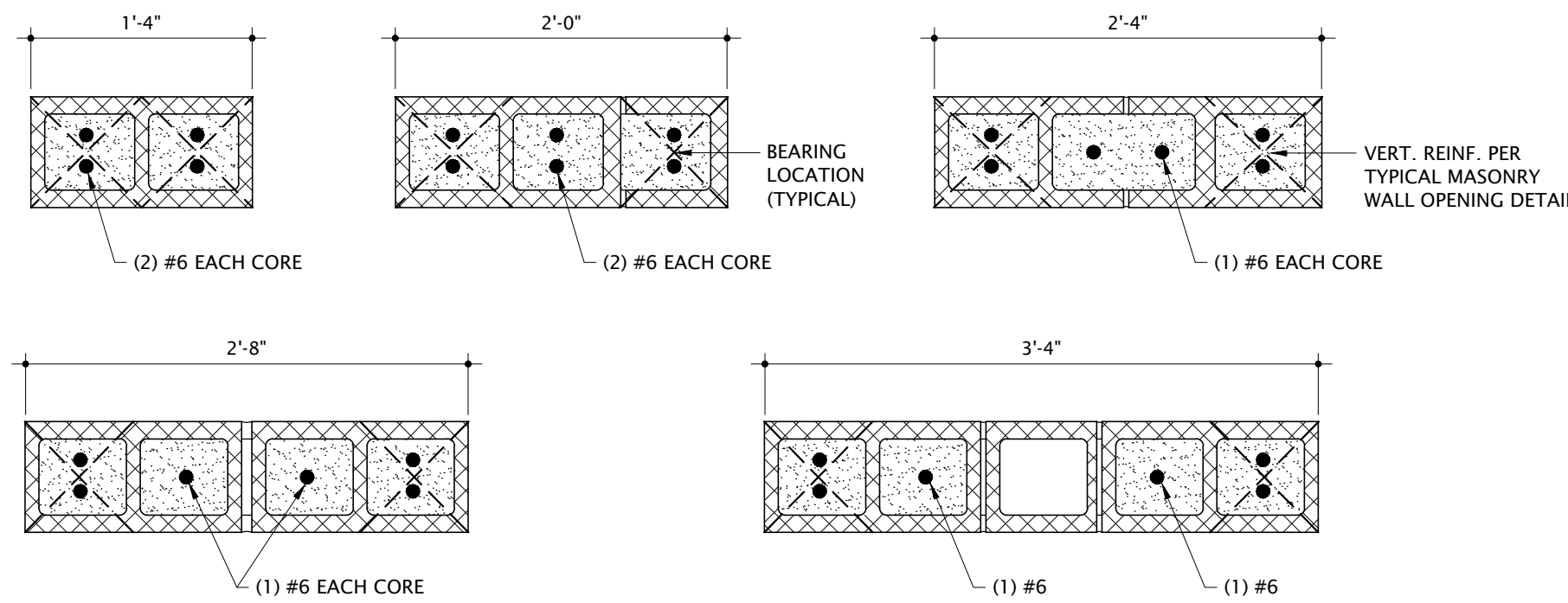
Typical Reinforced Masonry Wall

Not to Scale



Typical Bond Beam

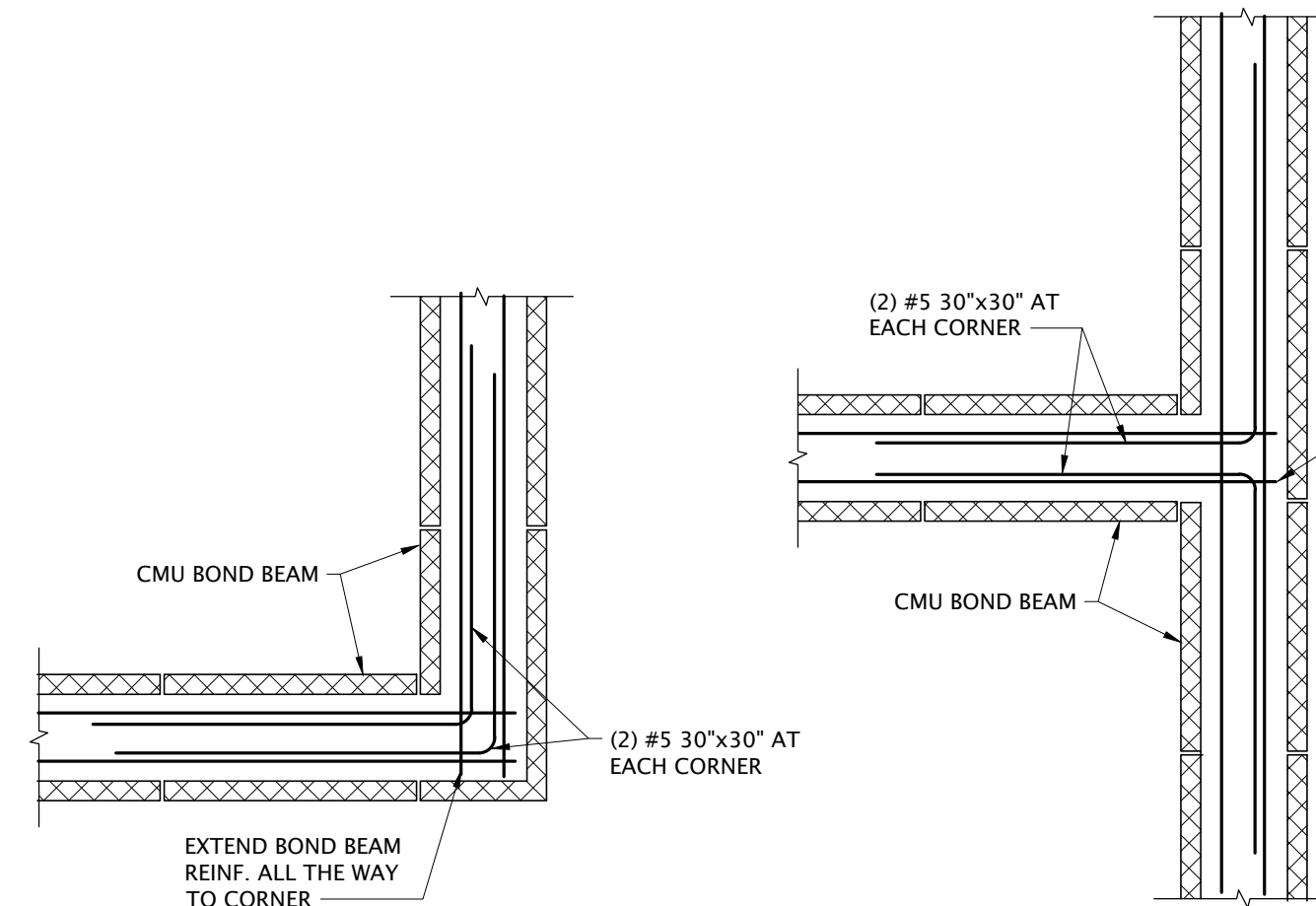
Not to Scale



ALL PIER REINFORCING TO MATCH TYPICAL VERTICAL WALL REINFORCEMENT. U.N.O. GROUT CORES SOLID AT REINFORCEMENT

Typical Reinforcing for Masonry Piers

Not to Scale



'A' TYPICAL CORNER

'B' TYPICAL INTERSECTION

Typical Bond Beam Corner Reinforcing

Not to Scale

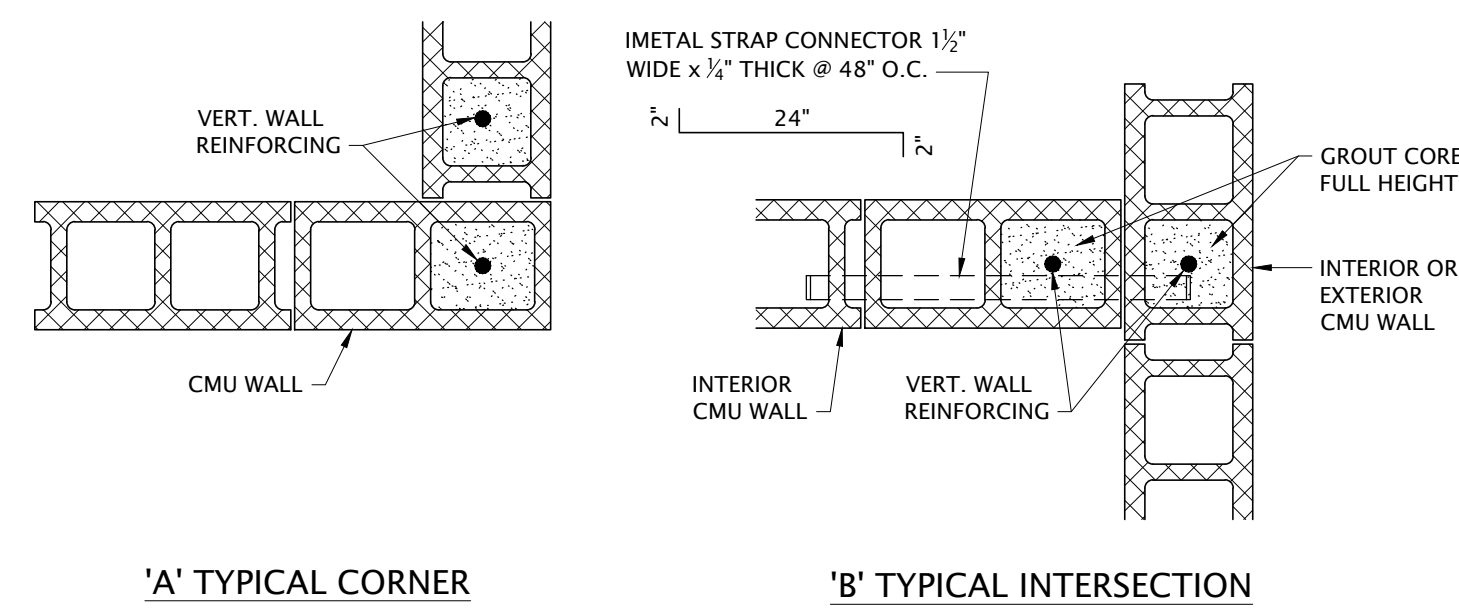
CMU WALL LINTELS			
SPAN	SHAPE	SIZE	BEARING
UP TO 4'-0"		8" BOND BEAM w/ (2) #4 CONTINUOUS OR PRECAST	SEE ARCHITECTURAL FOR LINTEL ELEVATION
4'-1" TO 6'-8"		8" BOND BEAM w/ (2) #4 CONTINUOUS OR PRECAST	SEE ARCHITECTURAL FOR LINTEL ELEVATION
6'-9" TO 10'-0"		W8x24 w/ PL 3/4"x7 1/2" TOP & BOTTOM AT 8" CMU PL 3/8"x1 1/2" TOP & BOTTOM AT 12" CMU	SEE ARCHITECTURAL FOR LINTEL ELEVATION
10'-1" TO 14'-0"		W16x31 w/ PL 3/4"x7 1/2" TOP & BOTTOM AT 8" CMU PL 3/8"x1 1/2" TOP & BOTTOM AT 12" CMU	SEE ARCHITECTURAL FOR LINTEL ELEVATION

REINFORCING BAR LAP SPLICE SCHEDULE MASONRY CONSTRUCTION		
BAR SIZE	Fy = 40 ksi	Fy = 60 ksi
#3	1'-3"	1'-9"
#4	1'-6"	2'-3"
#5	1'-9"	2'-9"
#6	3'-3"	4'-9"
#7	4'-3"	7'-6"

BRICK LOOSE LINTEL SCHEDULE		
SPAN	SIZE	BEARING
UP TO 4'-0"	L 4x4x1/4	8" MIN. EACH END
4'-1" TO 6'-0"	L 6x4x5/16	8" MIN. EACH END
6'-1" TO 8'-0"	L 7x4x3/8	8" MIN. EACH END
8'-1" TO 10'-0"	L 8x4x1/2	8" MIN. EACH END

MASONRY NOTES:

- CONCRETE MASONRY HAS BEEN DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE "BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES" (ACI 530).
- CONCRETE MASONRY CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE "SPECIFICATION FOR CONCRETE MASONRY CONSTRUCTION" (ACI 530.1).
- CONCRETE MASONRY CONSTRUCTION SHALL BE INSPECTED AS REQUIRED BY THE "SPECIFICATION FOR CONCRETE MASONRY CONSTRUCTION" (ACI 530.1).
- CONCRETE MASONRY CONSTRUCTION SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (F'M) OF 1,500 PSI AT 28 DAYS.
- COMPRESSIVE STRENGTH OF MASONRY UNITS SHALL MEET OR EXCEED 1900 PSI.
- MORTAR SHALL BE TYPE M BELOW GRADE AND TYPE M OR S ABOVE GRADE PROPORTIONED IN ACCORDANCE WITH THE LATEST EDITION OF ASTM C270 OR C476.
- MASONRY CORES WITH REINFORCEMENT, BOND BEAMS AND OTHER CORES SHOWN TO BE FILLED WITH GROUT SHALL BE FILLED WITH A COARSE GROUT WITH A MINIMUM 2,500 PSI COMPRESSIVE STRENGTH AT 28 DAYS, 3/4" MAXIMUM AGGREGATE AND 8" SLUMP.
- GROUT LIFT HEIGHTS SHALL NOT EXCEED 5'-0". GROUT POUR HEIGHTS SHALL MEET THE REQUIREMENTS OF ACI-530.
- AT SPLICES OF REINFORCEMENT BARS PROVIDE A LAP SPLICE. LENGTH OF SPLICE SHALL BE PER SCHEDULE BELOW.
- PROVIDE GALVANIZED STEEL WIRE JOINT REINFORCEMENT IN ALL MASONRY CONSTRUCTION. REINFORCEMENT SHALL BE CONTINUOUS AND BE LAPPED SIXTEEN INCHES AT SPLICES. CUT REINFORCEMENT AT ALL CONTROL AND EXPANSION JOINTS. SPACE REINFORCEMENT AT 8" ON CENTER FOR PARAPETS AND BELOW BUILDING FLOOR ELEVATION. ELSEWHERE SPACE REINFORCEMENT AT 16 INCHES ON CENTER. HORIZONTAL REINFORCEMENT SHALL BE TRUSS TYPE WITH W1.7 WIRES.
- MAINTAIN VERTICAL BAR POSITION DURING GROUTING OPERATIONS. BAR POSITIONERS SHALL BE DUR-O-WALL D/A 815 OR 817 (ONE BAR PER CORE) OR D/A 816 (TWO BARS PER CORE) OR EQUAL. PROVIDE POSITIONERS AT 48" ON CENTER. PROVIDE A MINIMUM OF TWO POSITIONERS PER BAR.
- AT BEAM BEARINGS PROVIDE TWO 1/2" DIAMETER X 1'-3" HOOKED ANCHORS. SPACE ANCHORS AT STANDARD GAGE FOR BEAM.
- BEAMS, LINTELS, JOISTS, ETC. SHALL BEAR ON BOND BEAMS OR REINFORCED HOLLOW MASONRY UNITS WITH CORES FILLED SOLID WITH GROUT. SEE DRAWINGS FOR OTHER REQUIREMENTS.



'A' TYPICAL CORNER

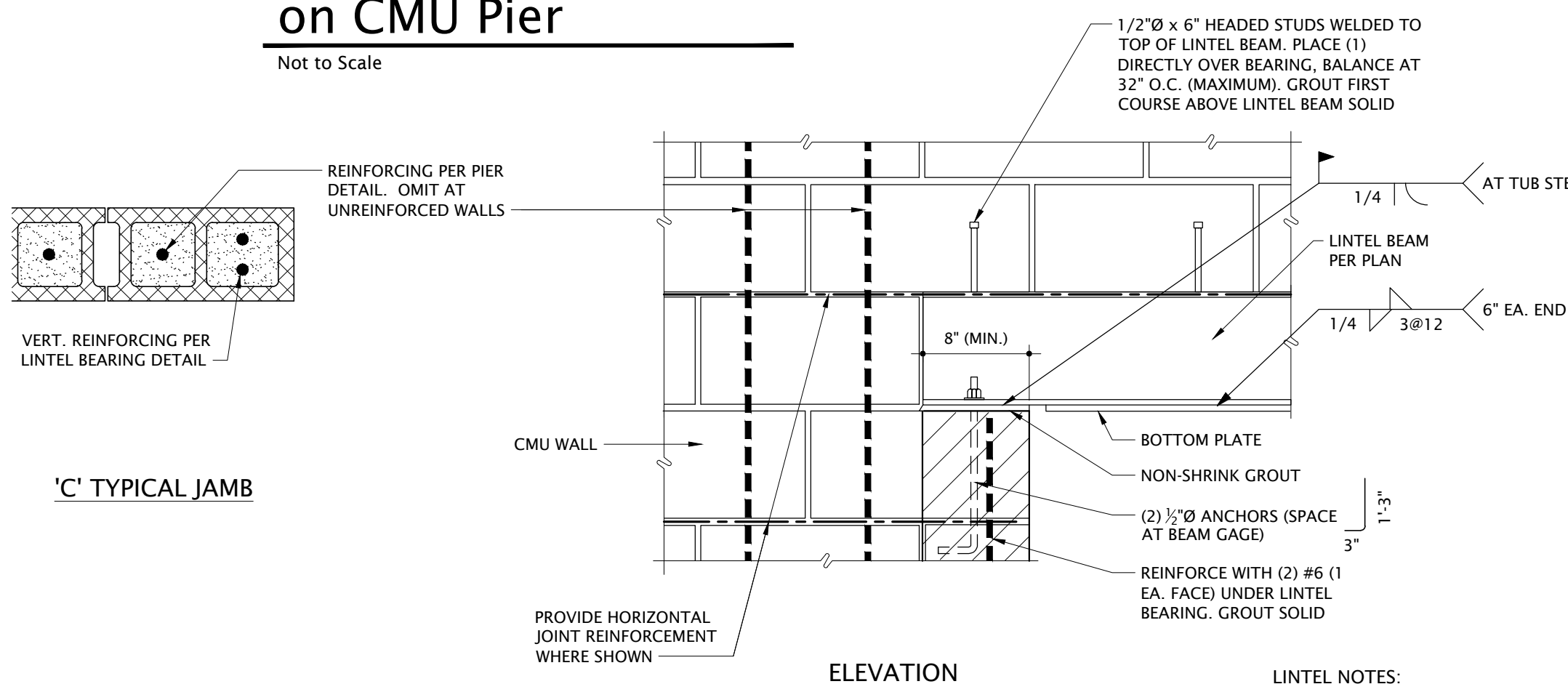
'B' TYPICAL INTERSECTION

'C' TYPICAL JAMB

- NOTES:**
- REINFORCING SHOWN IS IN ADDITION TO REINFORCING SHOWN ON PLANS AND SPECIAL DETAILS.
 - REINFORCING SIZE SHALL MATCH TYPICAL WALL REINFORCEMENT.
 - VERTICAL REINFORCING NOT REQUIRED IN UN-REINFORCED WALLS.

Typical Masonry Wall Corner Reinforcing

Not to Scale



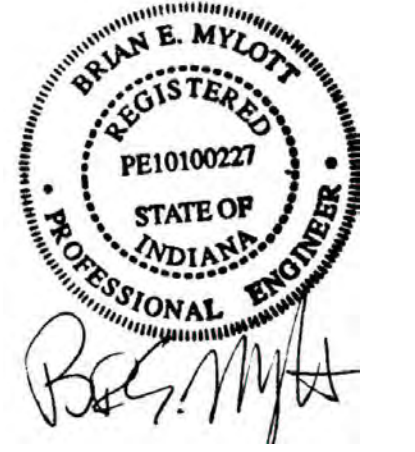
ELEVATION

LINTEL NOTES:

- STEEL LINTELS IN EXTERIOR WALLS SHALL BE GALVANIZED.
- STEEL LINTELS IN INTERIOR WALLS SHALL BE SHOP PAINTED WITH A PRIMER AND A TOP COAT.

Typical Lintel Bearing

Not to Scale



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J. Ilc. Inc.

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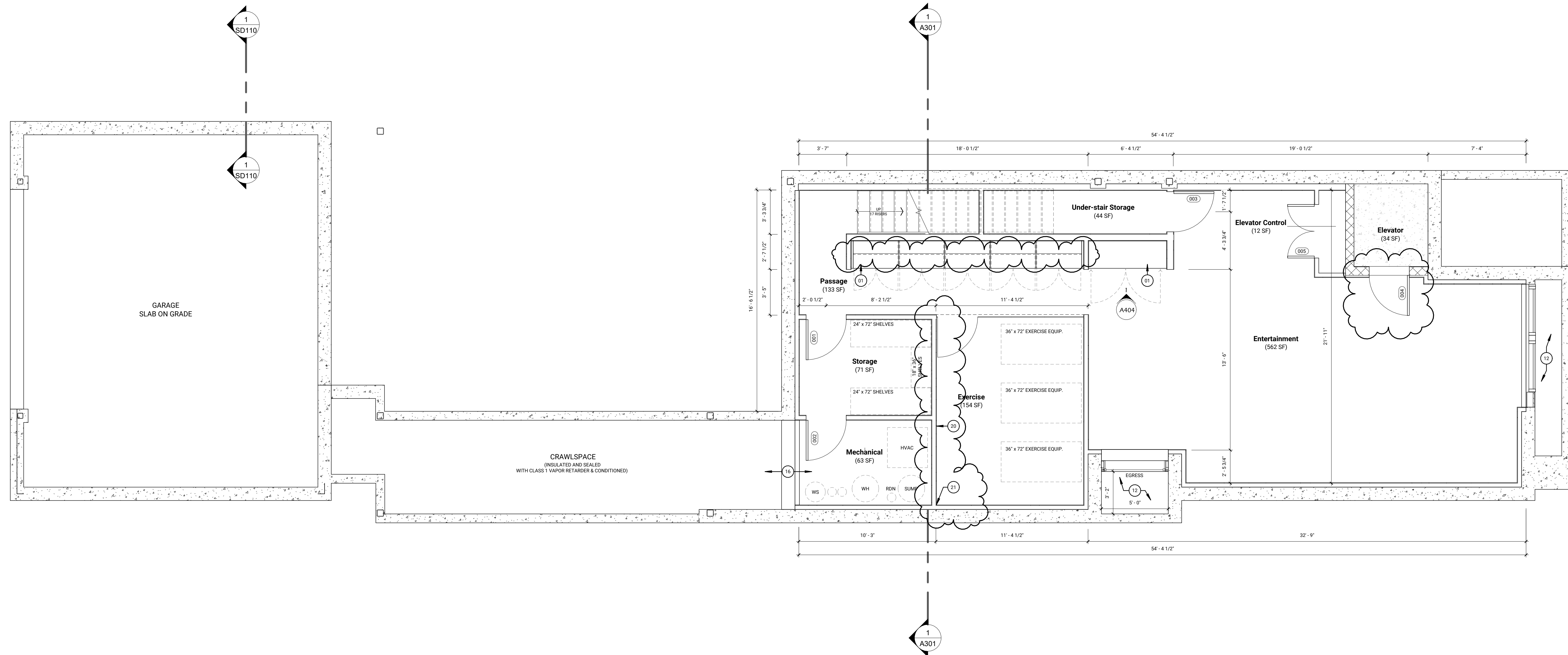
OCTOBER 02, 2024

INDIANAPOLIS HISTORIC PRESERVATION COMMISSION

drawn: TMK
checked: BEM
date: 5-14-2024
description: Permit Set

sheet title:
Typical Masonry Notes and Details

sheet number:
S302



1 Lower Level Floor Plan
1/4" = 1'-0"

GENERAL NOTES

- A. REFERENCE SHEET A000 FOR GENERAL PROJECT INFORMATION, WALL TYPES, SYMBOLS AND PROJECT SCOPE DEFINITIONS.
- B. REFERENCE SITE PLAN FOR INFORMATION REGARDING DRIVES, SIDEWALKS, RAMP, FENCES, ETC.
- C. CONFORM ALL CONSTRUCTION TO THE CODES INDICATED ON SHEET A000 AS WELL AS LOCAL, COUNTY, AND/OR CITY JURISDICTIONS.
- D. FIRESTOP ALL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES AND THROUGH EACH FLOOR.
- E. FLOOR PLAN DIMENSIONS ARE INDICATED FROM FACE OF STUD AND FACE OF MASONRY UNLESS OTHERWISE INDICATED.
- F. REFERENCE SHEET A601 FOR DOOR AND WINDOW INFORMATION.
- G. FOR ALL WINDOW AND DOOR OPENINGS, REFER TO STRUCTURAL DWGS FOR HEADER DESIGN.
- H. PROVIDE 2X SOLID BLOCKING AND GROUNDS AS REQ'D TO SUPPORT WALL-MOUNTED ITEMS.
- I. SEAL ALL EXTERIOR WALL, FLOOR, PLATE, AND SILL PENETRATIONS WITH LOW-EXPANDING FOAM SEALANT.
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FLOOR PLAN NOTES

- 01. CUSTOM MILLWORK (REF: INTERIOR ELEVATIONS/DETAILS/NOTES)
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- 21. TV ON ADJUSTABLE TELESCOPING WALL MOUNT
- 22. FULL-HEIGHT GLASS IN RECESSED EXTRUDED ALUMINUM "U" CHANNEL.



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2023.06.28	Permit Set
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2024.03.22	Permit Set_R2
2024.05.28	Construction Set

sheet title:
**Lower Level
Floor Plan**

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sheet number:
A100



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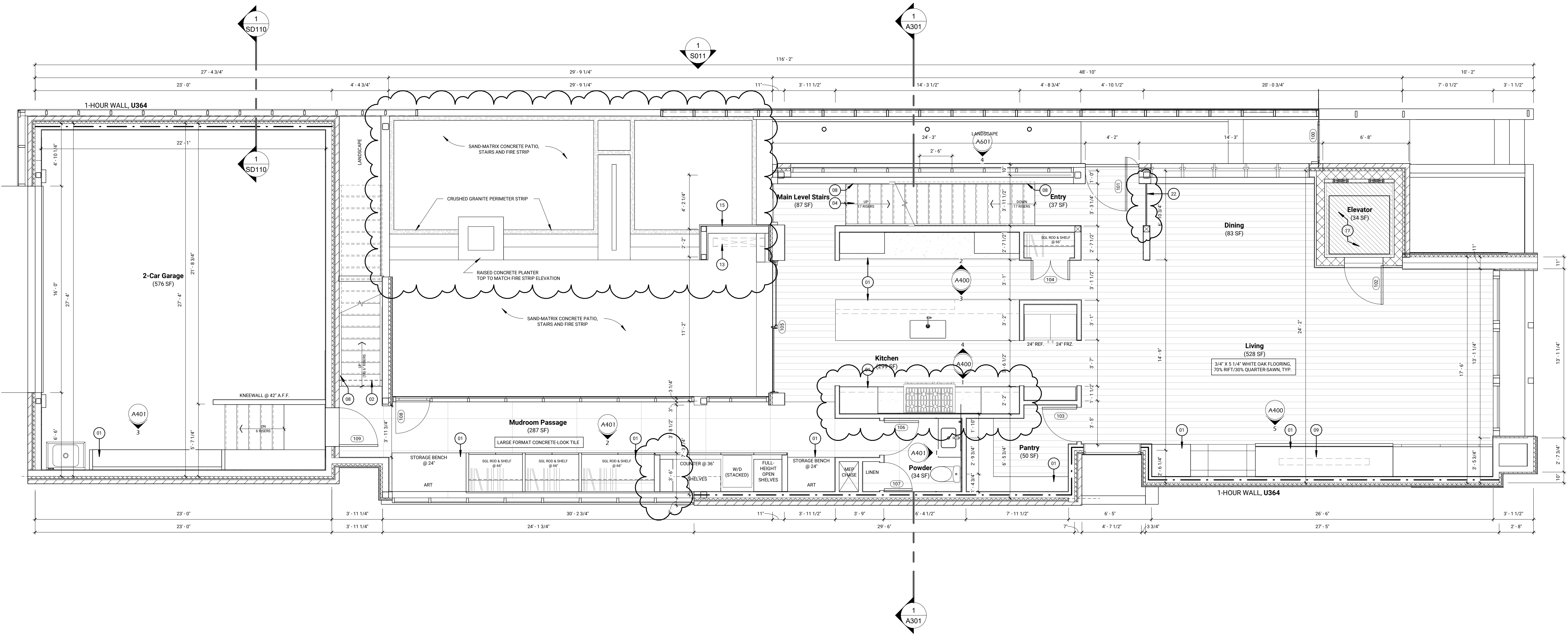
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PRESERVATION COMMISSION

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checked:	CAK
date:	description:
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2024.03.06	Permit Set_R1
2024.03.22	Permit Set_R2
2024.05.28	Construction Set

sheet title:
Main Level Floor Plan

PERMIT SET

sheet number:
A101



1 Main Level Floor Plan
1/4" = 1'-0"

GENERAL NOTES

- A. REFERENCE SHEET A000 FOR GENERAL PROJECT INFORMATION, WALL TYPES, SYMBOLS AND PROJECT SCOPE DEFINITIONS.
- B. REFERENCE SITE PLAN FOR INFORMATION REGARDING DRIVES, SIDEWALKS, RAMP, FENCES, ETC.
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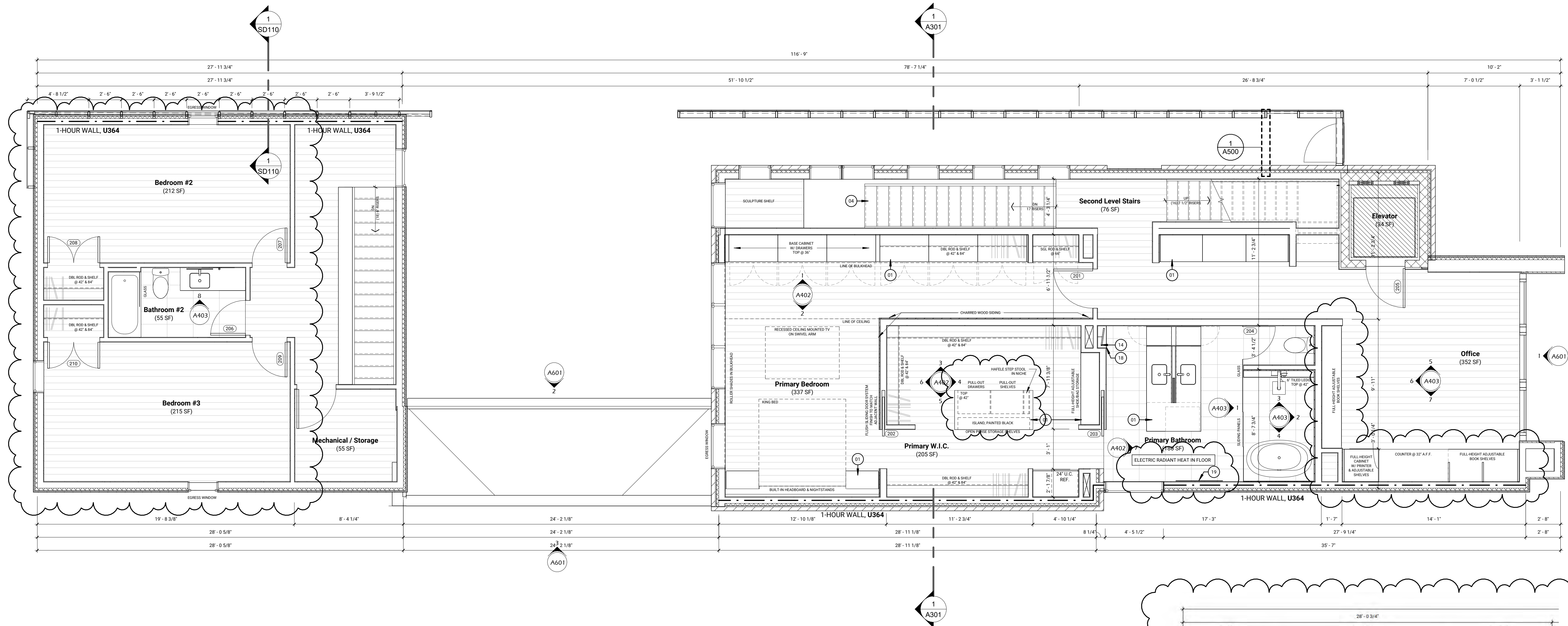
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2024.03.06	Permit Set_R1
2024.03.22	Permit Set_R2
2024.05.28	Construction Set

sheet title:
Second Level Floor Plan

PERMIT SET

sheet number:
A102



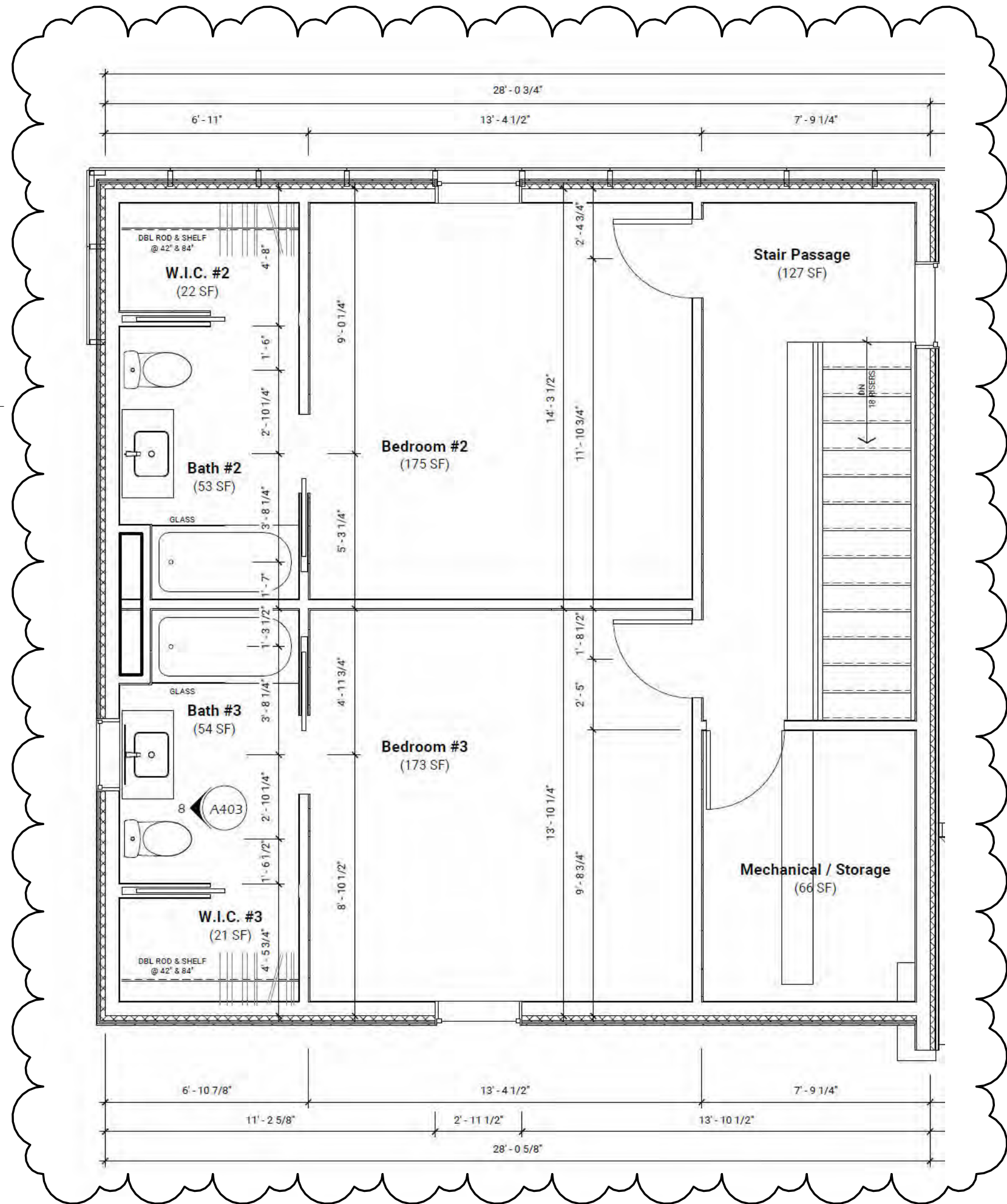
Second Level Floor Plan
1/4" = 1'-0"

GENERAL NOTES

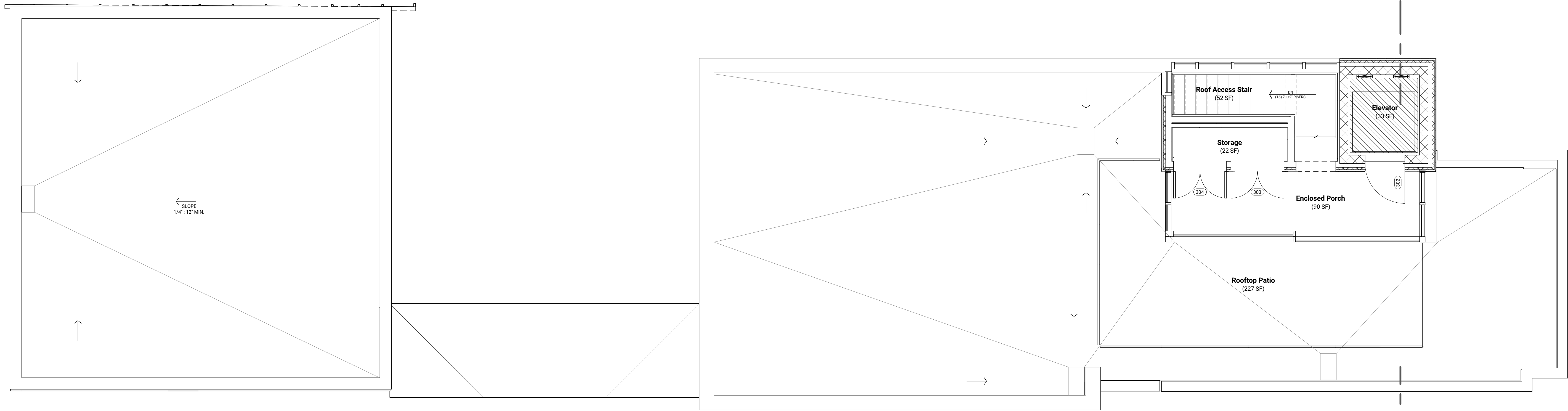
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FLOOR PLAN NOTES

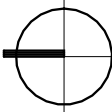
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ALTERNATE 2ND LEVEL GUEST SUITE LAYOUT



1 Roof Level Floor Plan
1/4" = 1'-0"



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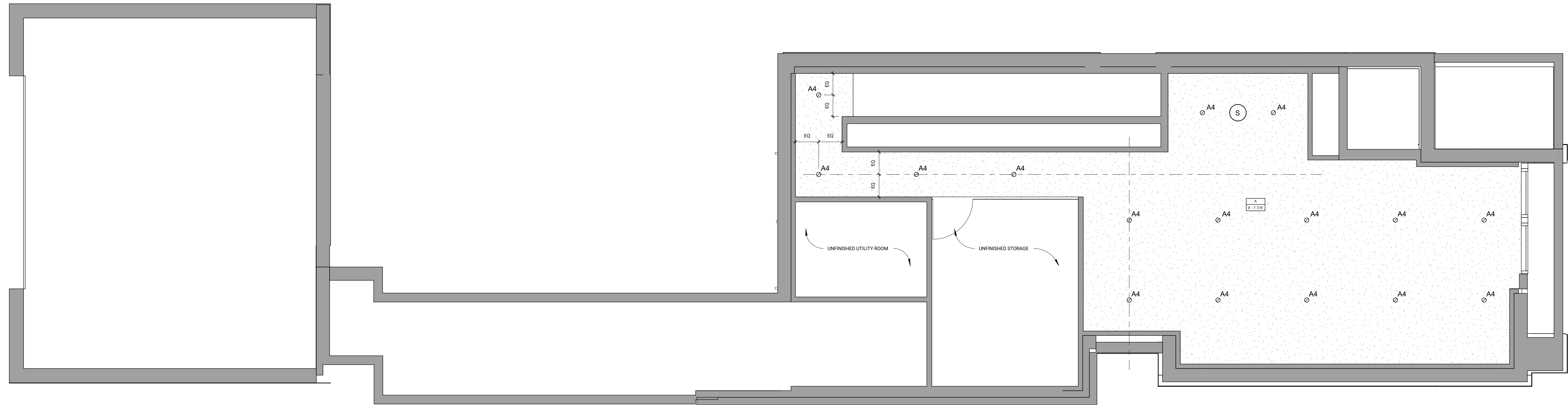
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checked: CAK

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2024.03.06	Permit Set_R1
2024.03.22	Permit Set_R2
2024.05.28	Construction Set

sheet title:
**Roof Level Floor
Plan**

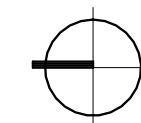
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A103



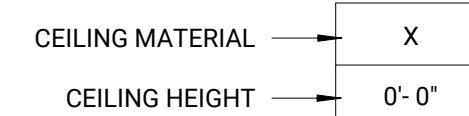
1 Lower Level Reflected Ceiling Plan

1/4" = 1'-0"



CEILING NOTES

01. BULKHEAD, REF: ELEVATION NOTE ON PLAN.
02. OUTDOOR OVERHEAD EXHAUST FAN W/ REMOVABLE METAL CEILING PANEL. FINISH TO MATCH ADJACENT SOFFIT PANEL DRYWALL CONTROL JOINTS, AS REQ'D.
03. OPEN TO ABOVE
04. LINEAR DIFFUSER FOR SHOWER VENT, W/ CONDENSATION SENSOR AND REMOTE FAN
05. VENTILATION FAN W/ CONDENSATION SENSOR
06. MOTORIZED DROPDOWN TV IN CEILING RECESS



CEILING LEGEND

- A. GYPSUM BOARD, PAINTED WHITE. PROVIDE ALL ACCESS PANELS REQUIRED FOR MAINTENANCE-LOCATIONS MUST BE APPROVED BY ARCHITECT.
- B. METAL SOFFIT PANEL SYSTEM, FLAT PANEL, 12" SEAMS
- C. EXTERIOR SMOOTH PLASTER CEILING, INTEGRAL FINISH.

- UNDERCABINET STRIP LED W/ LENSE
- RECESSED CAN
- ⊗ RECESSED CAN/WALL WASH
- ◇ SURFACE MOUNT, CEILING
- SURFACE MOUNTED LED STRIP
- ⊕ WALL MOUNT
- PENDANT LIGHT FIXTURE
- ⊙ EXHAUST FAN/ LIGHT
- Ⓢ COMBINATION SMOKE ALARM/CARBON MONOXIDE ALARM

LIGHTING FIXTURE SCHEDULE

MARK	MANUFACTURER	MODEL	SIZE	SHAPE	TYPE	LUMENS	TEMP.	DIMMING	NOTES
A1	ACUITY BRANDS LIGHTING	MD1LG2	1"	ROUND	LED	300	3000K	Yes	1" LED FIXED DOWNLIGHT, OR APPROVED EQUAL
A1A	ACUITY BRANDS LIGHTING	MG1LG2	1"	ROUND	LED	300	3000K	Yes	1" LED ADJUSTABLE DOWNLIGHT, OR APPROVED EQUAL
A3	ACUITY BRANDS LIGHTING	2LEDTRIM G2 DC	2"	ROUND	LED	1000	3000K	Yes	2" LED FIXED DOWNLIGHT, OR APPROVED EQUAL
A4	ACUITY BRANDS LIGHTING	IC1LED	4"	ROUND	LED	1400	3000K	Yes	4" LED FIXED DOWNLIGHT, OR APPROVED EQUAL
A5	ACUITY BRANDS LIGHTING	CLX	48"	LINEAR	LED	3000	3000K	Yes	48" LED LINEAR, OR APPROVED EQUAL
A6	ACUITY BRANDS LIGHTING	2LEDTRIM G2 DC	2"	ROUND	LED	1000	3000K	Yes	2" LED FIXED DOWNLIGHT, OR APPROVED EQUAL
A7	ACUITY BRANDS LIGHTING	ASPEN LED	2 1/4"	ROUND	LED	1100	3000K	Yes	DIRECTION LANDSCAPE LIGHTING, OR APPROVED EQUAL
A8	QTL	MICRO 5 SLITE	1/2"	LINEAR	LED		3000K	Yes	LINEAR MUD-IN EXTRUSION W/TRANSLUCENT LENS
A9	Designplan Lighting Inc.	Lambda	48"	LINEAR	LED		3000K	Yes	LINEAR UP/DOWN PENDANT
W1	EUREKA	3545							



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2023.06.28 Permit Set
2024.03.06 Permit Set_R1
2024.03.22 Permit Set_R2
2024.05.28 Construction Set

sheet title:
**Lower Level
Reflected
Ceiling Plan**

PERMIT SET

sheet number:

A110



certification:
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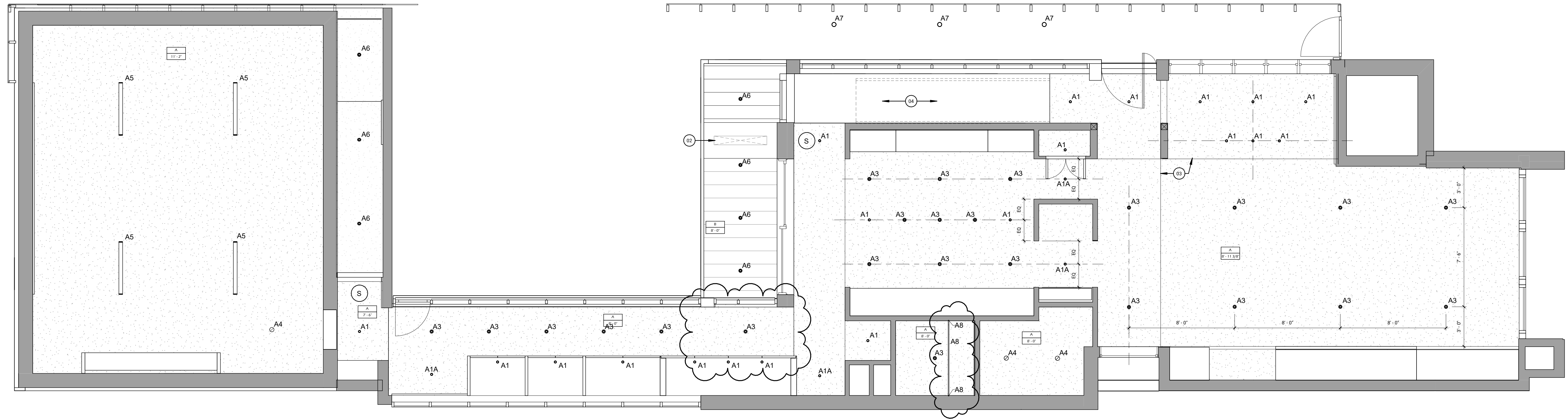
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2024.03.22	Permit Set_R2
2024.05.28	Construction Set

sheet title:
Main Level Reflected Ceiling Plan

PERMIT SET

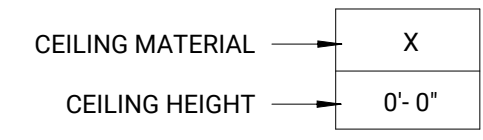
sheet number:
A111



Main Level Reflected Ceiling Plan
 1/4" = 1'-0"

CEILING NOTES

- BULKHEAD, REF: ELEVATION NOTE ON PLAN.
- OUTDOOR OVERHEAD EXHAUST FAN W/ REMOVABLE METAL CEILING PANEL. FINISH TO MATCH ADJACENT SOFFIT PANEL DRYWALL CONTROL JOINTS, AS REQ'D.
- OPEN TO ABOVE
- LINEAR DIFFUSER FOR SHOWER VENT, W/ CONDENSATION SENSOR AND REMOTE FAN
- VENTILATION FAN W/ CONDENSATION SENSOR
- MOTORIZED DROPDOWN TV IN CEILING RECESS



CEILING LEGEND

- A. GYPSUM BOARD, PAINTED WHITE. PROVIDE ALL ACCESS PANELS REQUIRED FOR MAINTENANCE-LOCATIONS MUST BE APPROVED BY ARCHITECT.
- B. METAL SOFFIT PANEL SYSTEM, FLAT PANEL, 12" SEAMS
- C. EXTERIOR SMOOTH PLASTER CEILING, INTEGRAL FINISH.
- UNDERCABINET STRIP LED W/ LENSE
- RECESSED CAN
- ⊙ RECESSED CAN/WALL WASH
- ◇ SURFACE MOUNT, CEILING
- SURFACE MOUNTED LED STRIP
- ⊕ WALL MOUNT
- PENDANT LIGHT FIXTURE
- ⊙ EXHAUST FAN/ LIGHT
- Ⓢ COMBINATION SMOKE ALARM/CARBON MONOXIDE ALARM

LIGHTING FIXTURE SCHEDULE

MARK	MANUFACTURER	MODEL	SIZE	SHAPE	TYPE	LUMENS	TEMP.	DIMMING	NOTES
A1	ACUITY BRANDS LIGHTING	MD1LG2	1"	ROUND	LED	300	3000K	Yes	1" LED FIXED DOWNLIGHT, OR APPROVED EQUAL
A1A	ACUITY BRANDS LIGHTING	MG1LG2	1"	ROUND	LED	300	3000K	Yes	1" LED ADJUSTABLE DOWNLIGHT, OR APPROVED EQUAL
A3	ACUITY BRANDS LIGHTING	2LEDTRIM G2 DC	2"	ROUND	LED	1000	3000K	Yes	2" LED FIXED DOWNLIGHT, OR APPROVED EQUAL
A4	ACUITY BRANDS LIGHTING	IC1LED	4"	ROUND	LED	1400	3000K	Yes	4" LED FIXED DOWNLIGHT, OR APPROVED EQUAL
A5	ACUITY BRANDS LIGHTING	CLX	48"	LINEAR	LED	3000	3000K	Yes	48" LED LINEAR, OR APPROVED EQUAL
A6	ACUITY BRANDS LIGHTING	2LEDTRIM G2 DC	2"	ROUND	LED	1000	3000K	Yes	2" LED FIXED DOWNLIGHT, OR APPROVED EQUAL
A7	ACUITY BRANDS LIGHTING	ASPEN LED	2 1/4"	ROUND	LED	1100	3000K	Yes	DIRECTION LANDSCAPE LIGHTING, OR APPROVED EQUAL
A8	QTL	MICRO 5 SLITE	1/2"	LINEAR	LED	3000K	Yes	LINEAR MUD-IN EXTRUSION W/TRANSLUCENT LENS	
A9	Designplan Lighting Inc.	Lambda	48"	LINEAR	LED	3000K	Yes	LINEAR UP/DOWN PENDANT	
W1	EUREKA	3545							



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consultants:

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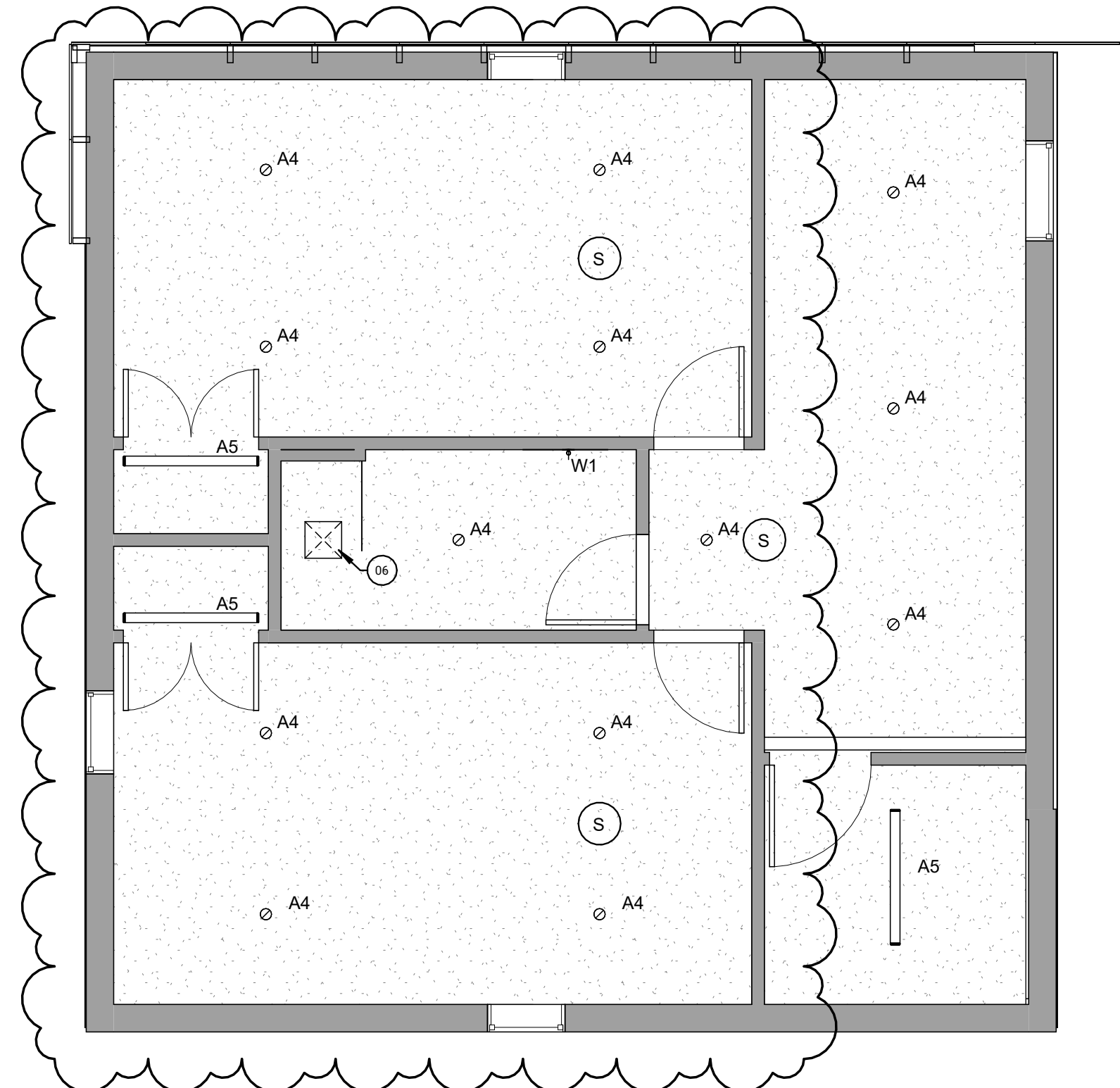
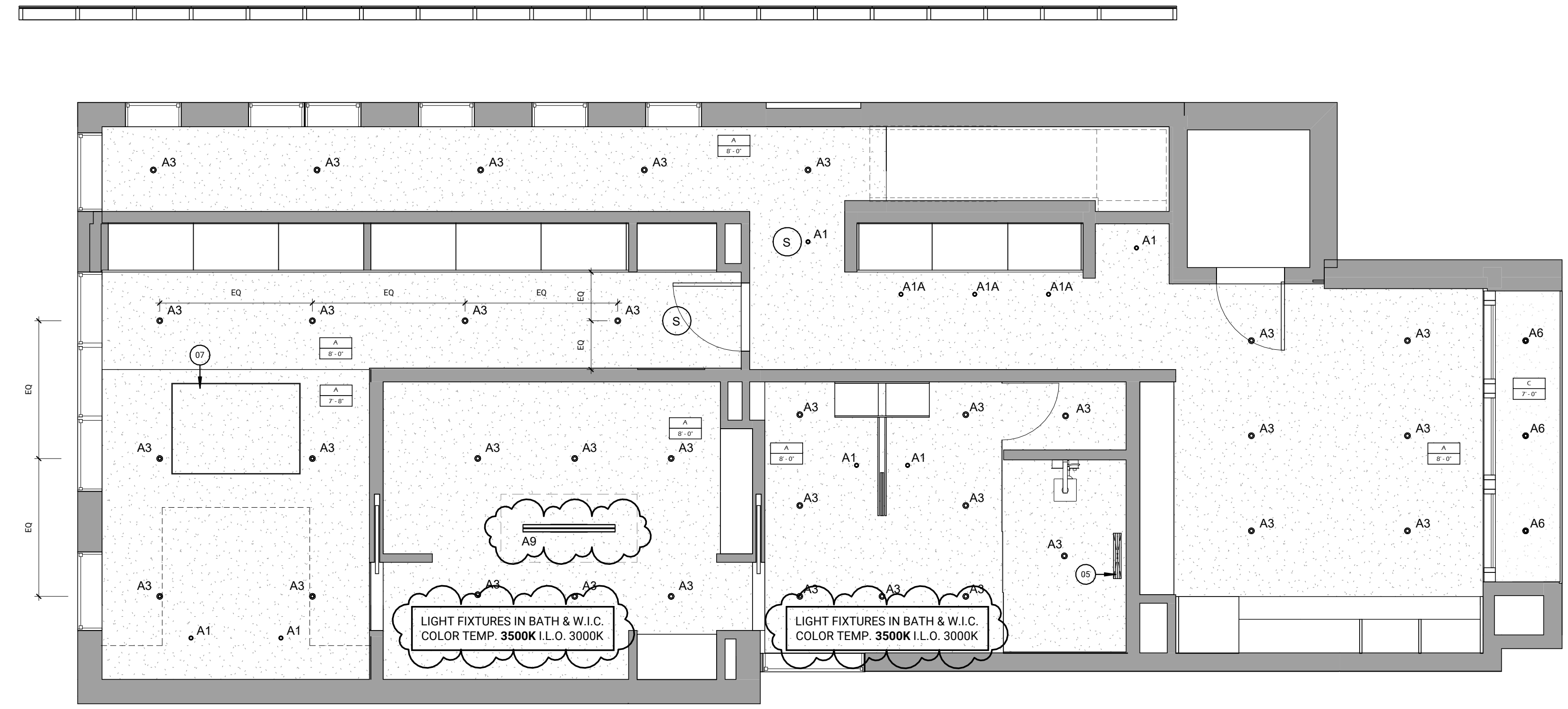
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2024.03.06	Permit Set_R1
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2024.05.28	Construction Set

sheet title:
**Second Level
Reflected
Ceiling Plan**

PERMIT SET

sheet number:
A112

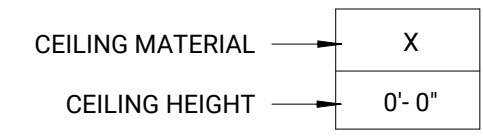


COORDINATE REFLECTED CEILING LAYOUT WITH 2 BATH ALTERNATE LAYOUT, REF. SHEET A102

Second Level Reflected Ceiling Plan
1/4" = 1'-0"

CEILING NOTES

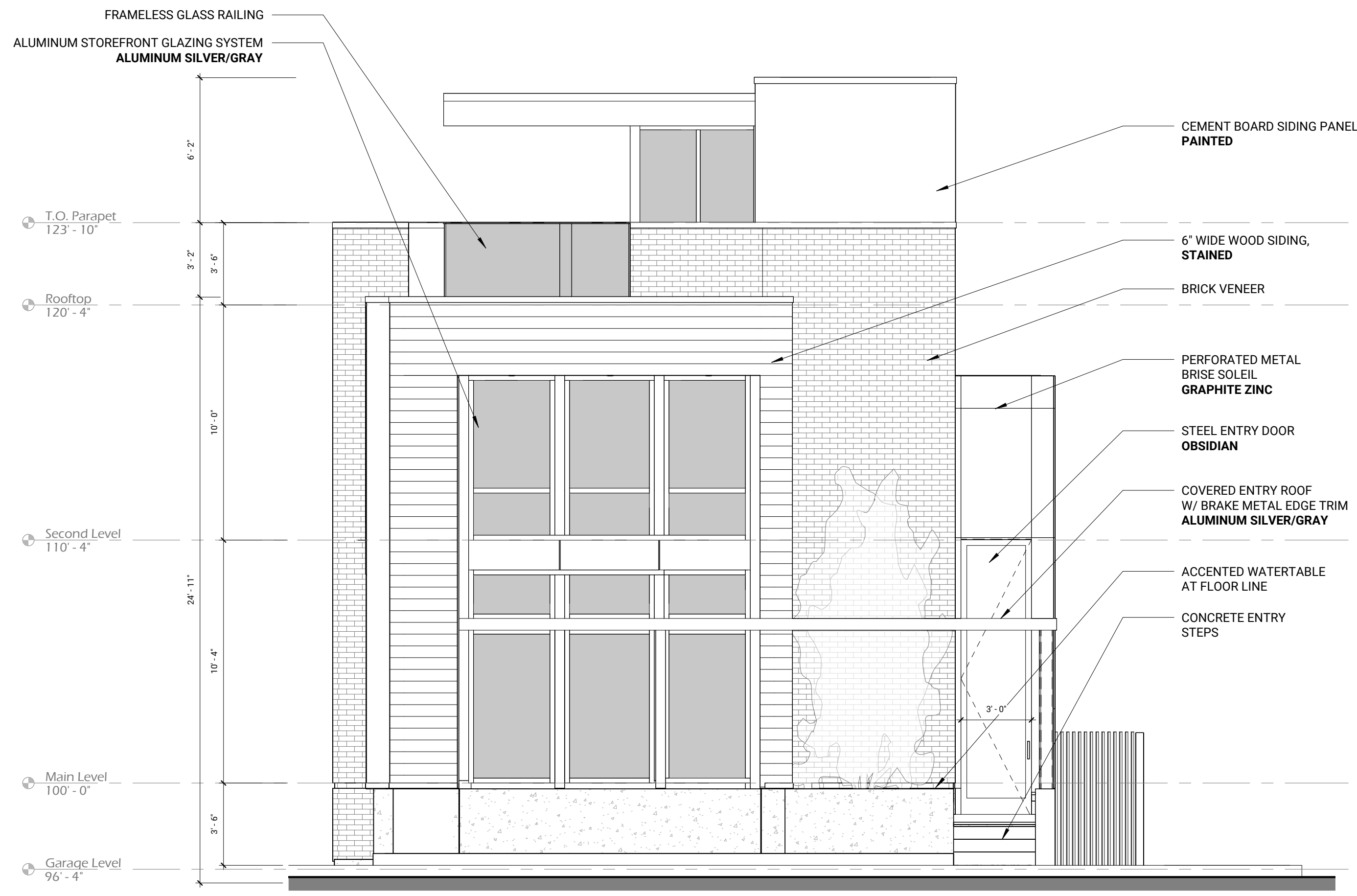
- BULKHEAD, REF. ELEVATION NOTE ON PLAN.
- OUTDOOR OVERHEAD EXHAUST FAN W/ REMOVABLE METAL CEILING PANEL. FINISH TO MATCH ADJACENT SOFFIT PANEL DRYWALL CONTROL JOINTS, AS REQ'D.
- OPEN TO ABOVE
- LINEAR DIFFUSER FOR SHOWER VENT, W/ CONDENSATION SENSOR AND REMOTE FAN
- VENTILATION FAN W/ CONDENSATION SENSOR
- MOTORIZED DROPDOWN TV IN CEILING RECESS



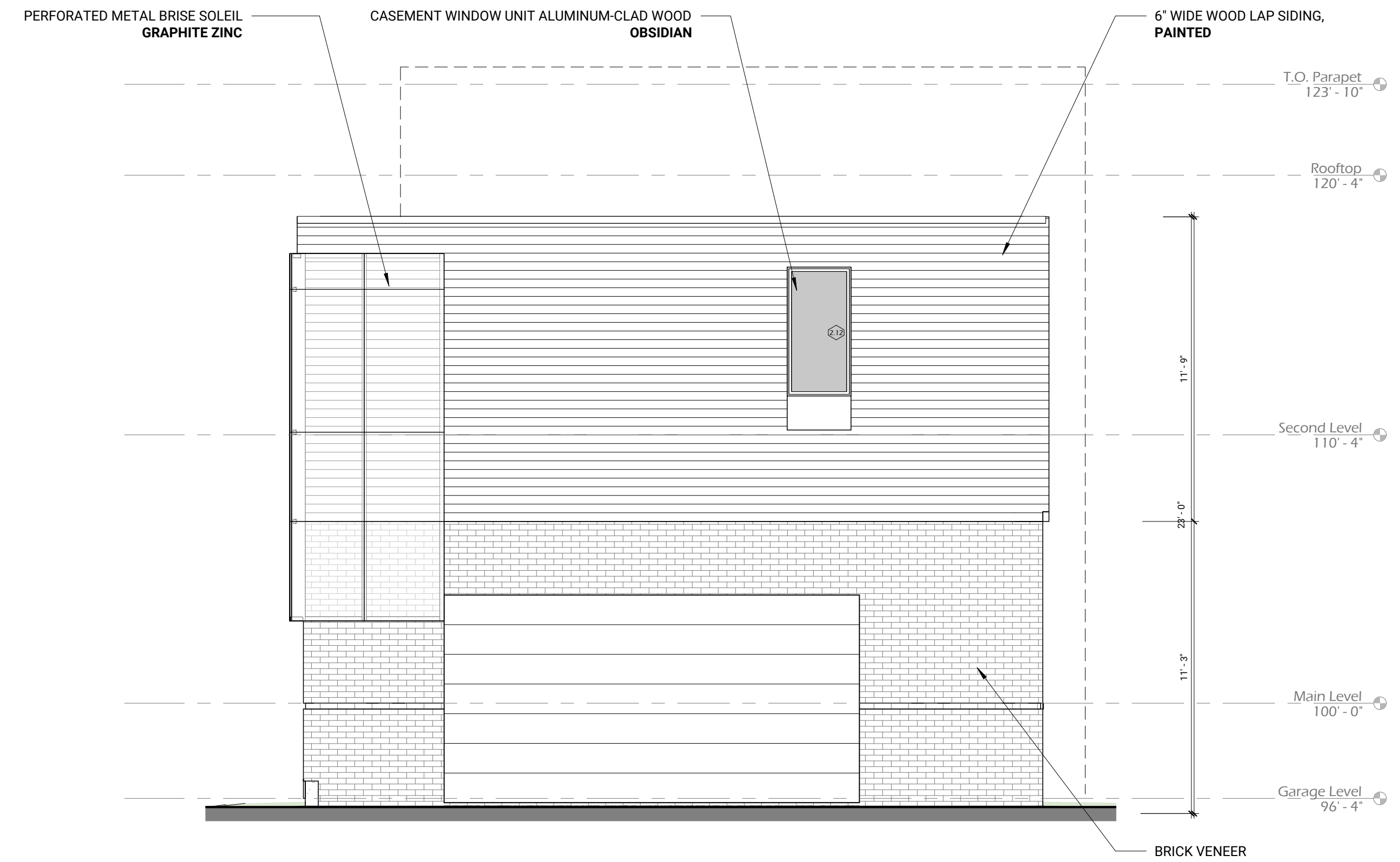
CEILING LEGEND

- A. GYPSUM BOARD, PAINTED WHITE. PROVIDE ALL ACCESS PANELS REQUIRED FOR MAINTENANCE-LOCATIONS MUST BE APPROVED BY ARCHITECT.
- B. METAL SOFFIT PANEL SYSTEM, FLAT PANEL, 12" SEAMS
- C. EXTERIOR SMOOTH PLASTER CEILING, INTEGRAL FINISH.
- UNDERCABINET STRIP LED W/ LENSE
- RECESSED CAN
- ⊗ RECESSED CAN/WALL WASH
- ◇ SURFACE MOUNT, CEILING
- SURFACE MOUNTED LED STRIP
- ⊕ WALL MOUNT
- ⊙ PENDANT LIGHT FIXTURE
- ⊖ EXHAUST FAN/ LIGHT
- Ⓢ COMBINATION SMOKE ALARM/CARBON MONOXIDE ALARM

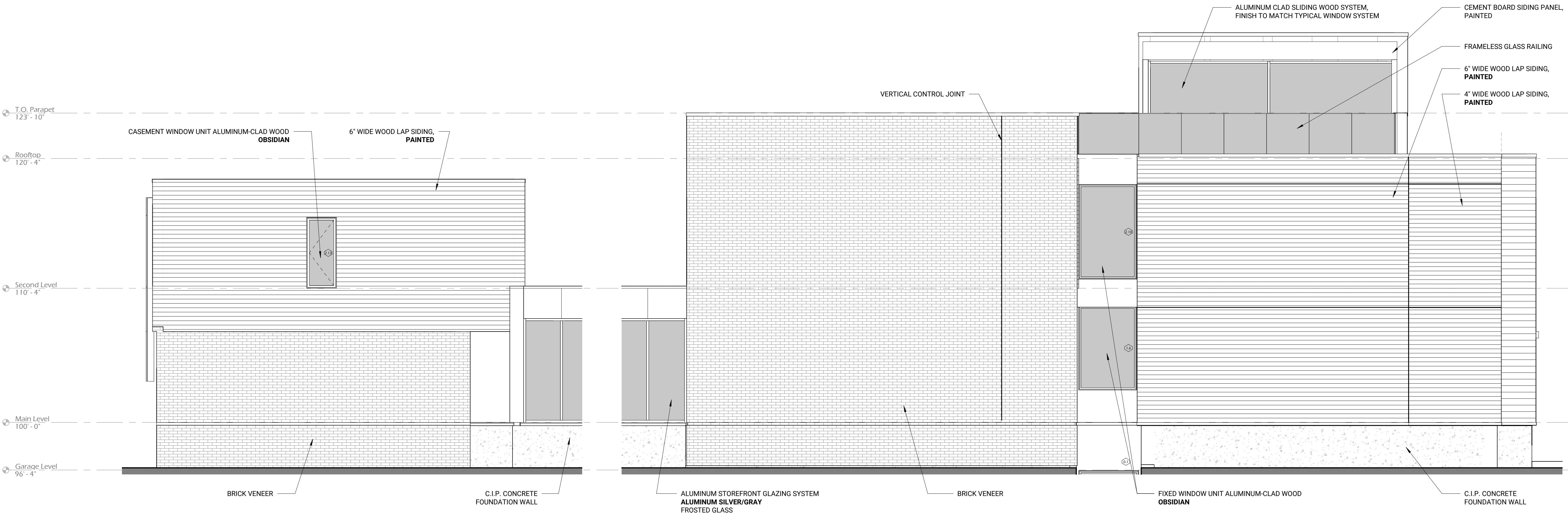
LIGHTING FIXTURE SCHEDULE									
MARK	MANUFACTURER	MODEL	SIZE	SHAPE	TYPE	LUMENS	TEMP.	DIMMING	NOTES
A1	ACUITY BRANDS LIGHTING	MD1LG2	1"	ROUND	LED	300	3000K	Yes	1" LED FIXED DOWNLIGHT, OR APPROVED EQUAL
A1A	ACUITY BRANDS LIGHTING	MG1LG2	1"	ROUND	LED	300	3000K	Yes	1" LED ADJUSTABLE DOWNLIGHT, OR APPROVED EQUAL
A3	ACUITY BRANDS LIGHTING	2LEDTRIM G2 DC	2"	ROUND	LED	1000	3000K	Yes	2" LED FIXED DOWNLIGHT, OR APPROVED EQUAL
A4	ACUITY BRANDS LIGHTING	IC1LED	4"	ROUND	LED	1400	3000K	Yes	4" LED FIXED DOWNLIGHT, OR APPROVED EQUAL
A5	ACUITY BRANDS LIGHTING	CLX	48"	LINEAR	LED	3000	3000K	Yes	48" LED LINEAR, OR APPROVED EQUAL
A6	ACUITY BRANDS LIGHTING	2LEDTRIM G2 DC	2"	ROUND	LED	1000	3000K	Yes	2" LED FIXED DOWNLIGHT, OR APPROVED EQUAL
A7	ACUITY BRANDS LIGHTING	ASPEN LED	2 1/4"	ROUND	LED	1100	3000K	Yes	DIRECTION LANDSCAPE LIGHTING, OR APPROVED EQUAL
A8	QTL	MICRO 5 SLITE	1/2"	LINEAR	LED		3000K	Yes	LINEAR MUD-IN EXTRUSION W/TRANSLUCENT LENS
A9	Designplan Lighting Inc.	Lambda	48"	LINEAR	LED		3000K	Yes	LINEAR UP/DOWN PENDANT
W1	EUREKA	3545							



1 South Elevation
1/4" = 1'-0"



2 North Elevation
1/4" = 1'-0"



3 West Elevation
1/4" = 1'-0"



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consultants:

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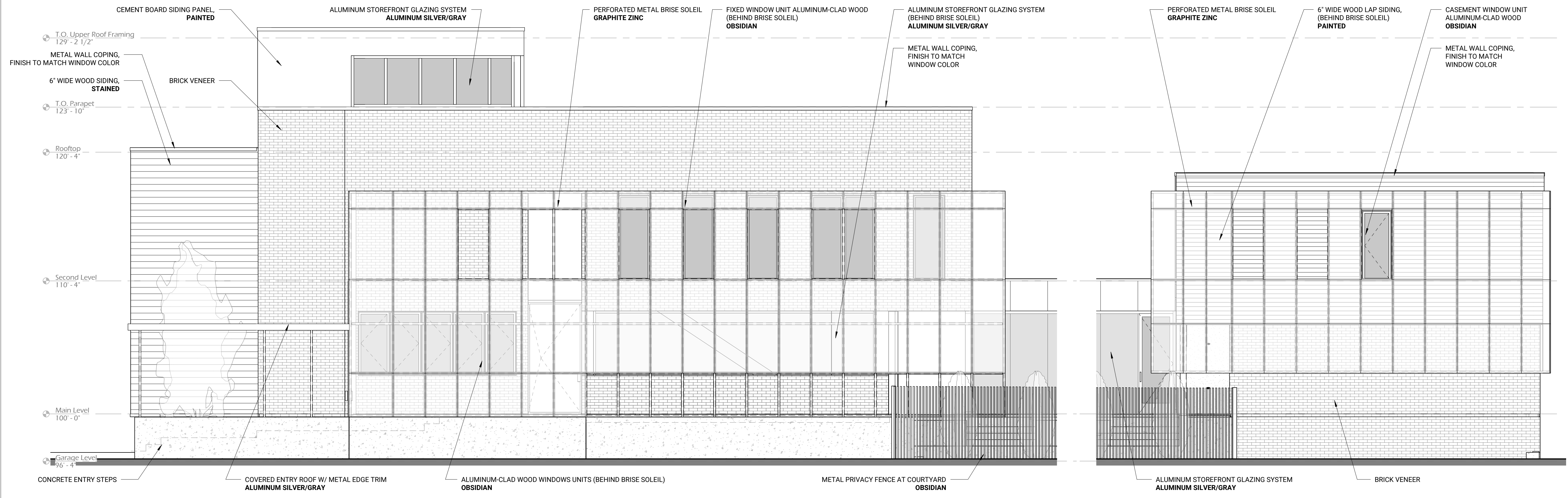
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PRESERVATION COMMISSION**

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2024.03.06	Permit Set_R1
2024.03.22	Permit Set_R2
2024.05.28	Construction Set

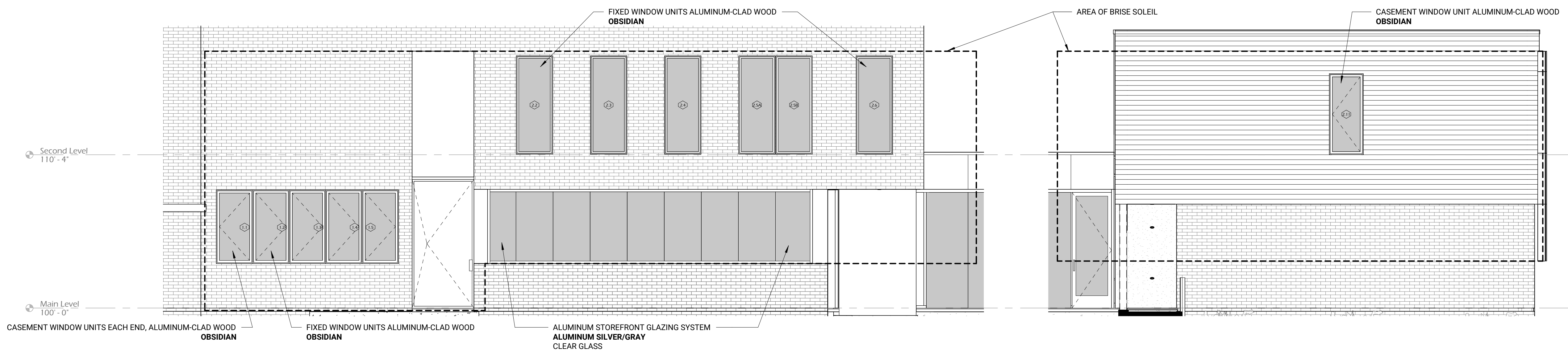
sheet title:
**Exterior
Elevations**

PERMIT SET

sheet number:
A200



1 East Elevation
1/4" = 1'-0"



2 East Elevation - Behind Brise Soleil
1/4" = 1'-0"



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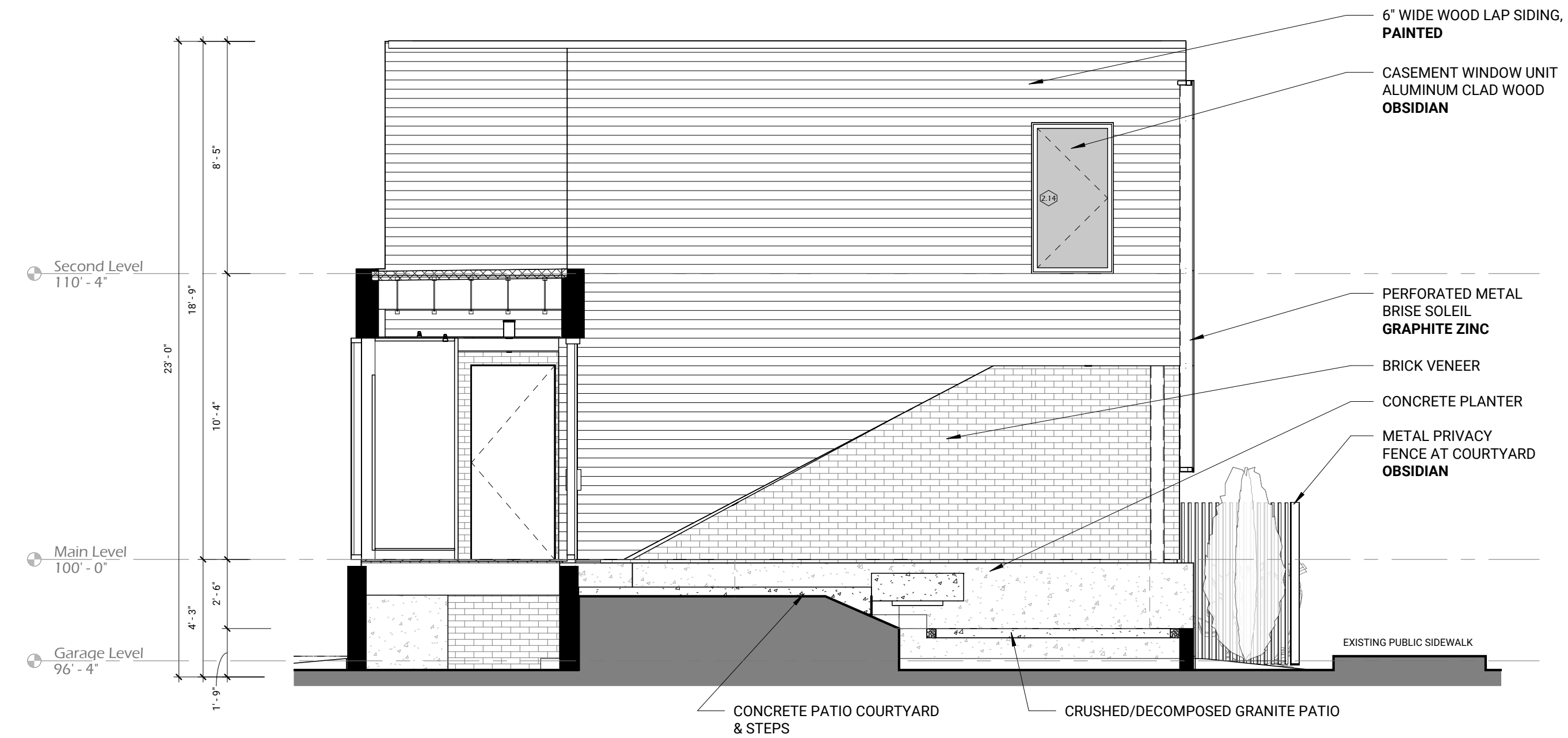
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Exterior Elevations

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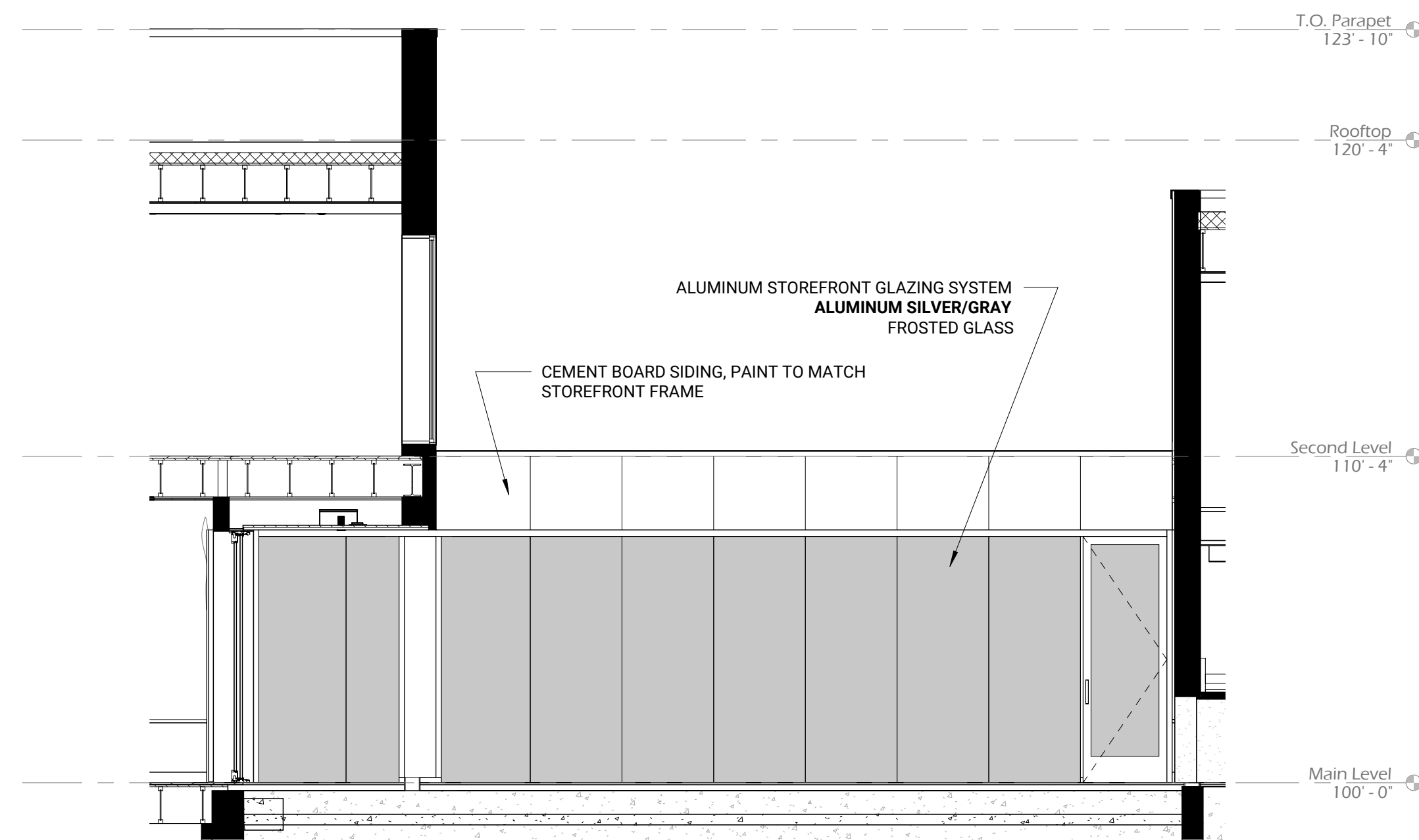
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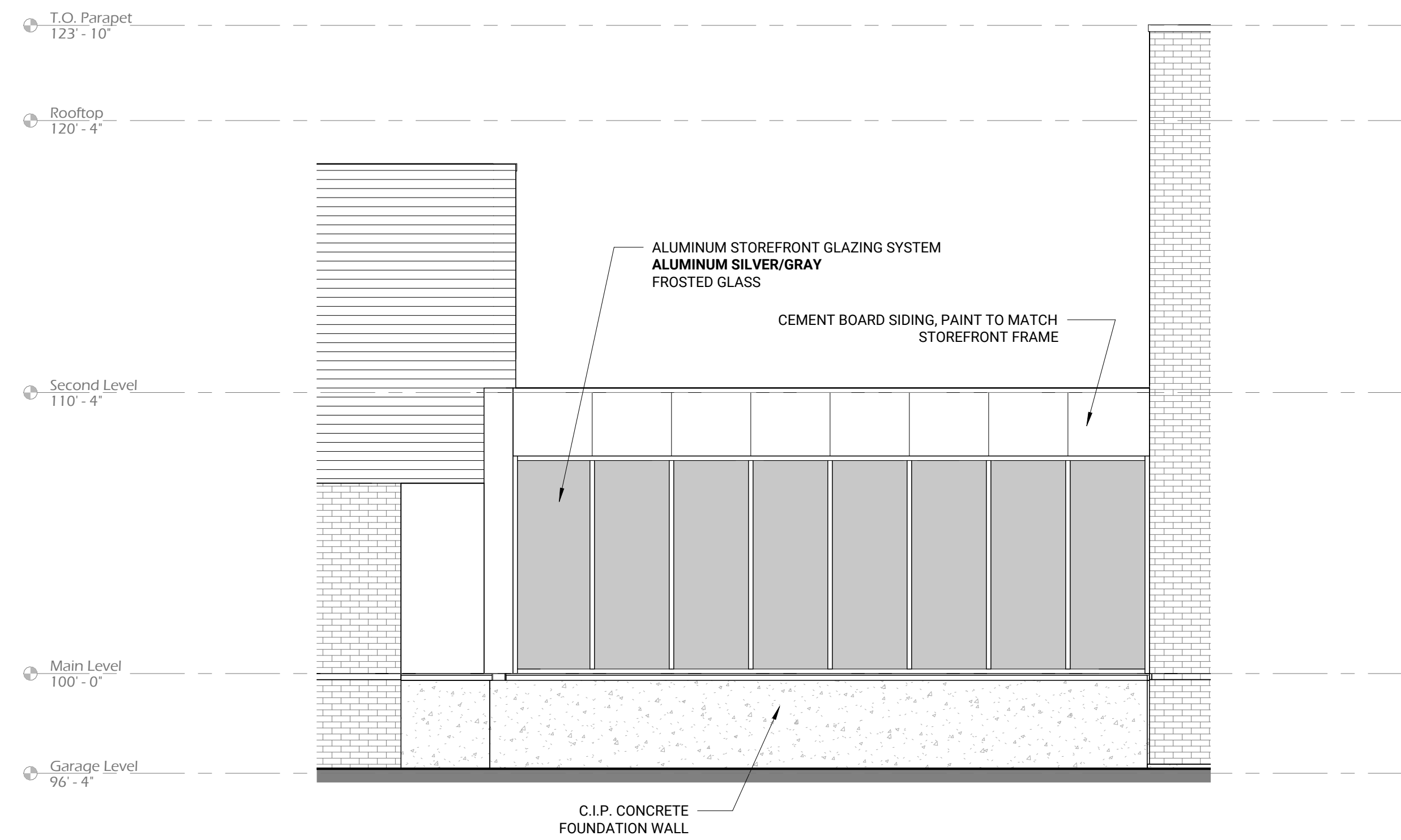
1 Courtyard South Elevation
1/4" = 1'-0"



2 Courtyard North Elevation
1/4" = 1'-0"



3 Courtyard East Glazing Elevation
1/4" = 1'-0"



4 West Glazing Elevation
1/4" = 1'-0"



certification:
consultants:

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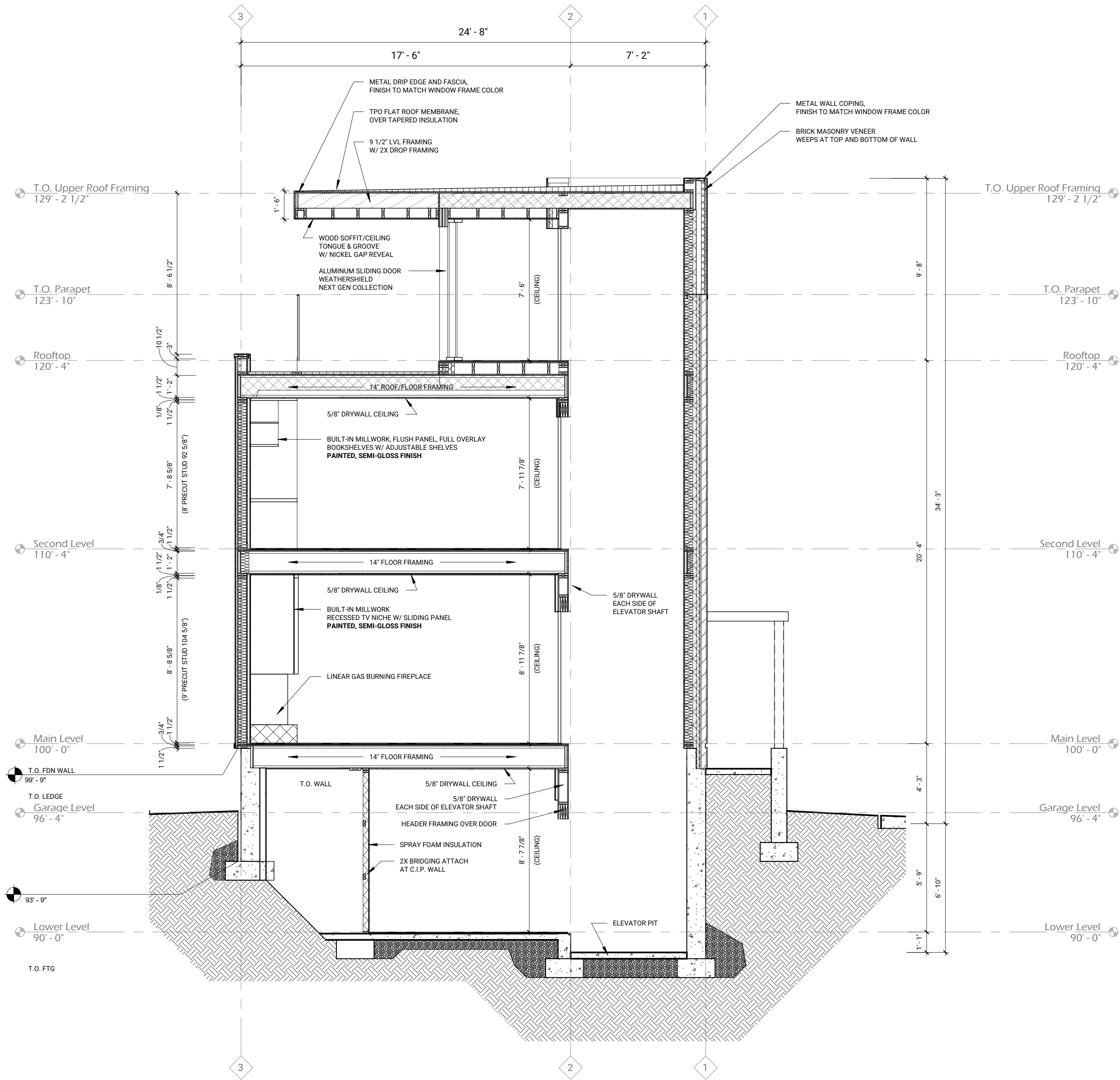
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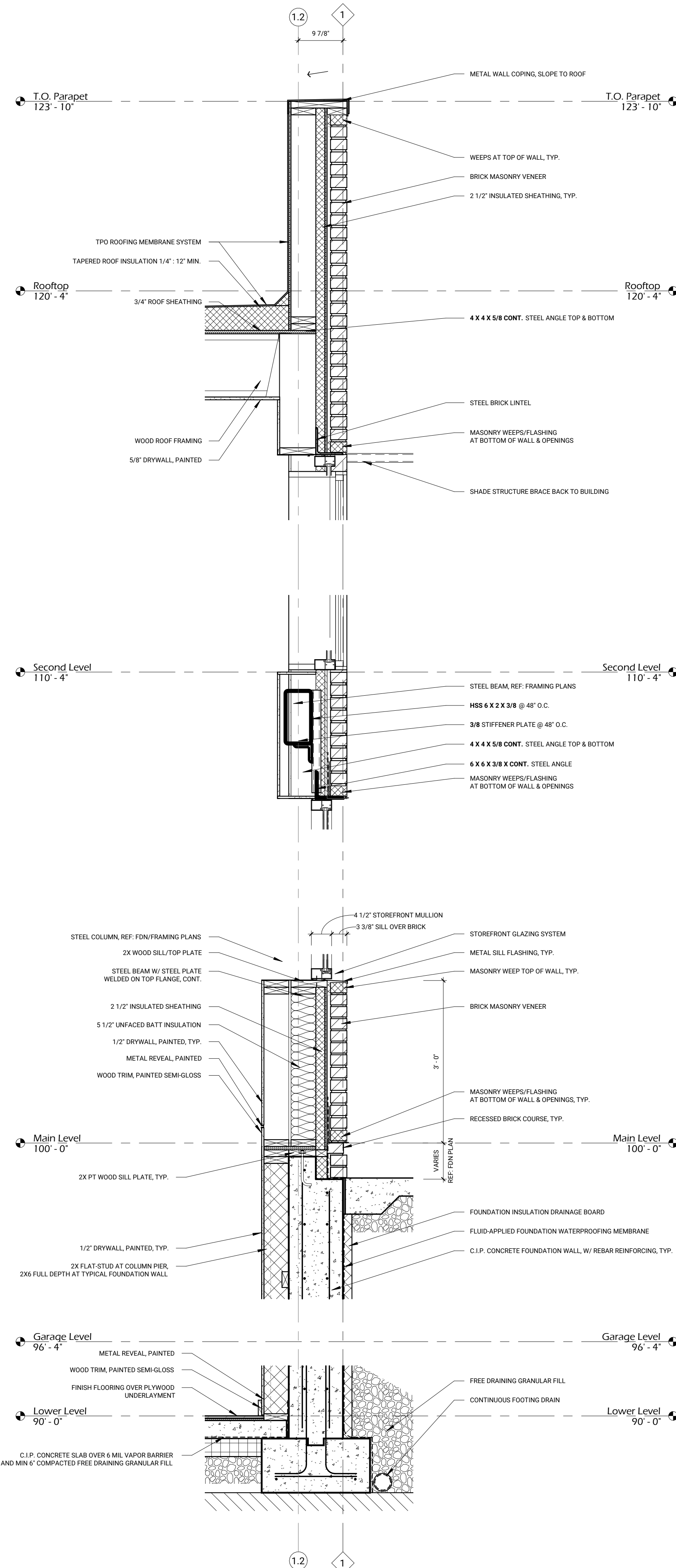
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Elevations**

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A202

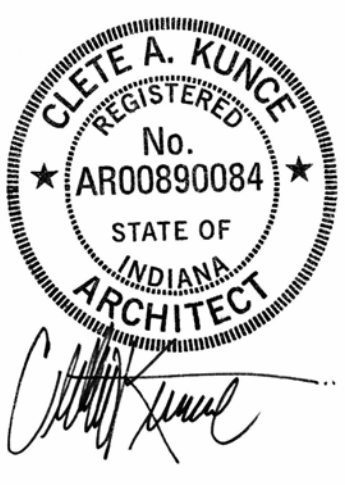


1 Building Section A1
1/4" = 1'-0"



2 Curtain Wall Section Detail
3/4" = 1'-0"

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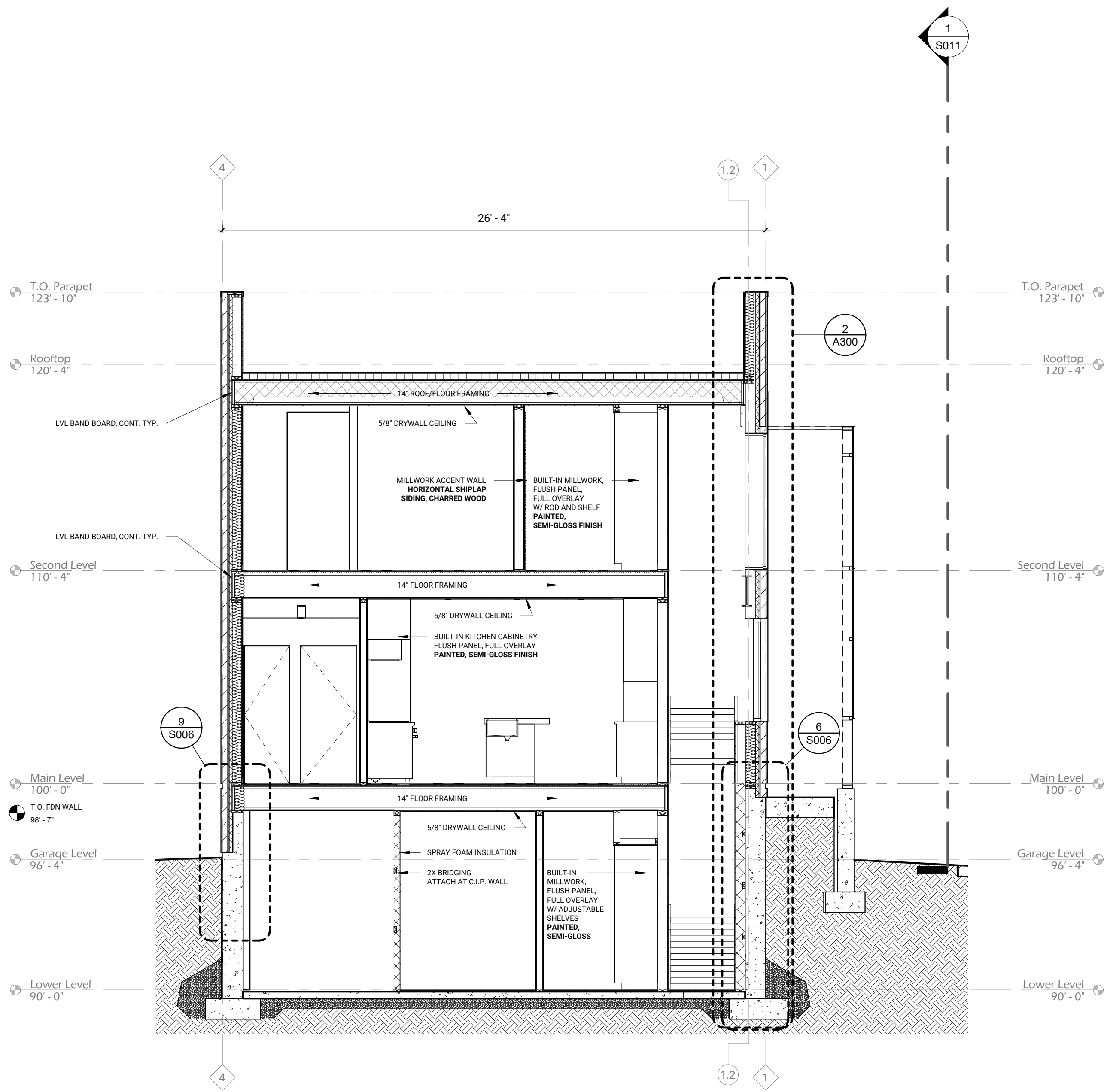
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PRESERVATION COMMISSION**

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2024.03.22	Permit Set_R2
2024.05.28	Construction Set

sheet title:
**Building
Sections**

PERMIT SET

sheet number:
A300



1 Building Section A2
1/4" = 1'-0"



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checked: CAK

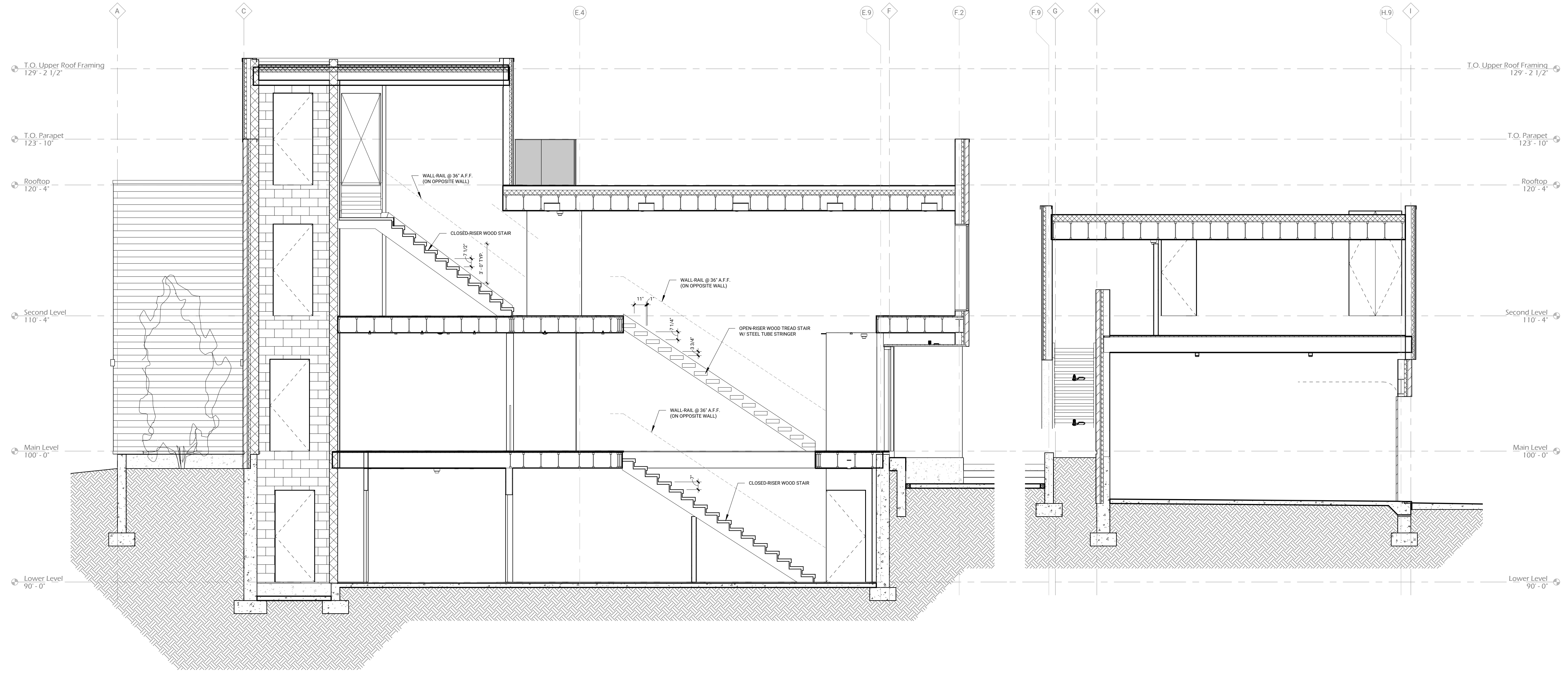
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2024.05.28	Construction Set

sheet title:
**Building
Sections**

PERMIT SET

sheet number:

A301



1 Building Section B1
1/4" = 1'-0"



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consultants:

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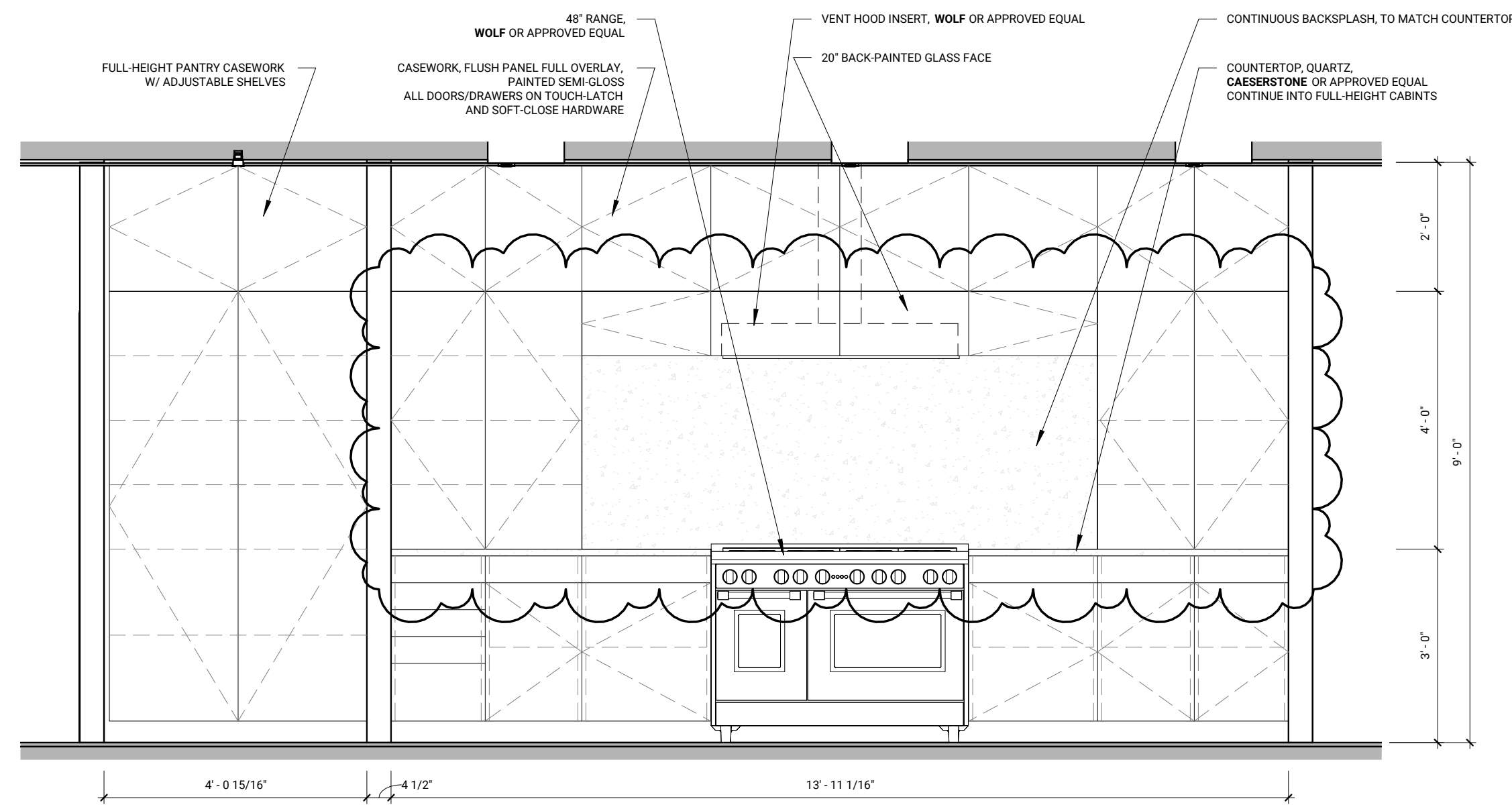
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Building Sections

PERMIT SET

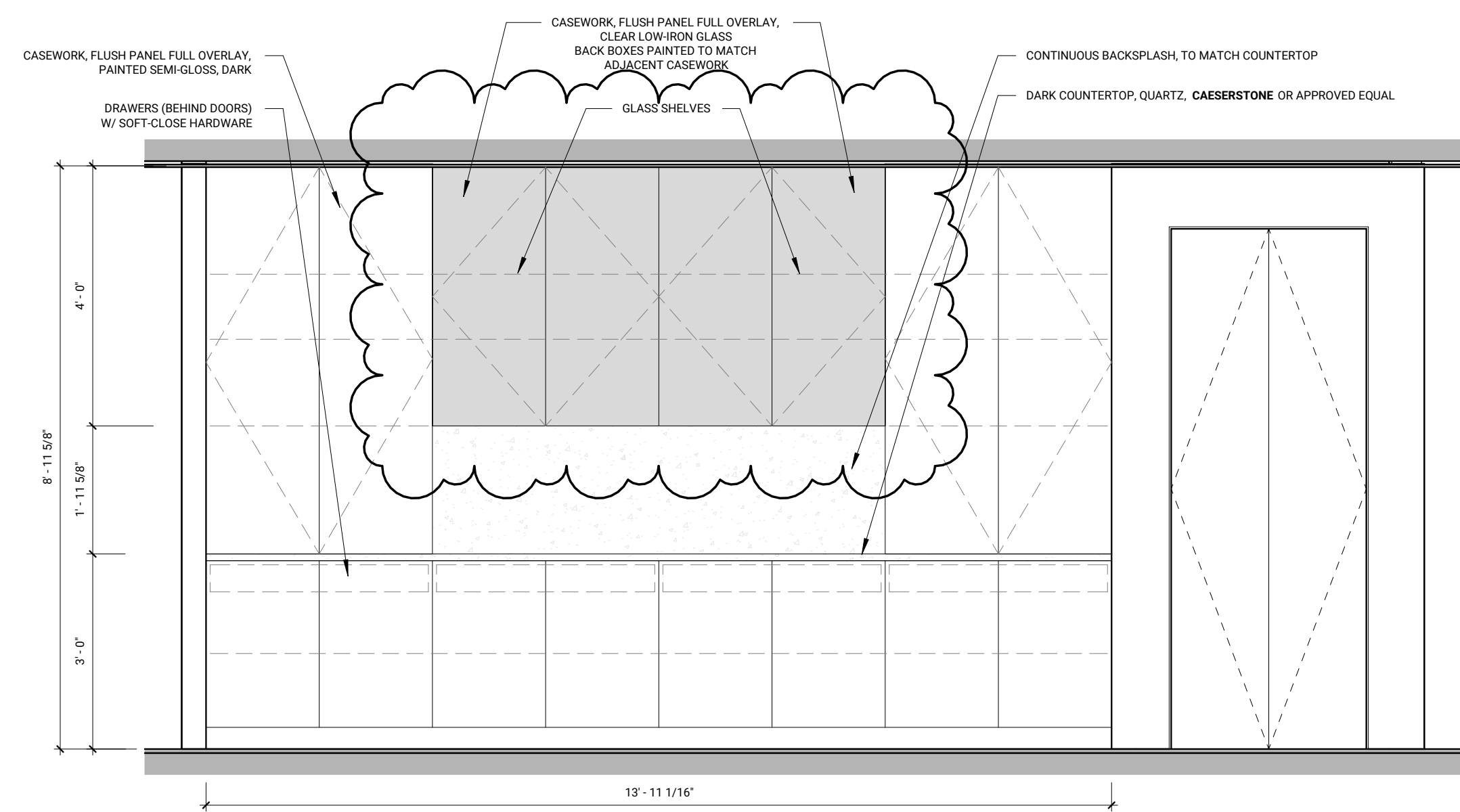
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1 Kitchen Elevation A

1/2" = 1'-0"

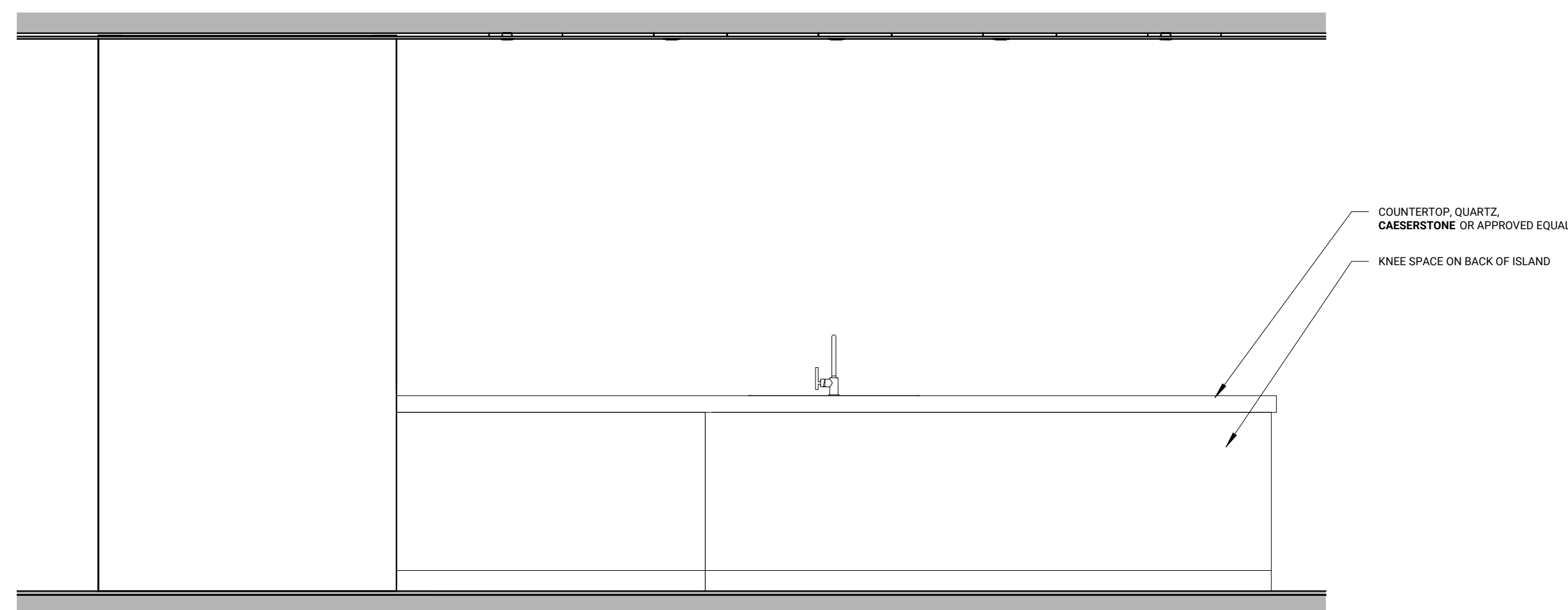
BASE BID: FINISH LEVEL 1 PAINTED



2 Kitchen Elevation B

1/2" = 1'-0"

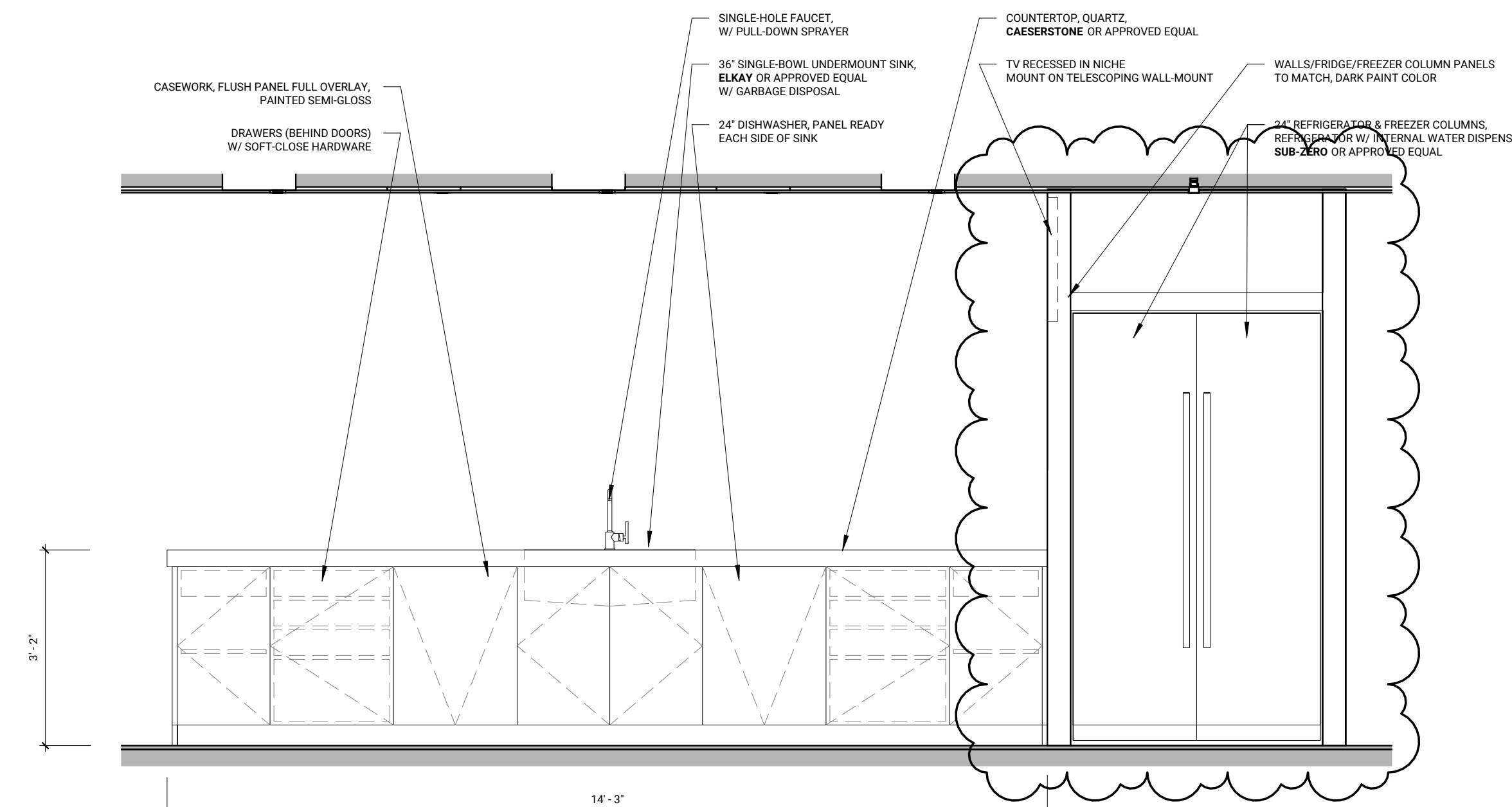
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3 Kitchen Island Elevation - East

1/2" = 1'-0"

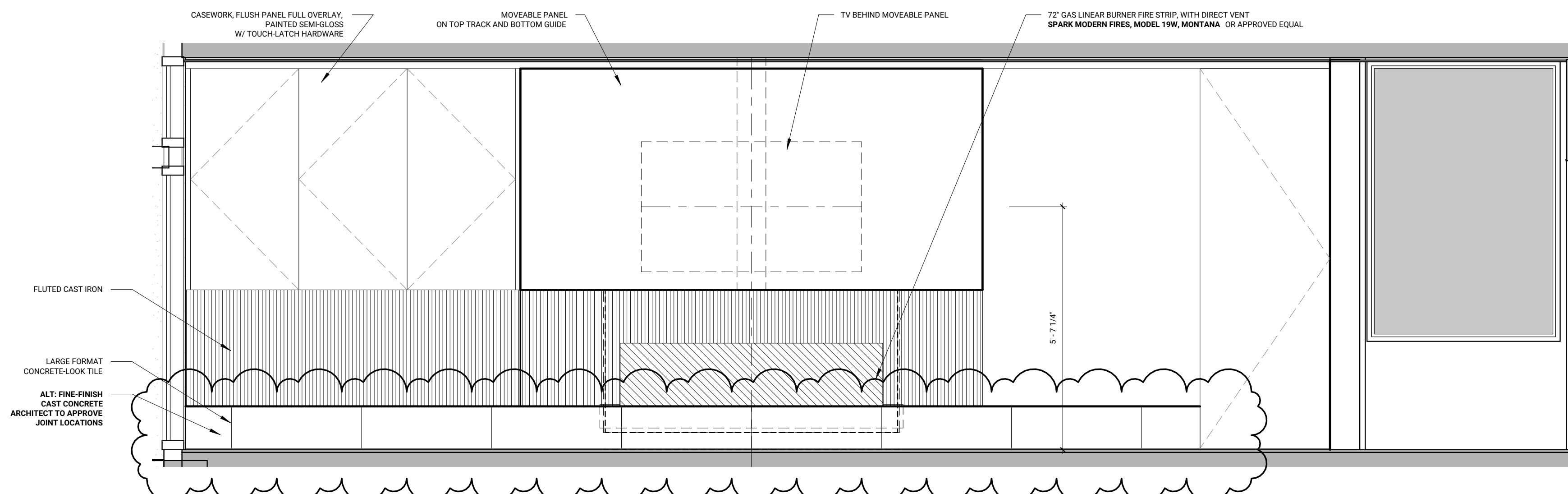
BASE BID: FINISH LEVEL 1 PAINTED



4 Kitchen Island Elevation - West

1/2" = 1'-0"

BASE BID: FINISH LEVEL 1 PAINTED



5 Living Room Interior Elevation - West

1/2" = 1'-0"

BASE BID: FINISH LEVEL 1 PAINTED



certification:
consultants:

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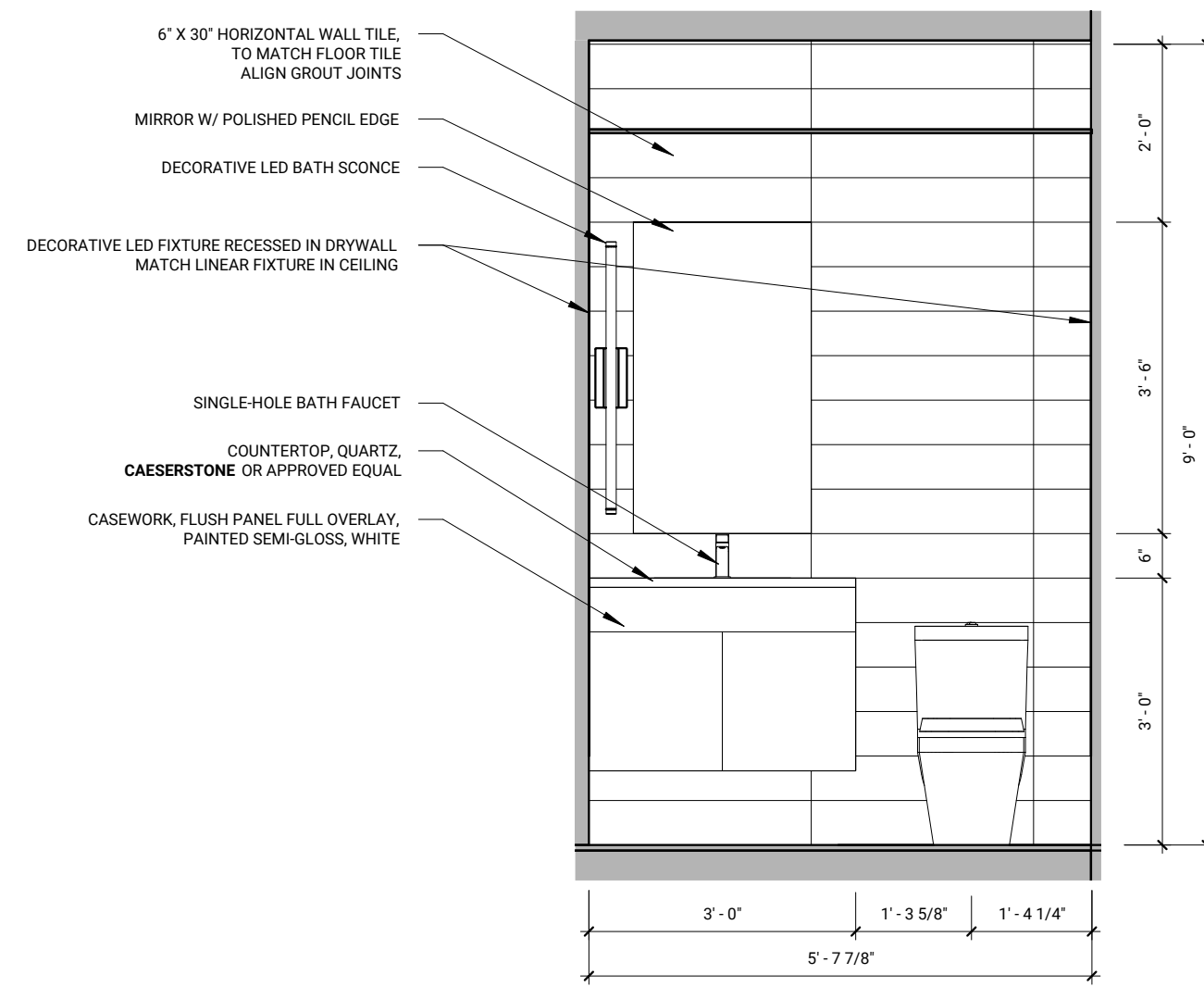
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2024.03.22	Permit Set_R2
2024.05.28	Construction Set

sheet title:
Interior Elevations

PERMIT SET

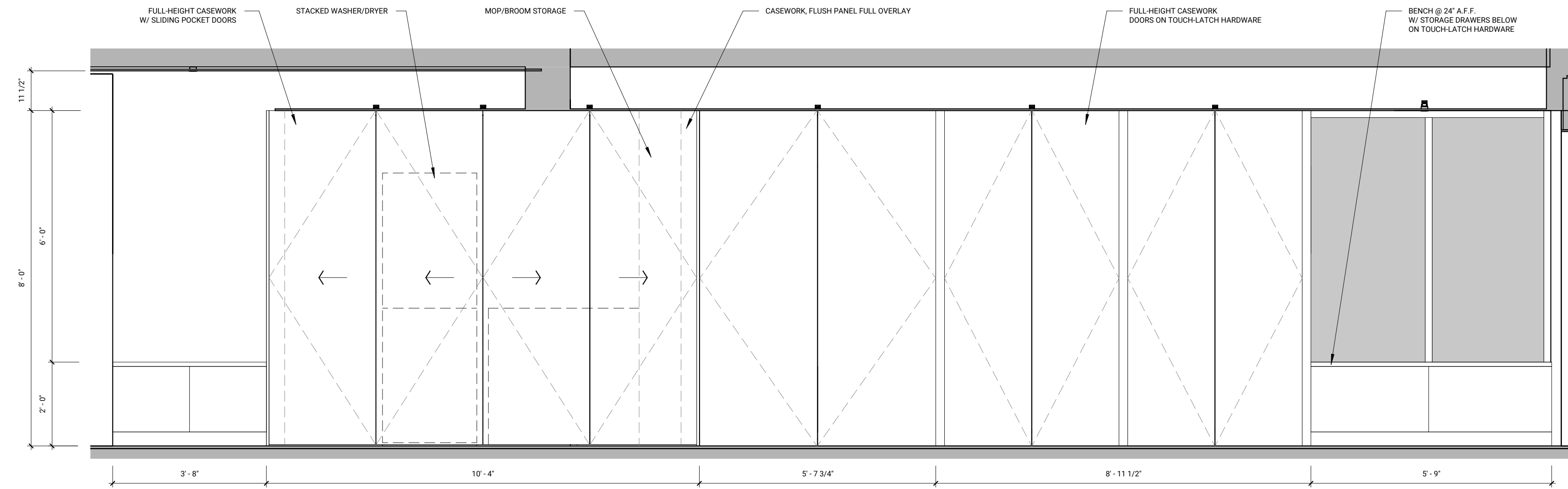
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A400



1 Powder Bathroom Interior Elevation

1/2" = 1'-0"

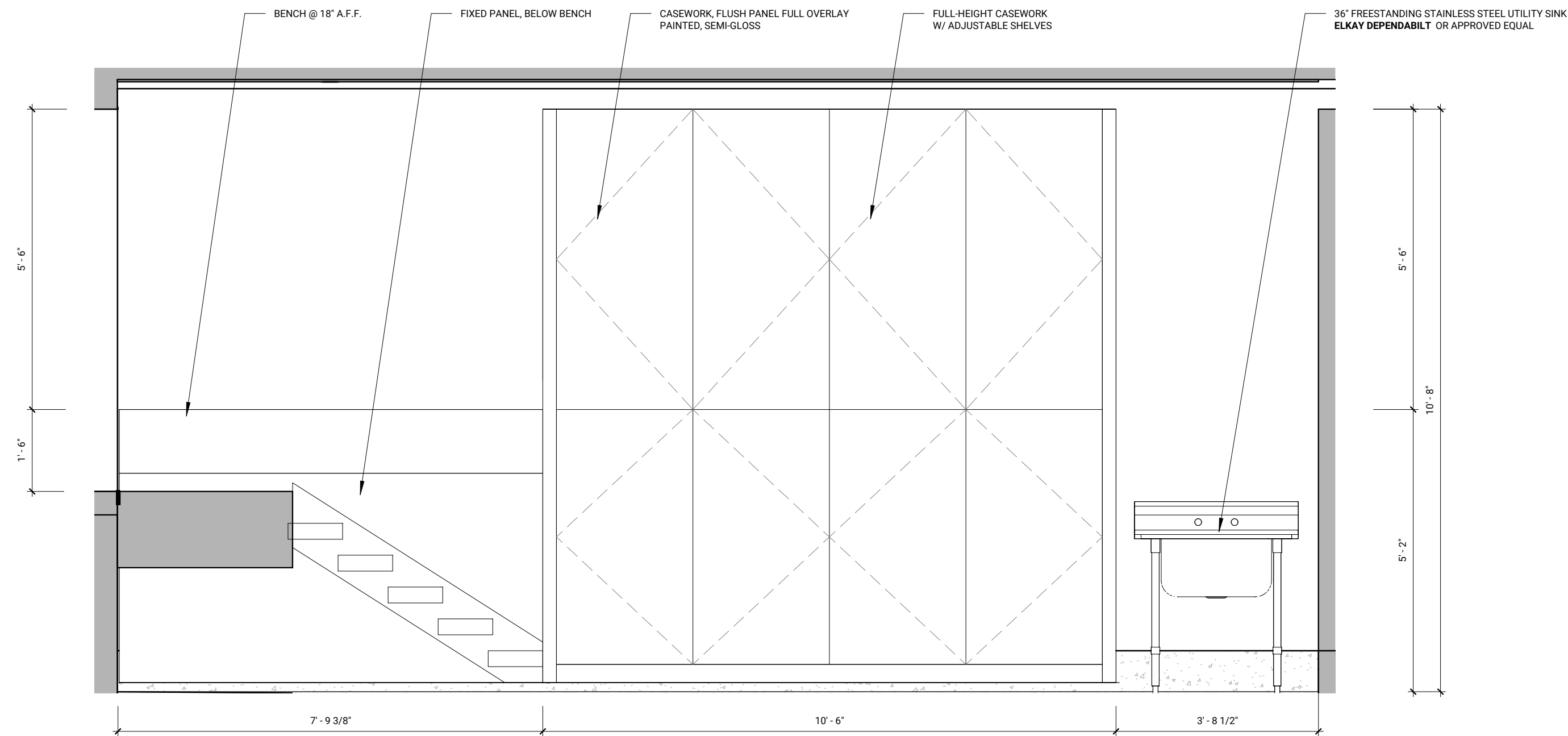
BASE BID: FINISH LEVEL 1 PAINTED



2 Mudroom Passage Interior Elevation

1/2" = 1'-0"

BASE BID: FINISH LEVEL 1 STAINED



3 Garage Millwork Elevation

1/2" = 1'-0"

BASE BID: FINISH LEVEL 2 PAINTED



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consultants:

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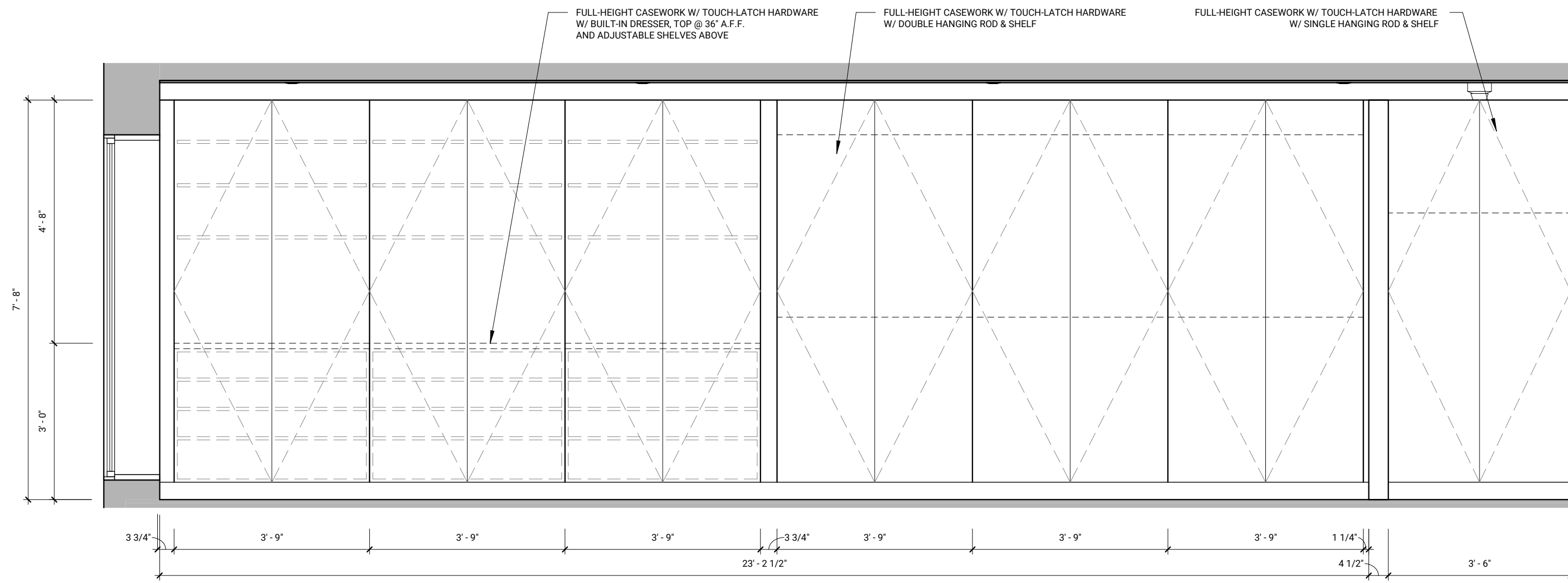
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2024.05.28	Construction Set

sheet title:
Interior Elevations

PERMIT SET

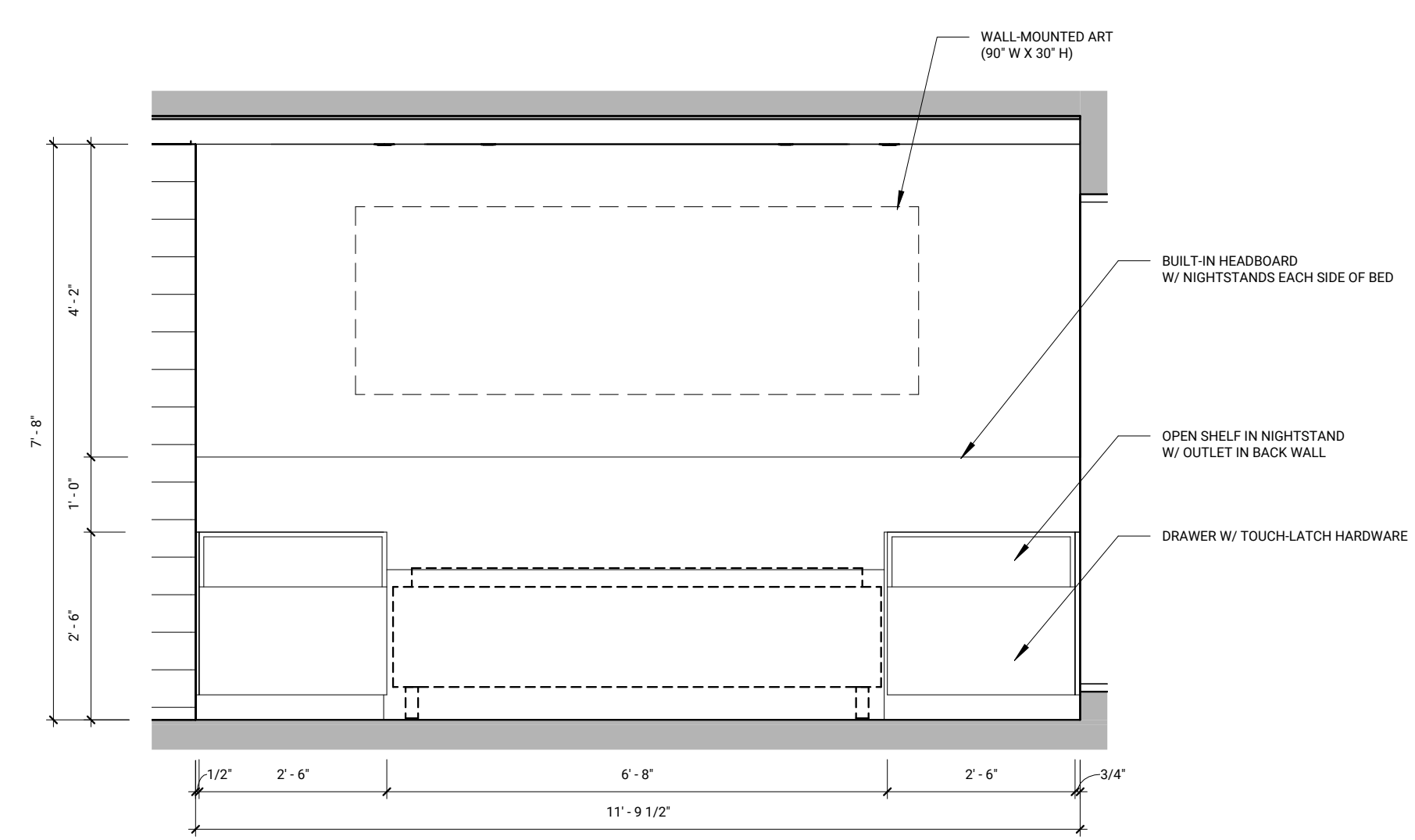
sheet number:
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1 Primary Bedroom Millwork Elevation - East

1/2" = 1'-0"

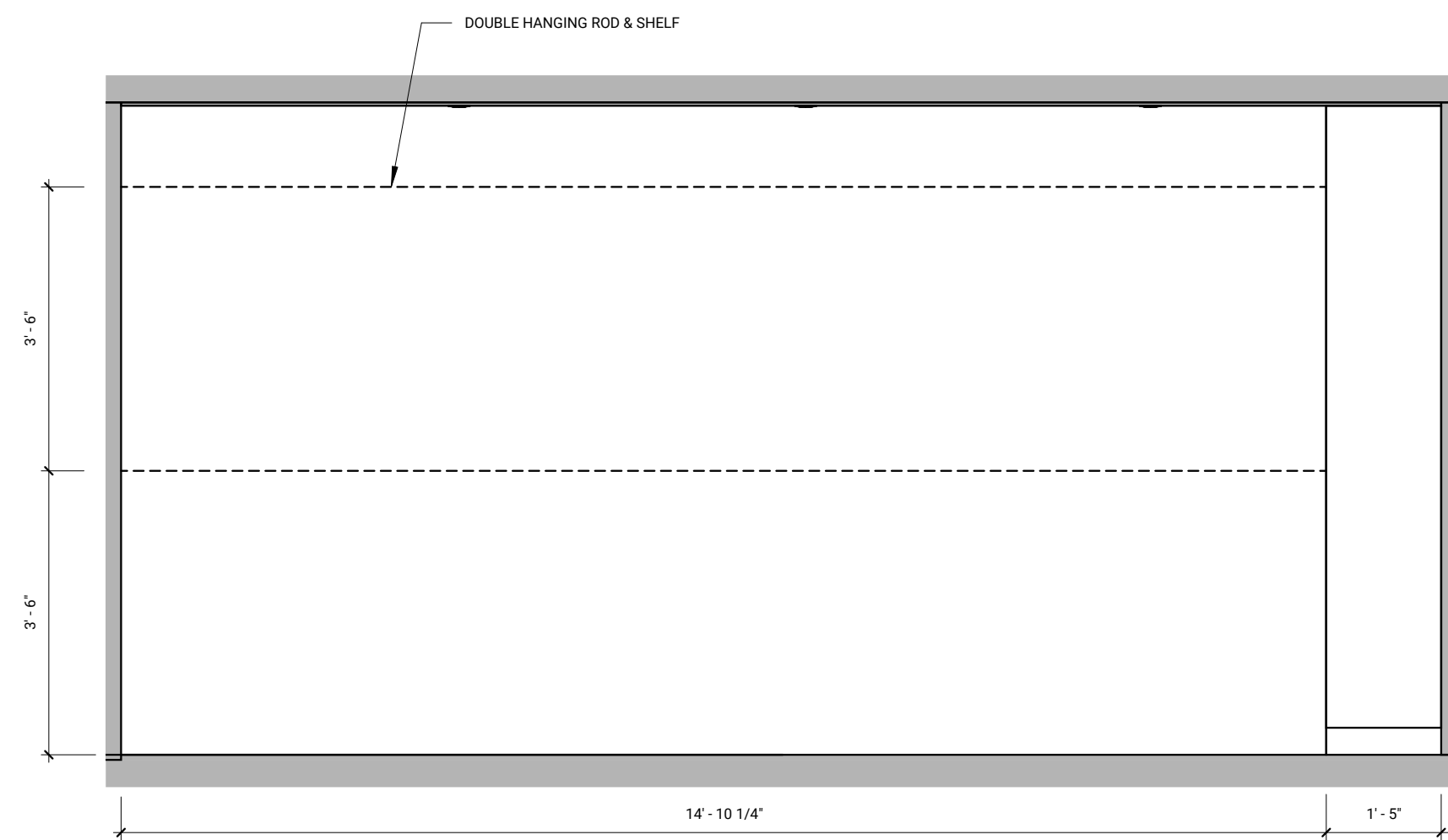
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2 Primary Bedroom Millwork Elevation - West

1/2" = 1'-0"

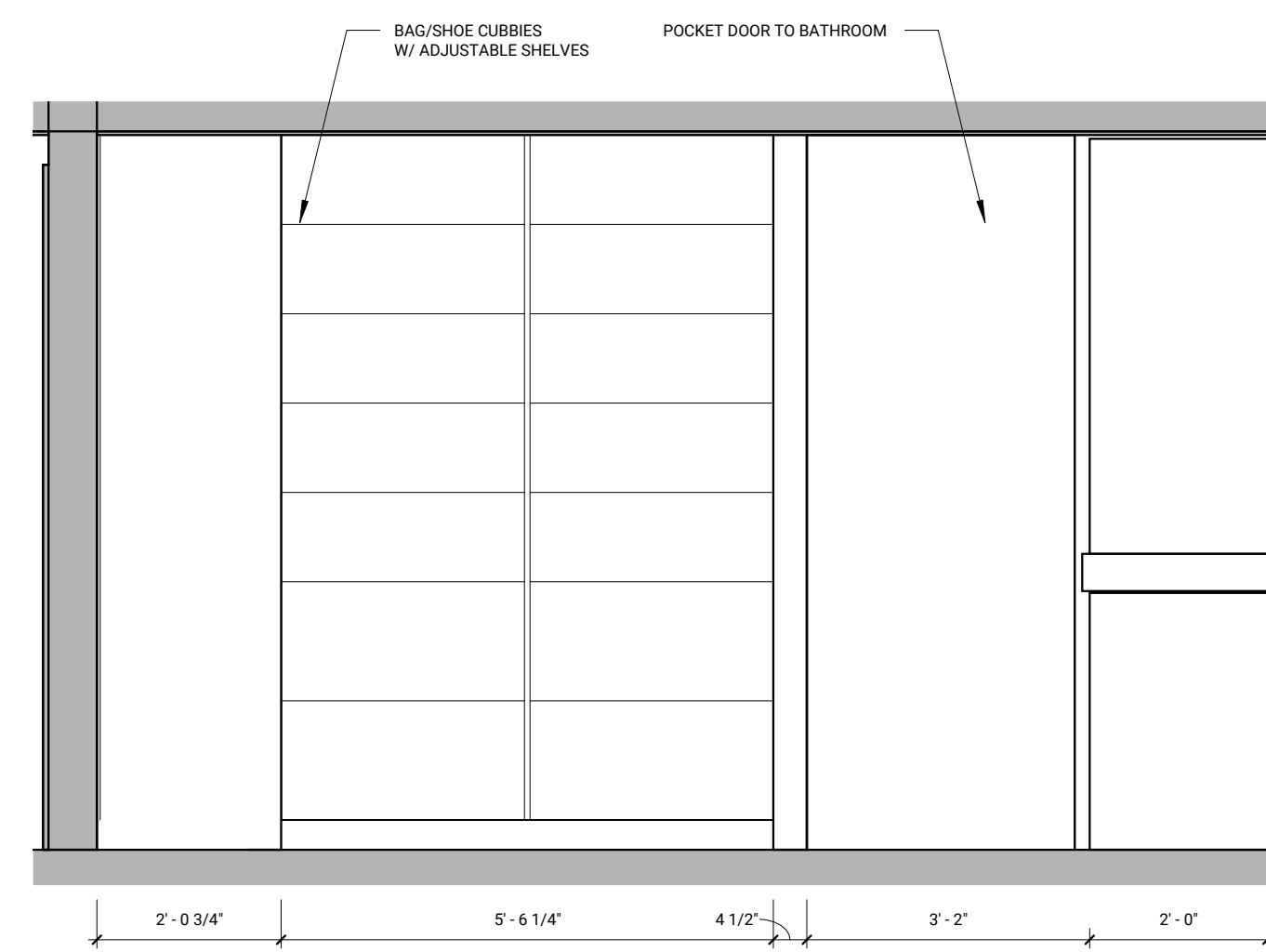
BASE BID: FINISH LEVEL 1 STAINED - WALNUT



3 Primary Closet Elevation - East

1/2" = 1'-0"

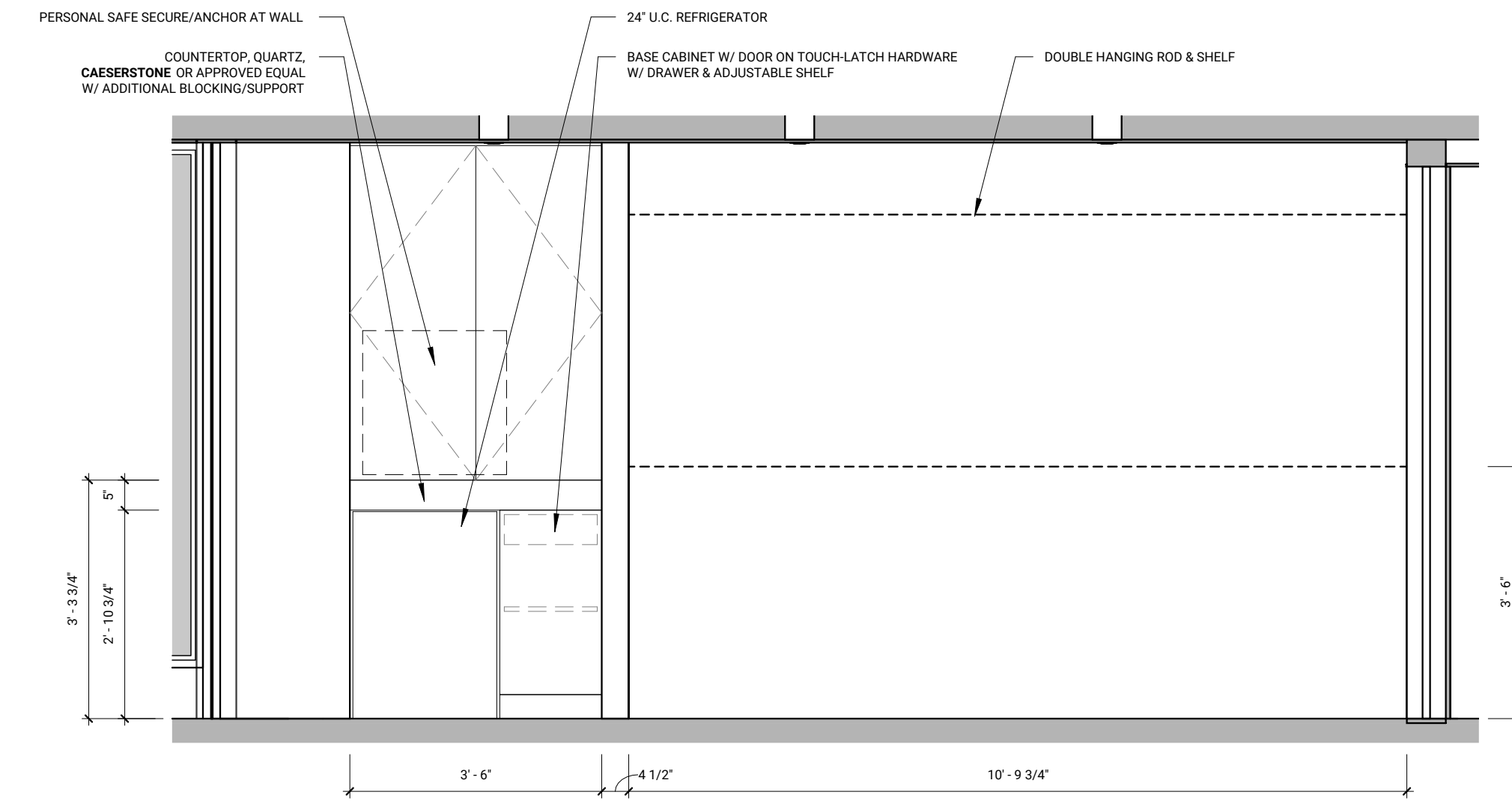
BASE BID: CALIFORNIA CLOSET CC SPECIALTY FINISH



4 Primary Closet Elevation - South

1/2" = 1'-0"

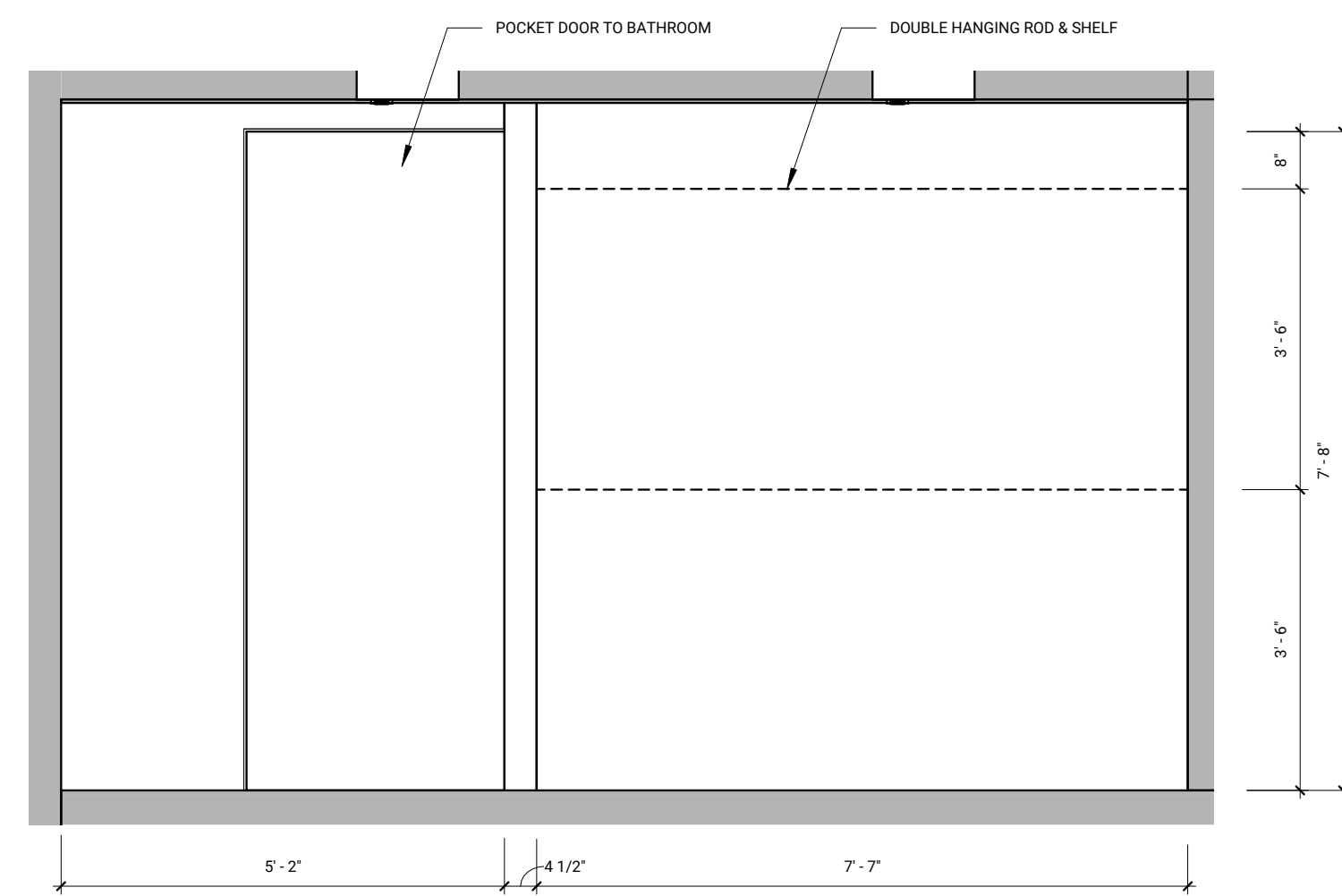
BASE BID: CALIFORNIA CLOSET CC SPECIALTY FINISH



5 Primary Closet Elevation - West

1/2" = 1'-0"

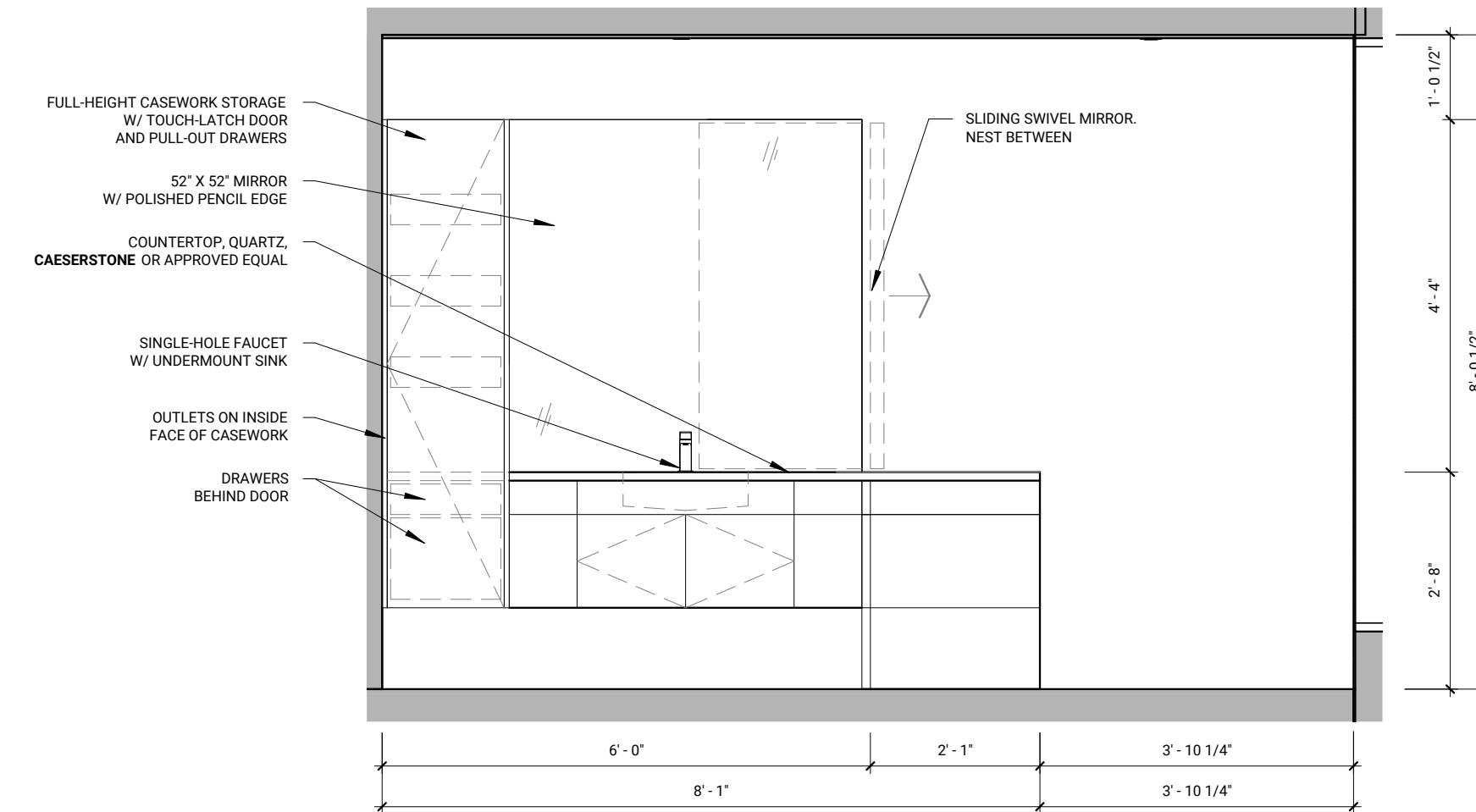
BASE BID: FINISH LEVEL 1 PAINTED & CALIFORNIA CLOSET CC SPECIALTY FINISH



6 Primary Closet Elevation - North

1/2" = 1'-0"

BASE BID: CALIFORNIA CLOSET CC SPECIALTY FINISH



7 Primary Bathroom Vanity Elevation - North

1/2" = 1'-0"

BASE BID: FINISH LEVEL 1 STAINED - WALNUT



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consultants:

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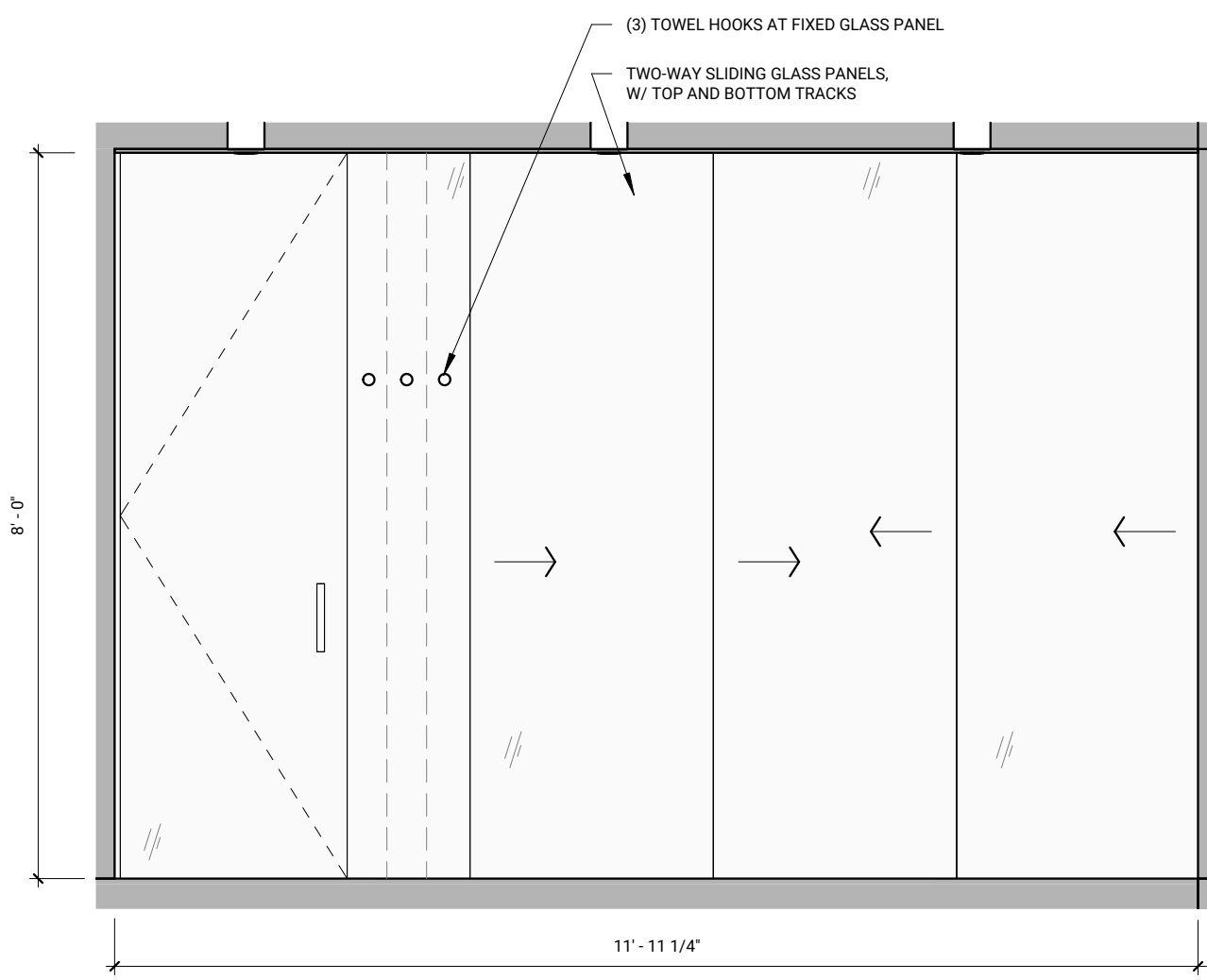
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sheet title:
Interior Elevations

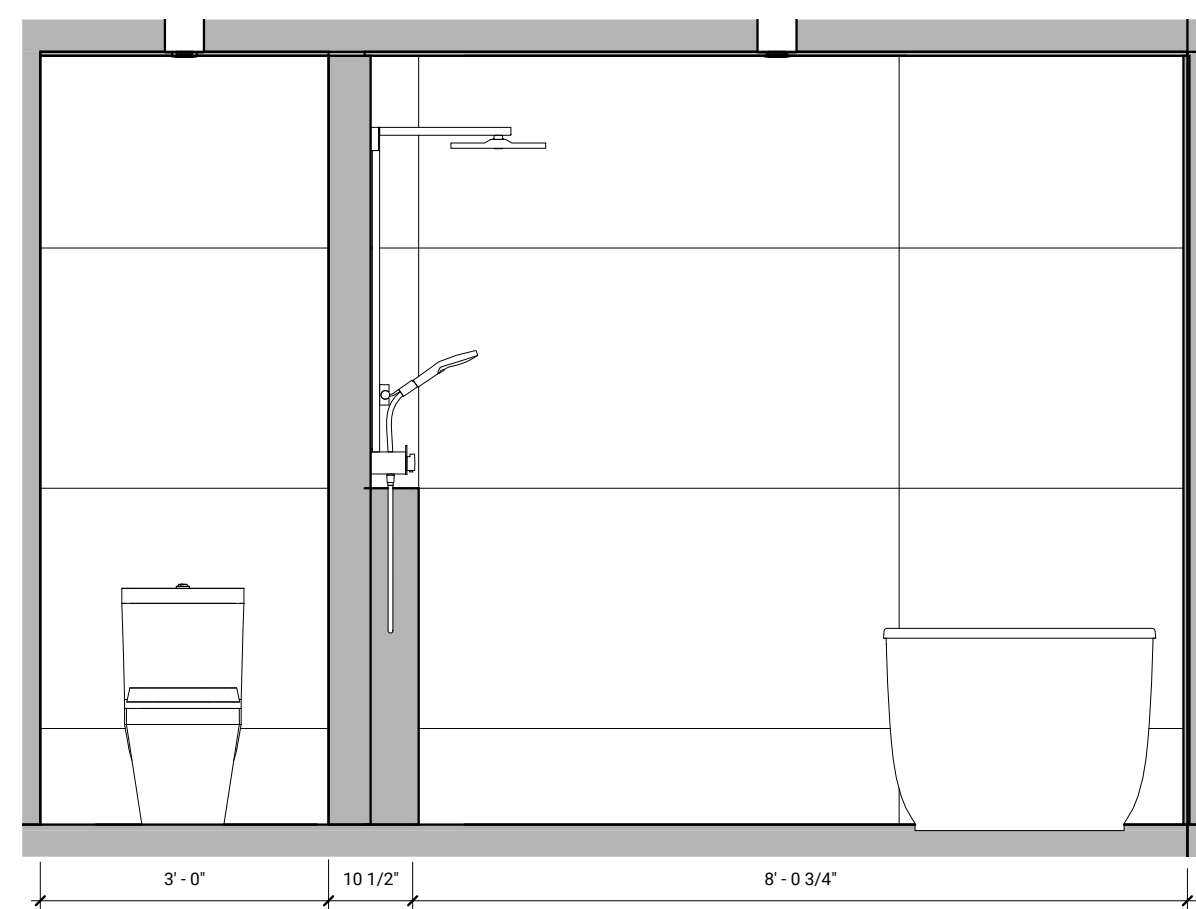
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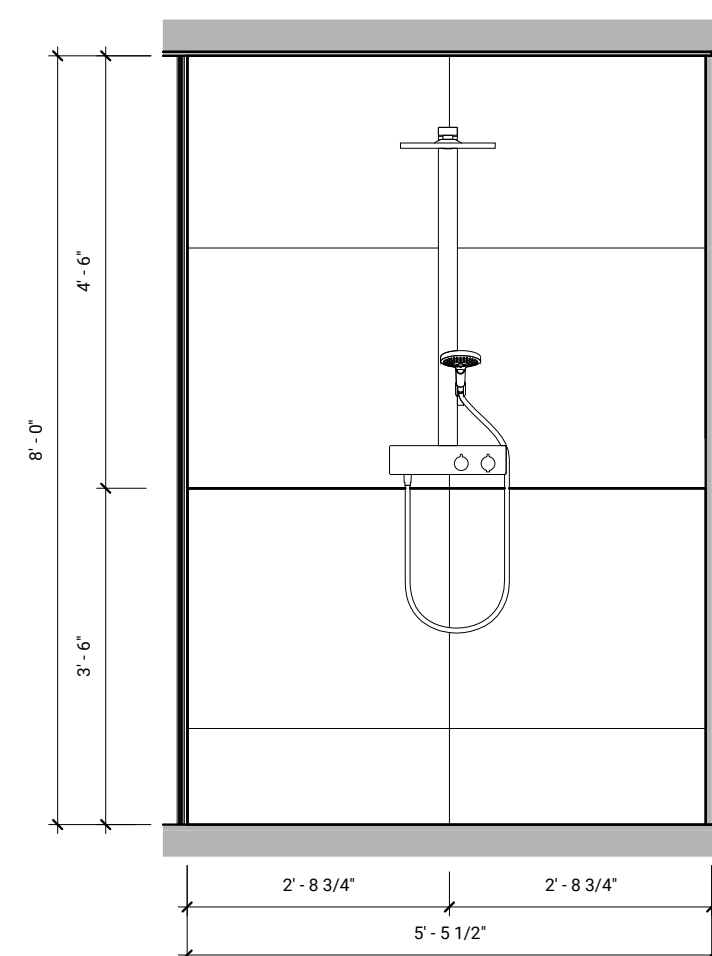
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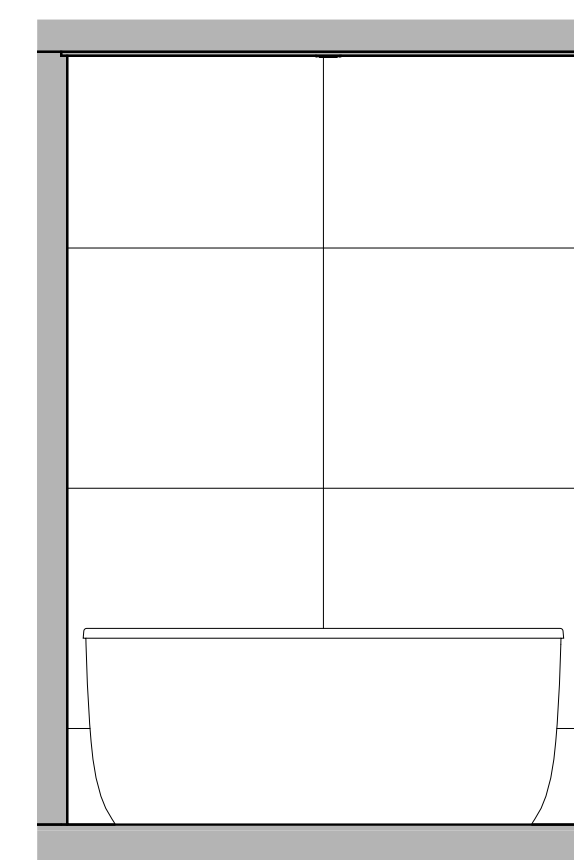
1 Primary Bathroom Shower Glazing Elevation - North
1/2" = 1'-0"



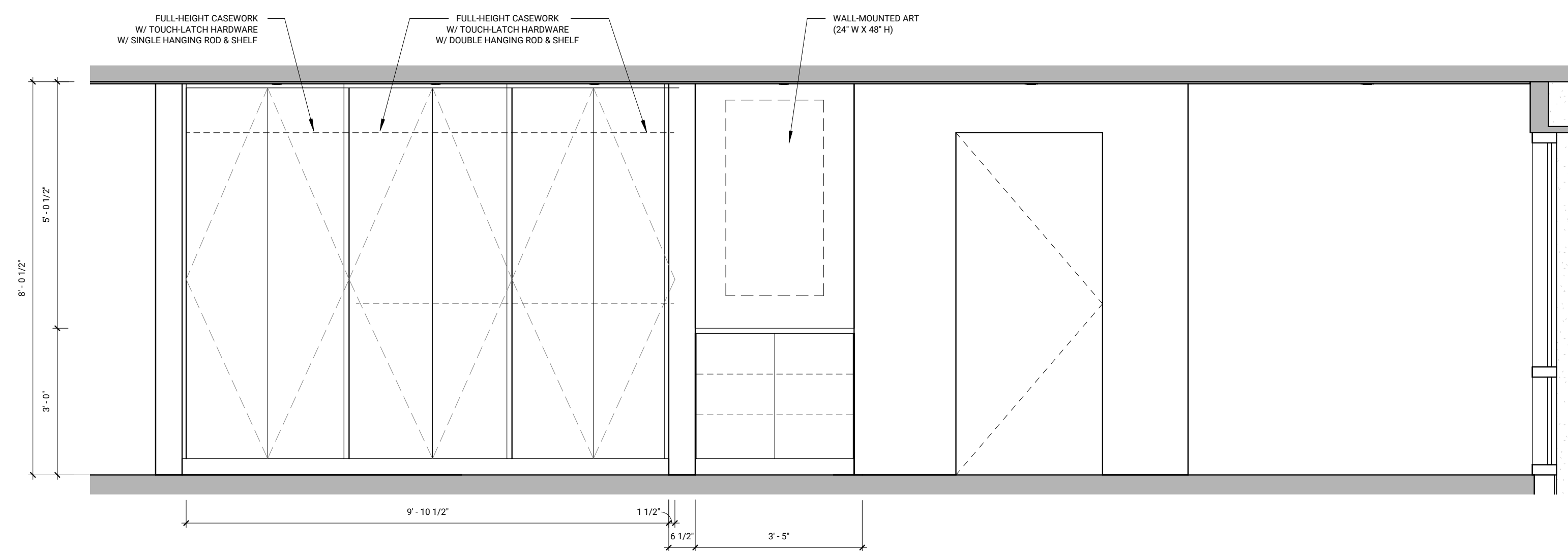
2 Primary Bathroom Shower Wall Elevation - South
1/2" = 1'-0"



3 Primary Bathroom Shower Wall Elevation - East
1/2" = 1'-0"

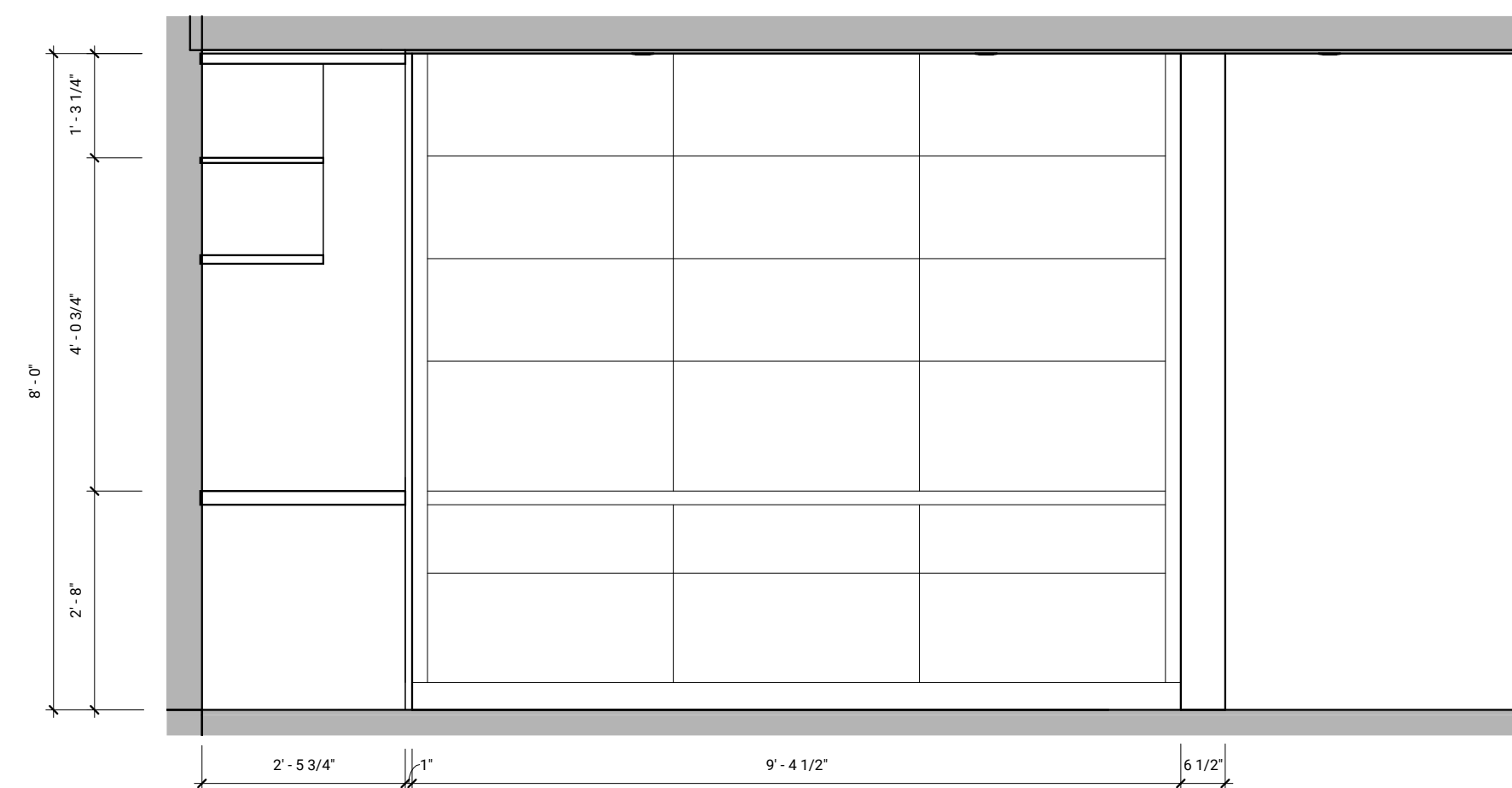


4 Primary Bathroom Shower Wall Elevation - West
1/2" = 1'-0"



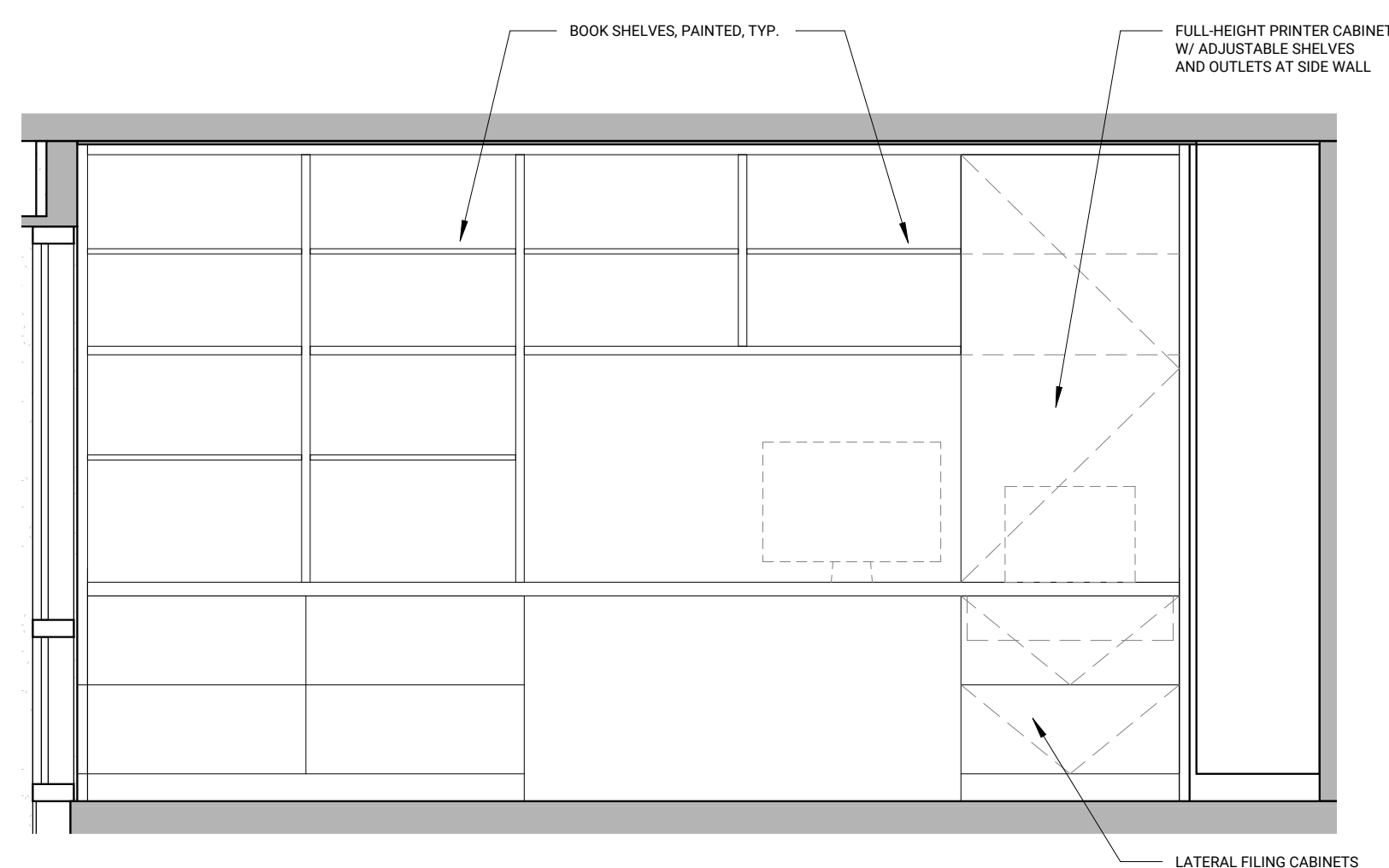
5 Office Millwork Elevation - East
1/2" = 1'-0"

BASE BID: FINISH LEVEL 1 STAINED



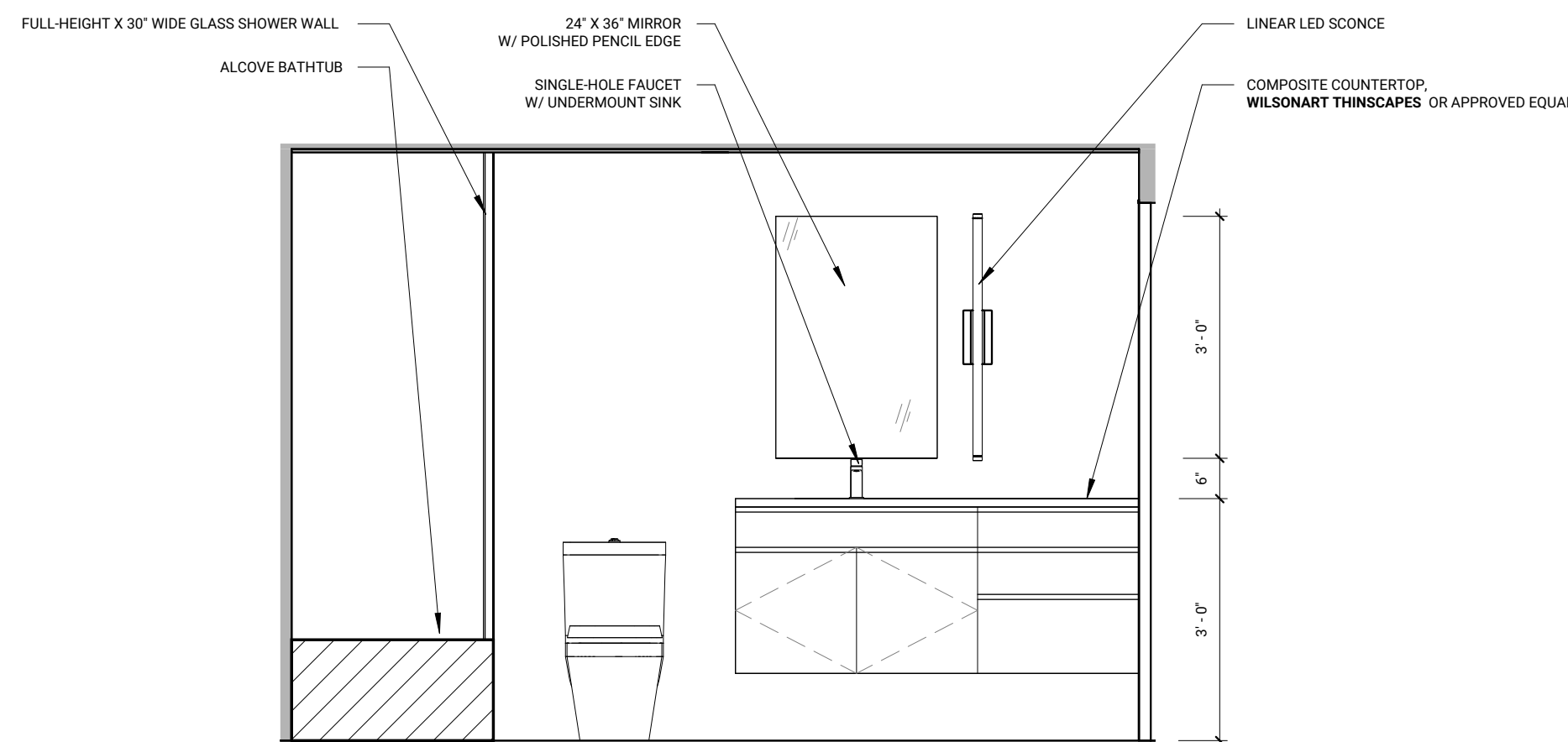
6 Office Millwork Elevation - North
1/2" = 1'-0"

BASE BID: FINISH LEVEL 1 PAINTED



7 Office Millwork Elevation - West
1/2" = 1'-0"

BASE BID: FINISH LEVEL 1 PAINTED



8 Guest Bedroom Bathroom Elevation - North(EAST)
1/2" = 1'-0"

BASE BID: FINISH LEVEL 2 STAINED



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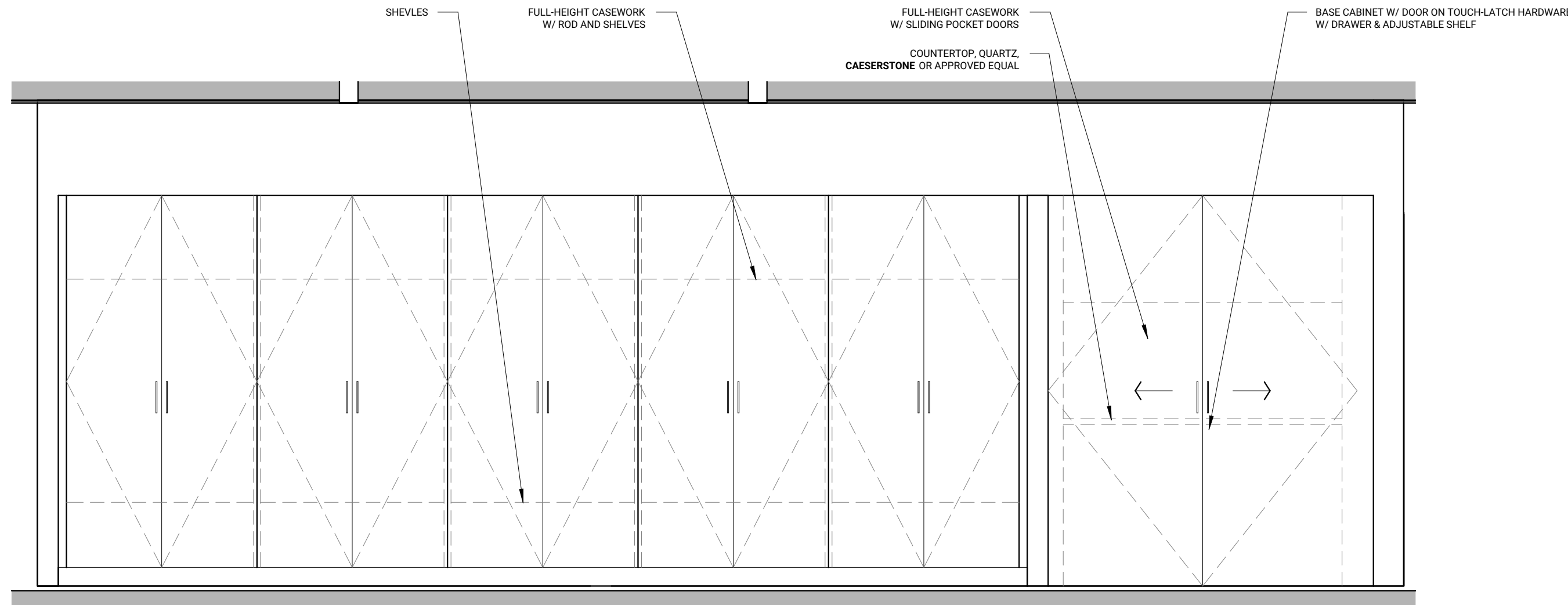
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2024.03.22	Permit Set_R2
2024.05.28	Construction Set

sheet title:
Interior Elevations

PERMIT SET

sheet number:
A403



1 Lower Level Passage Millwork Elevation

1/2" = 1'-0"

BASE BID: FINISH LEVEL 2 STAINED



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2024.03.22	Permit Set_R2
2024.05.28	Construction Set

sheet title:

**Interior
Elevations**

PERMIT SET

sheet number:

A404

APPLIANCES: PROVIDE SUBMITTALS FOR ARCHITECT APPROVAL
MAIN LEVEL
<p>KITCHEN - 24" REFRIGERATOR COLUMN, PANEL READY - W/ INTERNAL WATER DISPENSER SUB-ZERO OR APPROVED EQUAL 24" FREEZER COLUMN, PANEL READY SUB-ZERO OR APPROVED EQUAL 48" GAS RANGE WOLF OR APPROVED EQUAL 46" X 22" VENT HOOD INSERT WOLF OR APPROVED EQUAL 24" DISHWASHER, PANEL READY BOSCH OR APPROVED EQUAL</p> <p>MUDROOM PASSAGE - 28" WASHER & DRYER - STACKABLE GE PROFILE OR APPROVED EQUAL</p> <p>LOWER LEVEL ENTERTAINMENT - 24" UNDER COUNTER REFRIGERATOR, PANEL READY SUB-ZERO OR APPROVED EQUAL</p> <p>PRIMARY WALK-IN-CLOSET - 24" UNDER COUNTER REFRIGERATOR, PANEL READY SUB-ZERO OR APPROVED EQUAL</p>

MATERIALS & FIXTURES: PROVIDE SUBMITTALS FOR ARCHITECT APPROVAL	
<p>EXTERIOR</p> <p>BRICK - MODULAR SIZE BRICK YANKEE HILL BRICK & TILE MEDIUM IRON SPOT - MODULAR SIZE - VELOUR FINISH OR APPROVED EQUAL GROUT TO MATCH BRIXMENT M-30 OR APPROVED EQUAL</p> <p>SIDING - 6" WIDE SIDING - CEDAR - DARK STAIN 6" WIDE SIDING - BORAL TRUEXTERNAL NICKEL GAP SHIPLAP - MEDIUM TINT PAINTED 4" WIDE SIDING - BORAL TRUEXTERNAL NICKEL GAP SHIPLAP - MEDIUM TINT PAINTED</p> <p>METAL COPING - COLOR @ BRICK, SIDING, FLAT ENTRY ROOF - MATCH WINDOW COLOR (OBSIDIAN) COLOR @ CONNECTOR - MATCH STOREFRONT COLOR (GRAY)</p> <p>WINDOWS/GLAZING - SET IN WINDOWS - ALUMINUM CLAD WOOD WINDOW (OBSIDIAN EXT./PAINTED INT.) WEATHERSHIELD CONTEMPORARY COLLECTION OR APPROVED EQUAL STOREFRONT - THEMALLY BROKEN ALUMINUM STOREFRONT SYSTEM 2" X 4 1/2" YKK - YES 45 TU FRONT SET SSG - OR APPROVED EQUAL</p> <p>GLASS RAILING - FRAMELESS GLASS IN RAILING SHOE C.R. LAURENCE OR APPROVED EQUAL</p>	<p>INTERIOR</p> <p>FLOORING - CARPET TILE INTERFACE CARPET TILE - GRANITE MOUNTAIN COLLECTION - ROCKLAND ROAD - ASHLAR PATTERN/LAYOUT. ARCHITECT/OWNER TO APPROVED FINAL SAMPLES</p> <p>WOOD WHITE OAK - 5 1/4" EXPOSURE - LIGHT STAIN DESIGN BASIS ARRIGONI WOODS - ADMONTER COLLECTION KITZBUHEL OR APPROVED EQUAL</p> <p>TILE LARGE FORMAT PORCELAIN TILE - RECTIFIED EDGES ATLAS CONCORDE BOOST SMOKE OR APPROVED EQUAL</p> <p>PAINT - DRYWALL - LEVEL 4 FINISH U.N.O. - LIGHT PAINT WALL = EGGSHELL FINISH CEILING = FLAT FINISH SHERWIN WILLIAMS - SNOWBOUND OR APPROVED EQUAL</p> <p>DOORS/TRIM COLOR TO MATCH ADJACENT WALL SEMI-GLOSS FINISH</p> <p>MILLWORK/CASEWORK DOOR/BOX STYLE, TYP. = FLUSH PANEL - FULL OVERLAY</p> <p>FINISH LEVEL 1 PAINTED BASE BID = PAINT GRADE MAPLE FACES, BIRCH BACKBOX OR APPROVED EQUAL ALTERNATE = PAINT GRADE MAPLE FACES, LAMINATE BACK BOX OR APPROVED EQUAL COUNTERTOP = QUARTZ COUNTERTOP CAESERSTONE WHITE ATTICA QUARTZ OR APPROVED EQUAL</p> <p>FINISH LEVEL 1 STAINED BASE BID = STAIN GRADE QUARTER-SAWN WALNUT, BIRCH BACKBOX OR APPROVED EQUAL COUNTERTOP = QUARTZ COUNTERTOP CAESERSTONE BLACK TEMPAL OR APPROVED EQUAL</p> <p>FINISH LEVEL 2 PAINTED BASE BID = SOLID COLOR LAMINATE FACE W/ LAMINATE BACKBOX ALTERNATE = V.E. LAMINATE FACE W/ LAMINATE BACKBOX COUNTERTOP = ENGINEERED COUNTERTOP WILSONART THINSCAPES BLACK AMANI OR APPROVED EQUAL ALTERNATE = V.E. LAMINATE COUNTERTOP</p> <p>FINISH LEVEL 2 STAINED BASE BID = WOOD LOOK LAMINATE FACE W/ LAMINATE BACKBOX COUNTERTOP = ENGINEERED COUNTERTOP WILSONART THINSCAPES BLACK AMANI OR APPROVED EQUAL ALTERNATE = V.E. LAMINATE COUNTERTOP</p> <p>CLOSET SYSTEM PRIMARY BEDROOM WALK-IN CLOSET SYSTEM - CALIFORNIA CLOSET CC SPECIALTY FINISH OR APPROVED EQUAL GUEST BEDROOM CLOSET SYSTEMS - CALIFORNIA CLOSET CLASSIC WHITE FINISH OR APPROVED EQUAL</p>
<p>PLUMBING</p> <p>KITCHEN - SINK - SINGLE BOWL UNDERMOUNT STAINLESS STEEL KOHLER VAULT OR APPROVED EQUAL FAUCET - SINGLE-HOLE PULL-DOWN STAINLESS STEEL KOHLER CRUE OR APPROVED EQUAL</p> <p>POWDER - SINK - SINGLE BOWL UNDERMOUNT VITREOUS CHINA KOHLER LADENA OR APPROVED EQUAL ALTERNATE: KOHLER CAXTON RECTANGLE OR APPROVED EQUAL</p> <p>FAUCET - SINGLE-HOLE DECK MOUNTED BRUSHED NICKEL KOHLER PARALLEL OR APPROVED EQUAL ALTERNATE: KOHLER HINT, ELATE OR APPROVED EQUAL</p> <p>TOILET - ONE-PIECE FLOORMOUNT TOILET KOHLER REACH OR APPROVED EQUAL</p> <p>GARAGE - FREESTANDING UTILITY SINK STAINLESS STEEL ELKAY DEPENDABILT OR APPROVED EQUAL</p> <p>PRIMARY BATHROOM - SINK - SINGLE BOWL UNDERMOUNT VITREOUS CHINA KOHLER LADENA OR APPROVED EQUAL ALTERNATE: KOHLER CAXTON RECTANGLE OR APPROVED EQUAL</p> <p>FAUCET - SINGLE-HOLE DECK MOUNTED BRUSHED NICKEL KOHLER PARALLEL OR APPROVED EQUAL ALTERNATE: KOHLER HINT, ELATE OR APPROVED EQUAL</p> <p>TOILET - ONE-PIECE FLOORMOUNT TOILET KOHLER REACH OR APPROVED EQUAL</p> <p>SHOWERHEAD - MULTIFUNCTION SHOWERHEAD AND HANDSHOWER BRUSHED NICKEL KOHLER PURIST OR APPROVED EQUAL</p> <p>SHOWER DRAIN - BATHTUB - 60" X 30" FREESTANDING ACRYLIC TUB KOHLER SUNSTRUCK OR APPROVED EQUAL</p> <p>BATHTUB FILLER - FLOORMOUNT FILLER WITH HANDSHOWER BRUSHED NICKEL KOHLER PURIST OR APPROVED EQUAL</p> <p>TOWEL HOOKS - SINGLE ROBE HOOK, BRUSHED NICKEL KOHLER ELATE OR APPROVED EQUAL</p>	<p>GUEST BATHROOM - SINK - SINGLE BOWL UNDERMOUNT VITREOUS CHINA KOHLER CAXTON RECTANGLE OR APPROVED EQUAL ALTERNATE: APPROVED VE EQUAL</p> <p>FAUCET - SINGLE-HOLE DECK MOUNTED BRUSHED NICKEL KOHLER HINT OR APPROVED EQUAL ALTERNATE: APPROVED VE EQUAL</p> <p>TOILET - ONE-PIECE FLOORMOUNT TOILET KOHLER ADAIR OR APPROVED EQUAL</p> <p>SHOWERHEAD & BATH FILLER BRUSHED NICKEL KOHLER PITCH OR APPROVED EQUAL</p> <p>BATHTUB - 60" X 30" X 21" ALCOVE DEEP SOAKING TUB KOHLER UNDERSCORE OR APPROVED EQUAL</p> <p>TOWEL HOOKS - SINGLE ROBE HOOK, BRUSHED NICKEL KOHLER ELATE OR APPROVED EQUAL</p>



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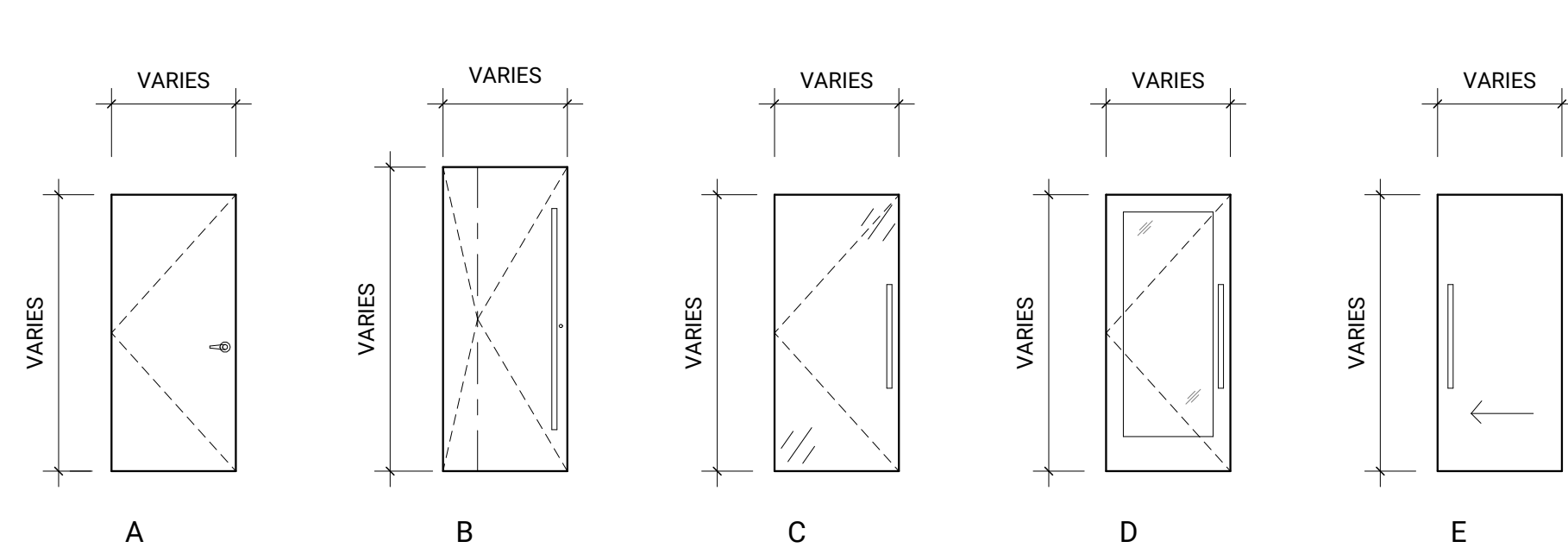
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2024.03.22	Permit Set_R2
2024.05.28	Construction Set

sheet title:
Materials & Fixture Selections

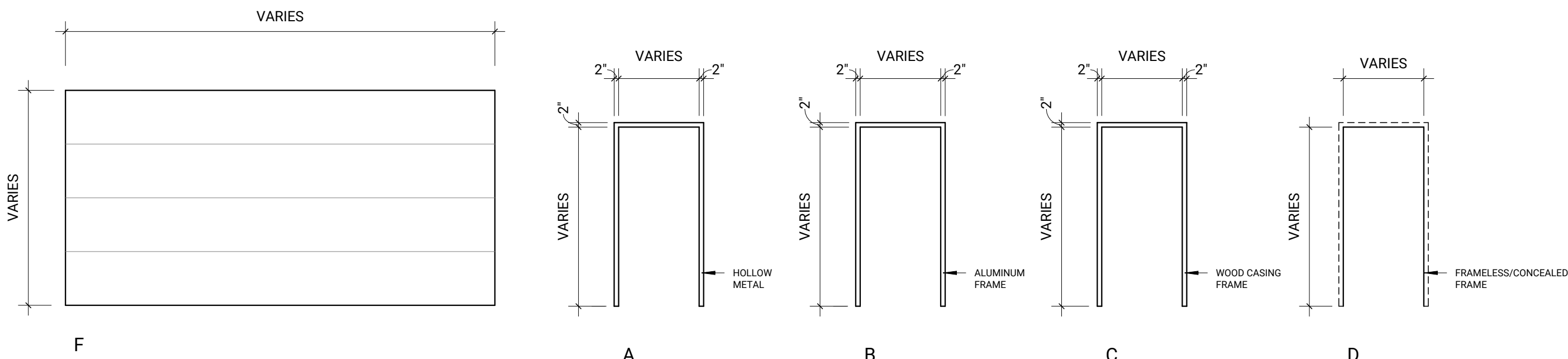
PERMIT SET

sheet number:
A405

DOOR SCHEDULE														
MARK	DIMENSION			DOOR				FRAME			HARDWARE		NOTES	
	WIDTH	HEIGHT	THICKNESS	ELEVATION	GLAZING MATERIAL	MATERIAL	FINISH	TYPE	DEPTH	MATERIAL	FINISH	HINGE		SEAL
Lower Level														
001	3'-0"	7'-0"	1 3/4"	A	N/A	WD-1	PT-1	C	4 1/2"	WD-1	PT-1	H1	N/A	
002	3'-0"	7'-0"	1 3/4"	A	N/A	WD-1	PT-1	C	4 1/2"	WD-1	PT-1	H1	N/A	
003	3'-0"	6'-8"	1 3/4"	A	N/A	WD-1	PT-1	C	6 1/2"	WD-1	PT-1	H1	N/A	
004	3'-0"	7'-0"	1 3/4"	A	N/A	WD-1	PT-1	C	6 3/4"	WD-1	PT-1	H1	N/A	CONCEALED HINGES W/ CONCEALED HANDLE AFF-USA
005	4'-0"	7'-0"	1 3/4"	A	N/A	WD-1	PT-1	C						
Main Level														
100	3'-0"	11'-9 15/16"	2"	A	N/A	STL-1/AL-2	PT-2/AL-2	N/A				H5	N/A	EXTERIOR BRISE SOLEIL DOOR W/ LOCKING HARDWARE
101	4'-2"	8'-8"	2"	B	N/A	AL-1	AL-1	B	6"	AL-1	AL-1	H2	S1	OFFSET PIVOT ENTRY DOOR
102	3'-0"	7'-0"	1 3/4"	A	N/A	WD-1	PT-1	C	6 3/4"	WD-1	PT-1	H1	N/A	CONCEALED HINGES W/ CONCEALED HANDLE AFF-USA
103	2'-8"	6'-8"	1 3/4"	A	N/A	WD-1	PT-1	C	4 1/2"	WD-1	PT-1	H1	N/A	
104	3'-0"	8'-0"	1 3/4"	A	N/A	WD-1	PT-1	C	2 1/2"	WD-1	PT-1	H1	N/A	
105	10'-3 1/4"	7'-11 1/2"	6 29/32"	D	GL-1	AL-1	AL-1	B	1'-2"	AL-1	AL-1	H2	S1	
106	2'-8"	6'-8"	1 3/4"	A	N/A	WD-1	PT-1	C	4 1/2"	WD-1	PT-1	H1	N/A	
107	2'-2"	6'-8"	1 3/4"	A	N/A	WD-1	PT-1	C	4 1/2"	WD-1	PT-1	H1	N/A	
108	2'-7 13/16"	7'-9 1/2"	2"	D	GL-1	AL-1	AL-1	B	4 1/2"	AL-1	AL-1	H3	S1	
109	3'-0"	7'-0"	1 3/4"	A	N/A	WD-1	PT-1	C	8 1/2"	WD-1	PT-1	H1	S1	
110	16'-0"	8'-0"	1 1/2"	F	N/A	AL-1	PT-2	C	8 1/2"	WD-1	PT-2	H2	S1	
Second Level														
201	3'-0"	7'-8"	1 3/4"	A	N/A	WD-1	PT-1	C	6 1/2"	WD-1	PT-1	H1	N/A	
202	3'-0"	7'-8"	1 3/4"	E	N/A	WD-1	WD-2	D	6 1/2"	WD-1	WD-2	H4	N/A	
203	3'-0"	8'-0"	1 3/4"	E	N/A	WD-1	PT-1	C	6 1/2"	WD-1	PT-1	H3	N/A	
204	2'-6"	8'-0"	1/2"	C	GL-2	GL-2	GL-2	N/A				H6	N/A	
205	3'-0"	7'-0"	1 3/4"	A	N/A	WD-1	PT-1	C	6 3/4"	WD-1	PT-1	H1	N/A	CONCEALED HINGES W/ CONCEALED HANDLE AFF-USA
206	2'-8"	6'-8"	1 3/4"	A	N/A	WD-1	PT-1	C	4 1/2"	WD-1	PT-1	H1	N/A	
207	2'-8"	6'-8"	1 3/4"	A	N/A	WD-1	PT-1	C	4 1/2"	WD-1	PT-1	H1	N/A	
208	4'-0"	8'-0"	1 3/4"	A	N/A	WD-1	PT-1	C	4 1/2"	WD-1	PT-1	H1	N/A	
209	2'-8"	6'-8"	1 3/4"	A	N/A	WD-1	PT-1	C	4 1/2"	WD-1	PT-1	H1	N/A	
210	4'-0"	8'-0"	1 3/4"	A	N/A	WD-1	PT-1	C	4 1/2"	WD-1	PT-1	H1	N/A	
Roof Top														
302	3'-0"	7'-0"	1 3/4"	A	N/A	HM-1	PT-2	A/D	8 5/8"	HM-1	PT-2	H1	S1	
303	4'-0"	7'-0"	1 3/4"	A	N/A	HM-1	PT-2	A/D	8 1/2"	HM-1	PT-2	H1	S1	
304	4'-0"	7'-0"	1 3/4"	A	N/A	HM-1	PT-2	A/D	8 1/2"	HM-1	PT-2	H1	S1	



DOOR ELEVATIONS



DOOR FRAME ELEVATIONS/TYPES

WINDOW SCHEDULE				
MARK	WIDTH	HEIGHT	OPERATION	COMMENTS
Lower Level				
0.1	4'-7 1/2"	2'-11 1/2"	CASEMENT	EGRESS WINDOW
Main Level				
1.1	2'-5 1/2"	4'-11 1/2"	CASEMENT	
1.2	2'-5 1/2"	4'-11 1/2"	CASEMENT	
1.3	2'-5 1/2"	4'-11 1/2"	CASEMENT	
1.4	2'-5 1/2"	4'-11 1/2"	CASEMENT	
1.5	2'-5 1/2"	4'-11 1/2"	CASEMENT	
1.6	4'-5 1/2"	6'-5 1/2"	Fixed	
Second Level				
2.2	2'-5 1/2"	6'-7 1/2"	FIXED	
2.3	2'-5 1/2"	6'-7 1/2"	FIXED	
2.4	2'-5 1/2"	6'-7 1/2"	FIXED	
2.5A	2'-5 1/2"	6'-7 1/2"	FIXED	
2.5B	2'-5 1/2"	6'-7 1/2"	FIXED	
2.6	2'-5 1/2"	6'-7 1/2"	FIXED	
2.7	3'-5 1/2"	6'-7 1/2"	FIXED	
2.8A	3'-2 3/4"	6'-7 1/2"	FIXED	
2.8B	3'-2 3/4"	6'-7 1/2"	FIXED	
2.8C	3'-2 3/4"	6'-7 1/2"	FIXED	
2.9	3'-5 1/2"	6'-7 1/2"	CASEMENT	EGRESS WINDOW
2.10	4'-5 1/2"	7'-3 1/2"	FIXED	
2.11	2'-3 1/2"	5'-5 1/2"	CASEMENT	EGRESS WINDOW
2.12	2'-5 1/2"	4'-11 1/2"	FIXED	
2.13	2'-3 1/2"	5'-5 1/2"	CASEMENT	EGRESS WINDOW
2.14	2'-11 1/2"	5'-5 1/2"	CASEMENT	

GENERAL NOTES: OPENINGS

- ALL LOCKSETS TO BE MASTER KEYPED AS DIRECTED BY OWNER.
- PROVIDE INTERCHANGEABLE LOCKSETS.
- PROVIDE SILENCERS ON ALL DOORS WITHOUT OTHER COMPATIBLE SEALS.
- GLASS TO BE TEMPERED WHERE REQUIRED BY CODE OR AS NOTED.
- PROVIDE HARDWARE SUBMITTALS FOR ARCHITECT REVIEW, ALTERNATES TO BE APPROVED BY ARCHITECT.

MATERIALS/FINISHES:

- AL-1 ALUMINUM, MANUFACTURER FINISH
- AL-2 PERFORATED ALUMINUM, (BRISE SOLEIL)
- GL-1 1" GLASS (INSULATED/CLEAR/LOW-E), TEMPERED AT CODE REQUIRED LOCATIONS. SECURITY GLAZING AT LOWER LEVEL & MAIN LEVEL LOCATIONS
- GL-2 1/2" TEMPERED GLASS (LOW-IRON) W/ PRIVACY FROST/FRIT
- HM-1 HOLLOW METAL, (DOOR W/ INSULATION AT EXTERIOR LOCATIONS, HONEYCOMB CORE AT INTERIOR LOCATIONS)
- PT-1 PAINT, SEMI-GLOSS, SHERWIN WILLIAMS, SNOWBOUND, SW7004
- PT-2 PAINT SEMI-GLOSS, SHERWIN WILLIAMS, URBANE BRONZE, SW7048
- STL-1 POWDER-COATED STEEL
- WD-1 PAINT-GRADE PRIMED MDF SOLID CORE WOOD DOOR
- WD-2 HORIZONTAL CHARRED WOOD SIDING (APPLY TO DOOR SLAB)

HINGES:

- H1 FULL-MORTISE FIVE KNUCKLE STAINLESS STEEL BUTT HINGES, MCKINNEY OR APPROVED EQUAL
- H2 SPECIALTY HINGES BY DOOR MANUFACTURER
- H3 CONTINUOUS GEAR HINGE, BY DOOR MANUFACTURER
- H3 SLIDING POCKET DOOR, W/ SOFT CLOSE & SOFT OPEN, CAVITY SLIDER OR APPROVED EQUAL
- H4 FLUSH SLIDING DOOR SYSTEM, SUGATSUNE OR APPROVED EQUAL
- H5 HEAVY-DUTY EXTERIOR PIVOT HINGES
- H6 SHOWER DOOR PIVOT HINGES, C.R. LAURENCE OR APPROVED EQUAL

SEAL:

- S1 ALUMINUM THRESHOLD AND WEATHER STRIPPING

HARDWARE

- L1 STAINLESS STEEL LEVERSET, OMNIA #43



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2024.03.22 Permit Set_R2
2024.05.28 Construction Set

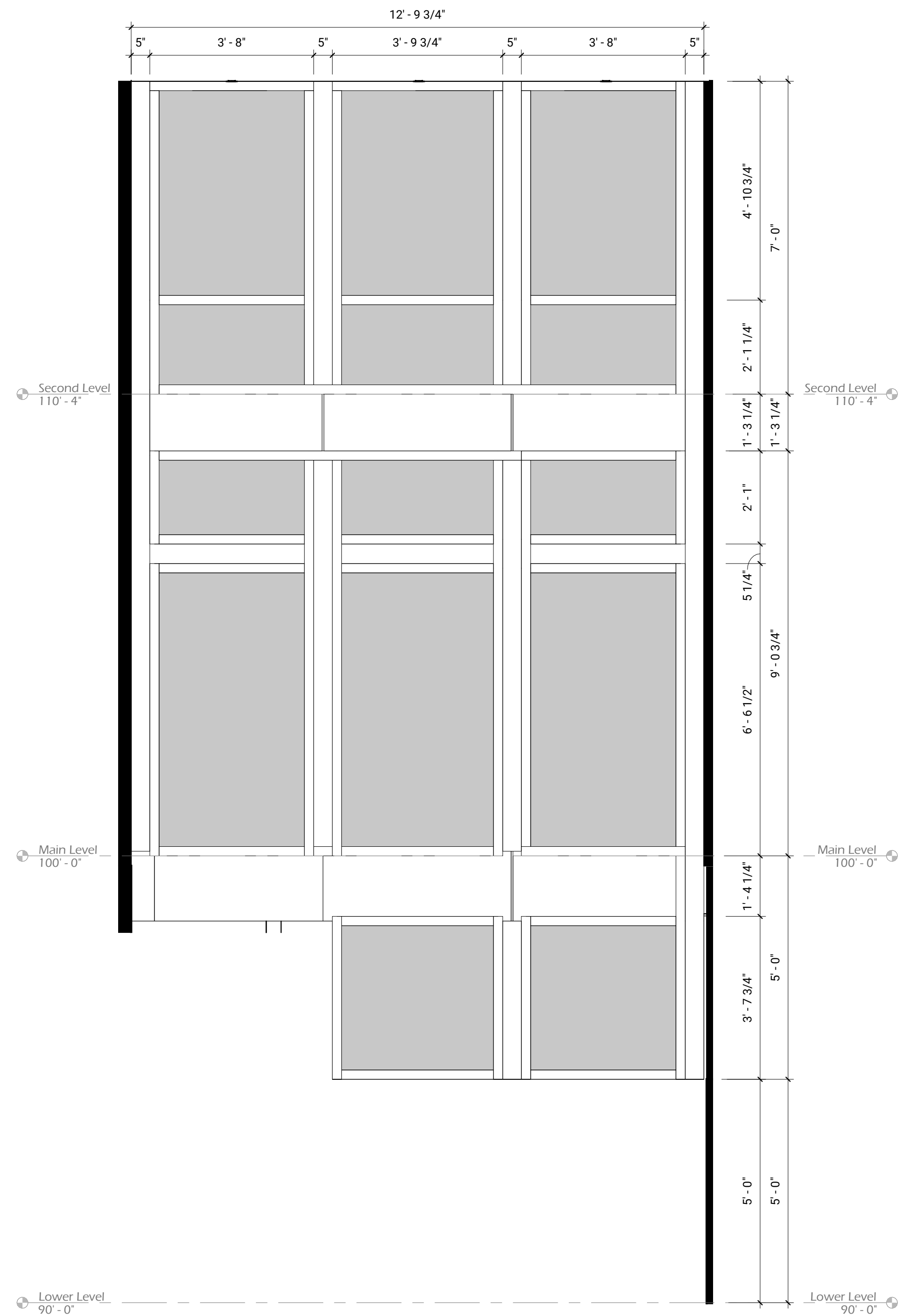
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Schedules/
Diagrams/
Openings

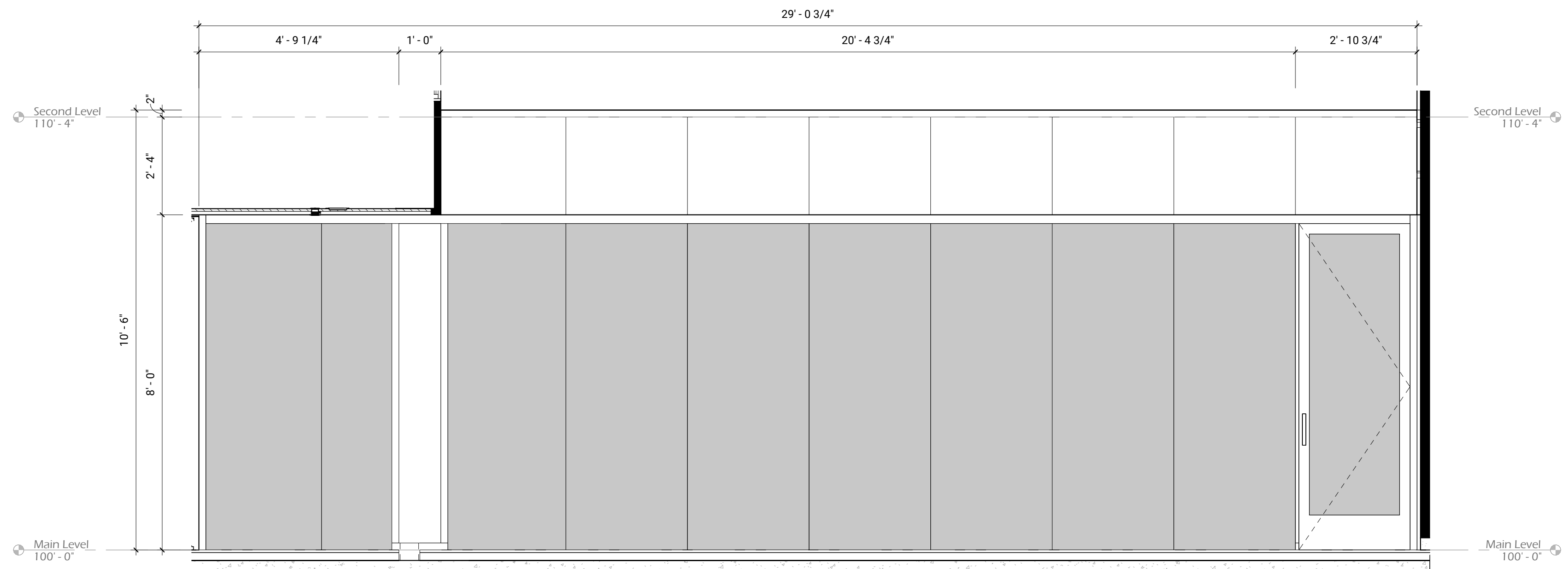
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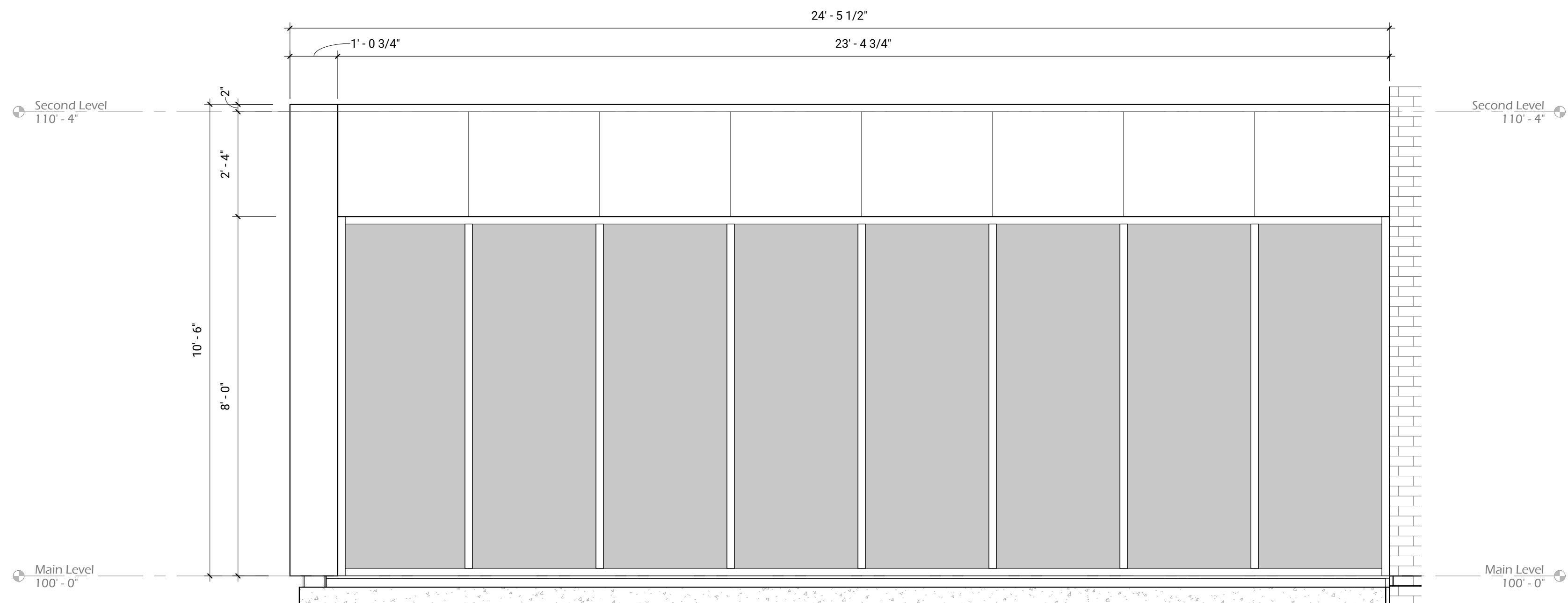
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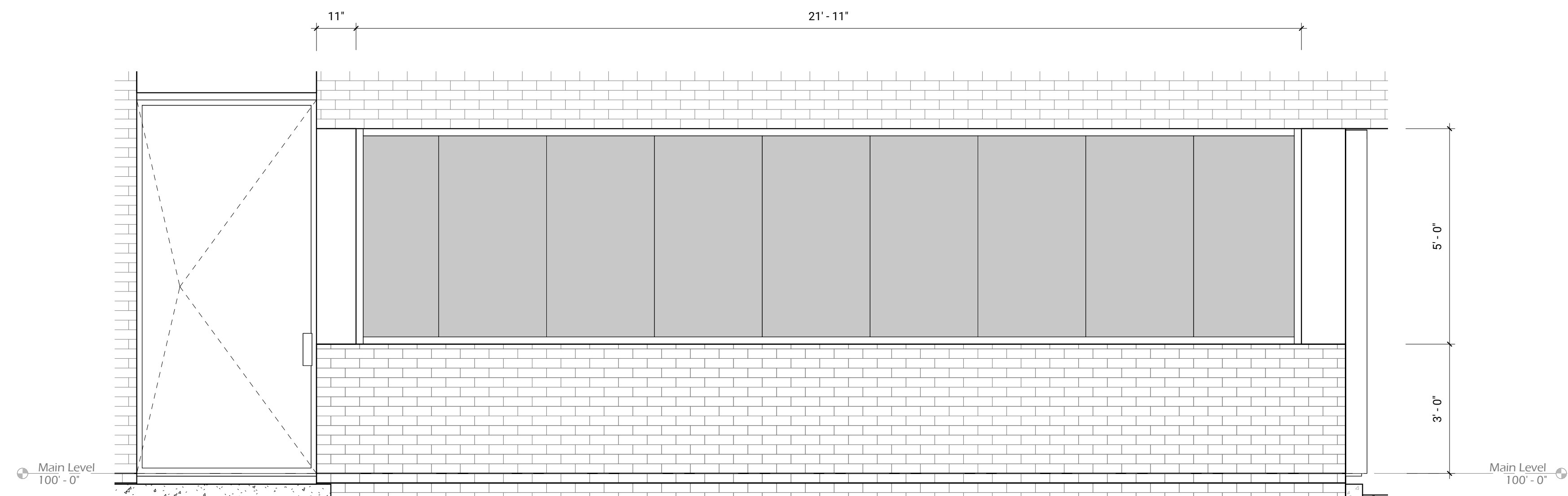
1 Glazing Elevation AA
1/2" = 1'-0"



2 Glazing Elevation BB
1/2" = 1'-0"



3 Glazing Elevation CC
1/2" = 1'-0"



4 Glazing Elevation DD
1/2" = 1'-0"



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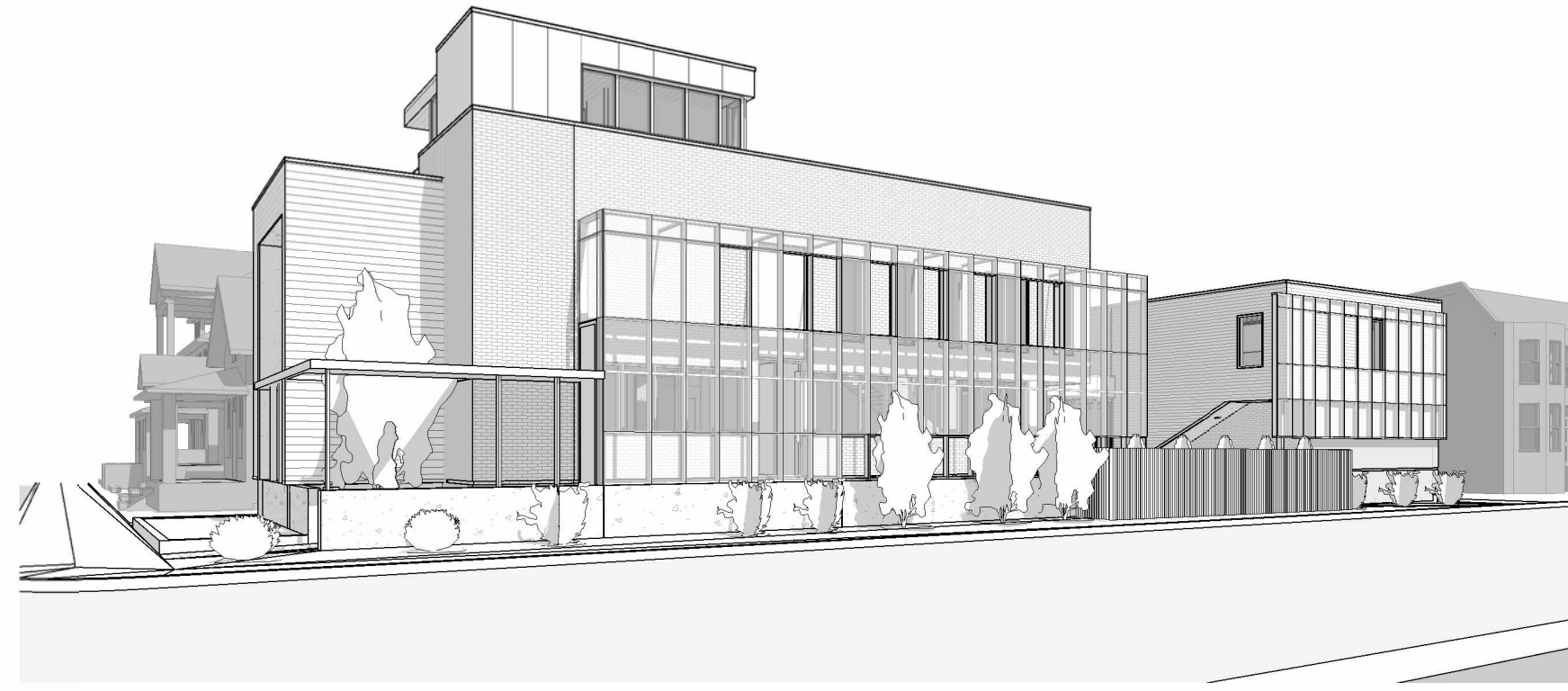
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sheet number:

A601



1 Southwest Corner Perspective



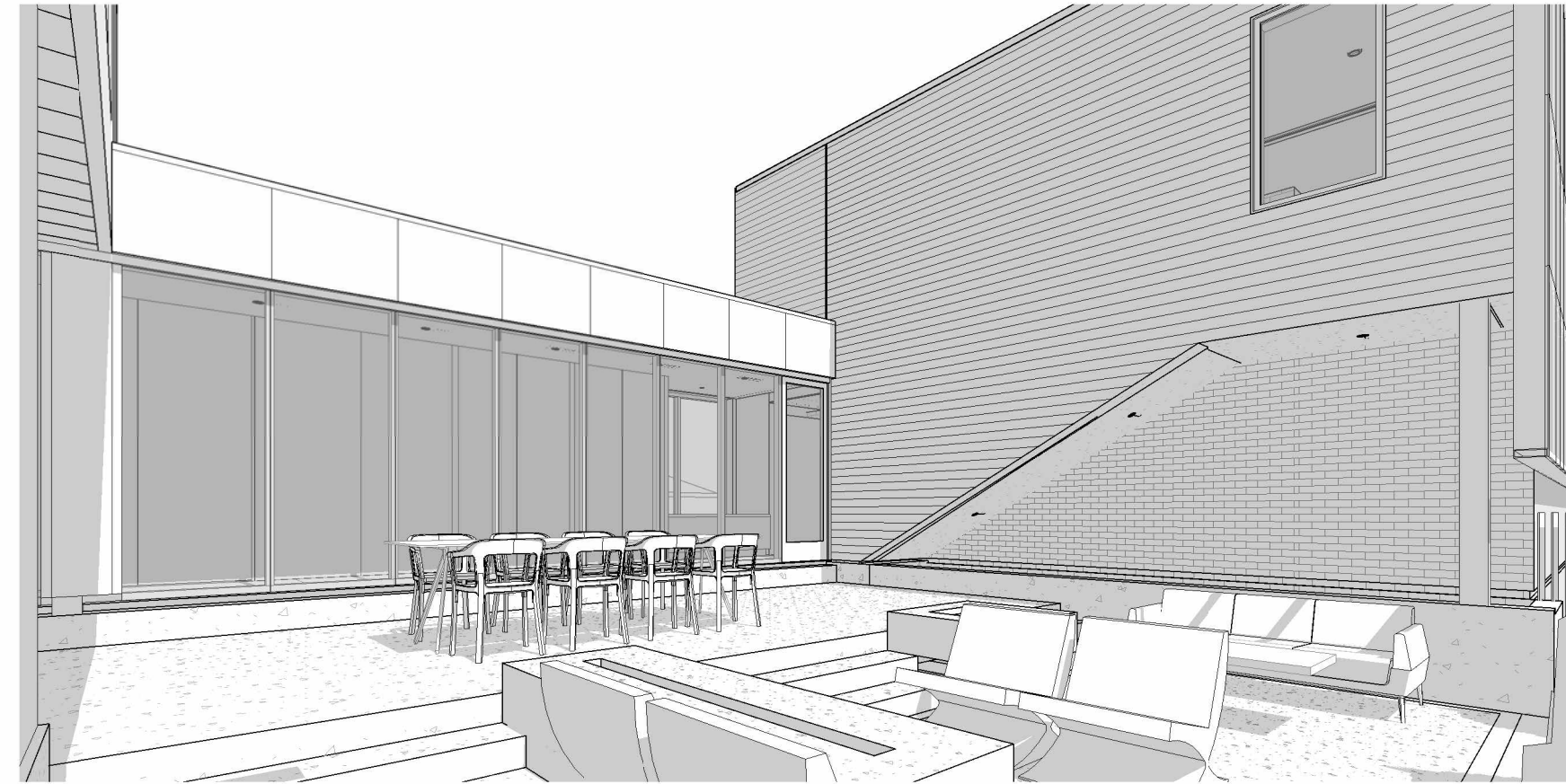
2 East Elevation (Alabama) Perspective



3 Northeast Corner Perspective



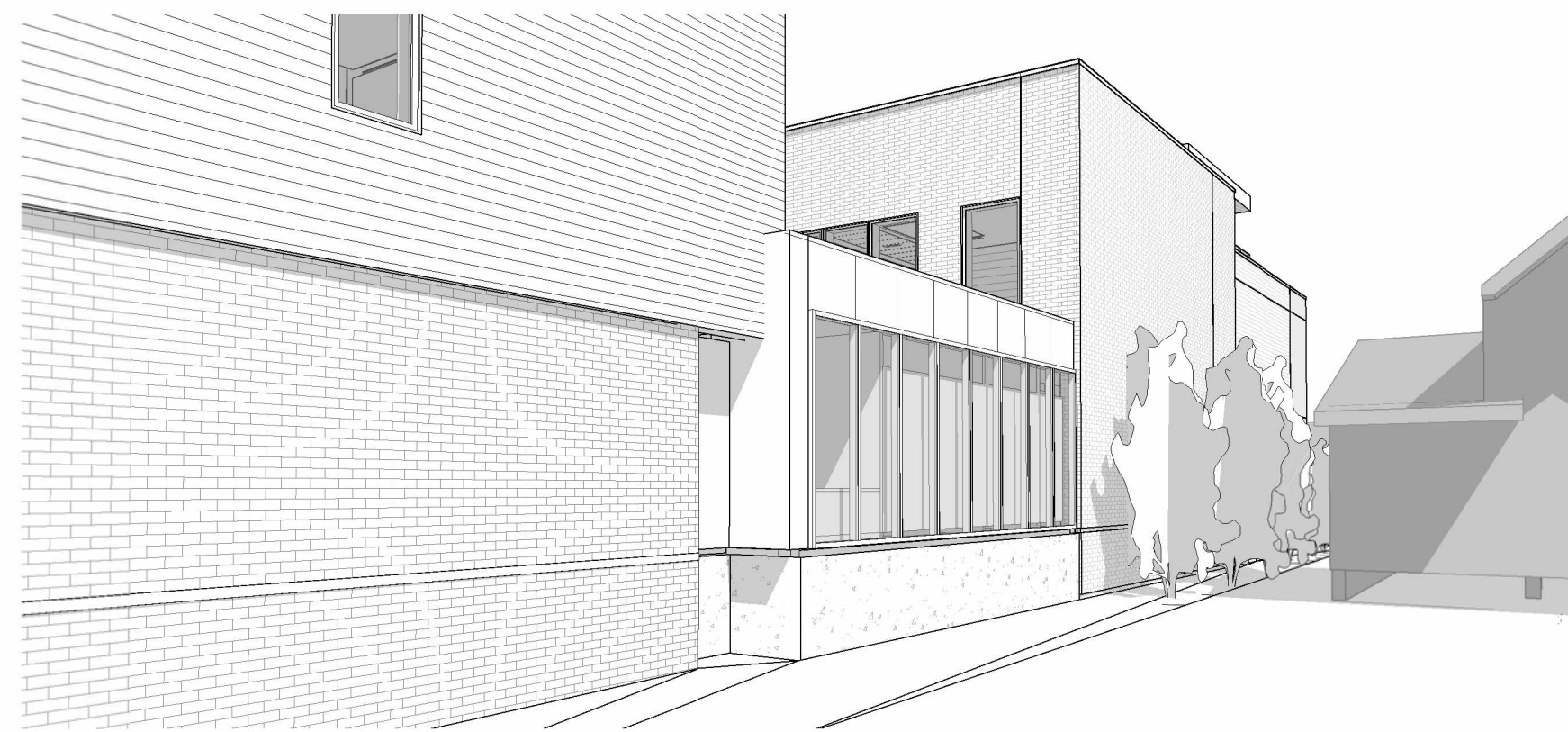
4 Courtyard Perspective from Alabama



5 Courtyard Perspective - Facing North



6 Courtyard Perspective - Facing South



7 Northwest Corner



8 Entry Patio



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2024.05.28 Construction Set

sheet title:
Perspectives

PERMIT SET

sheet number:
A900



1 Entry Facing Living/Dining



2 Living Facing Dining/Kitchen



3 Kitchen Facing Living Room



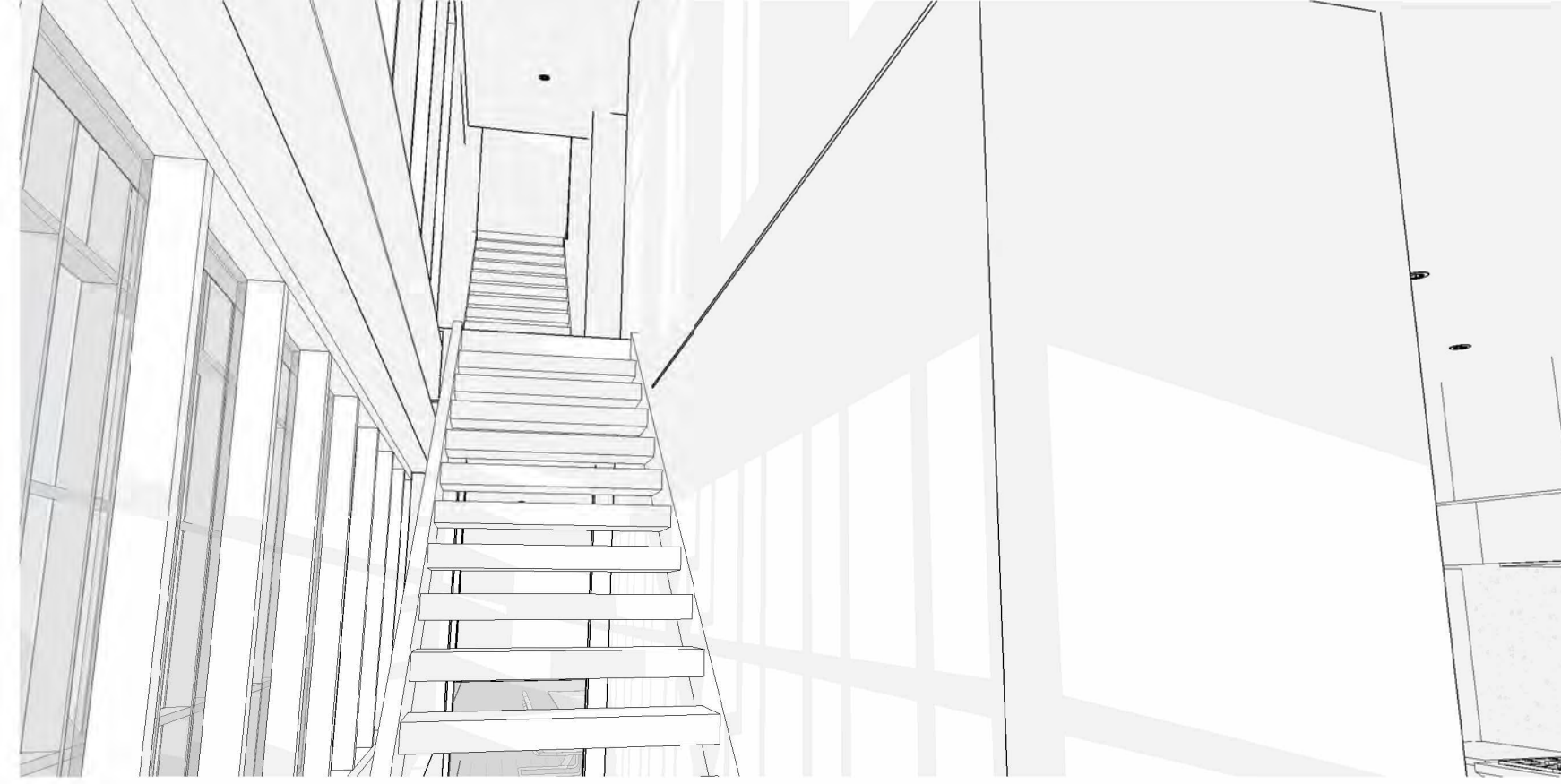
4 Kitchen Facing Courtyard



5 Kitchen Facing Laundry Hall



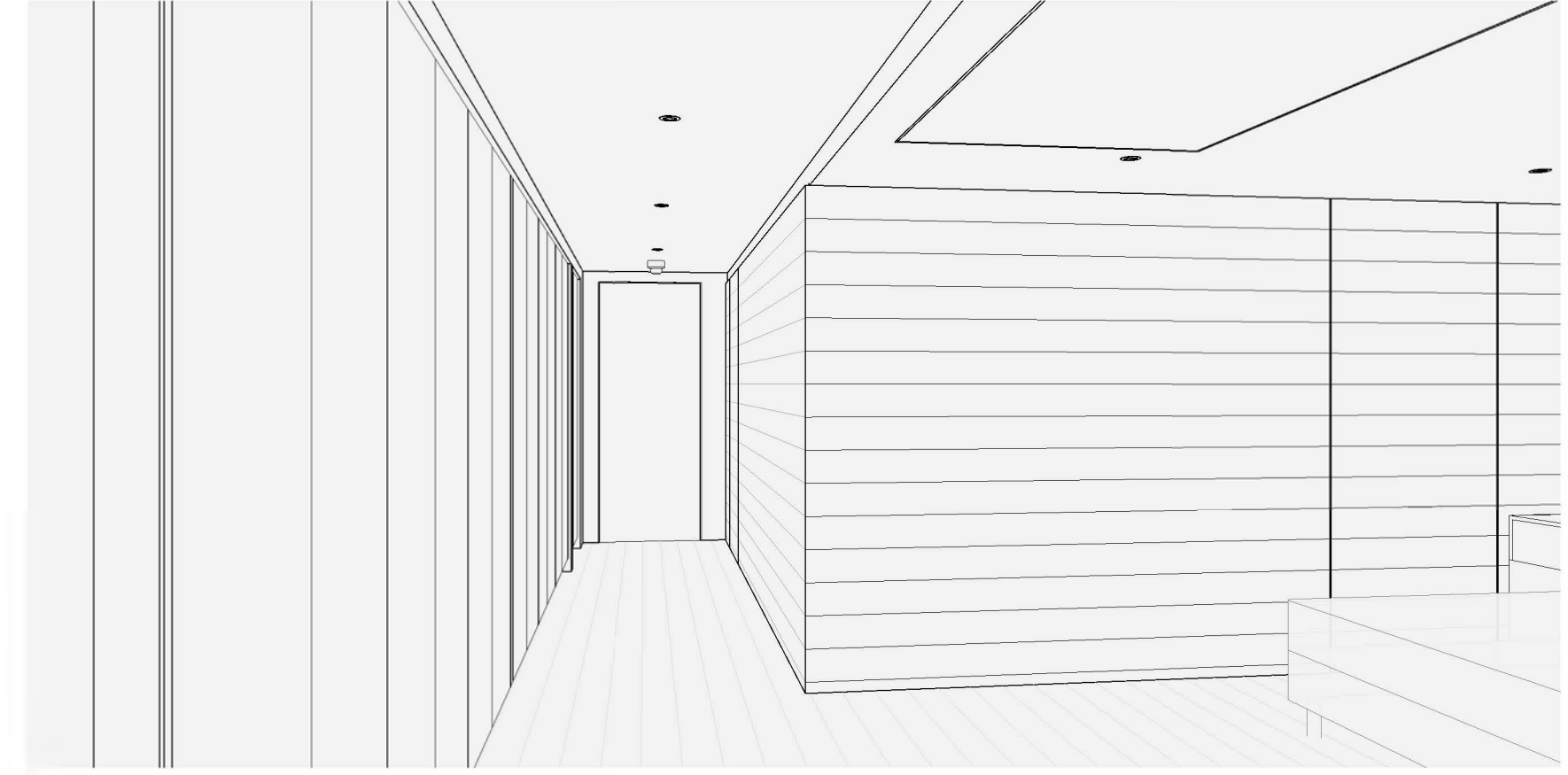
6 Laundry Hall Facing Kitchen



7 Stair Looking Up From Main Level



8 Primary Bedroom Facing Millwork



9 Primary Bedroom Facing Passage



10 Primary Bedroom Facing Bed



11 Primary Bathroom Facing Shower



12 Office Facing Desk



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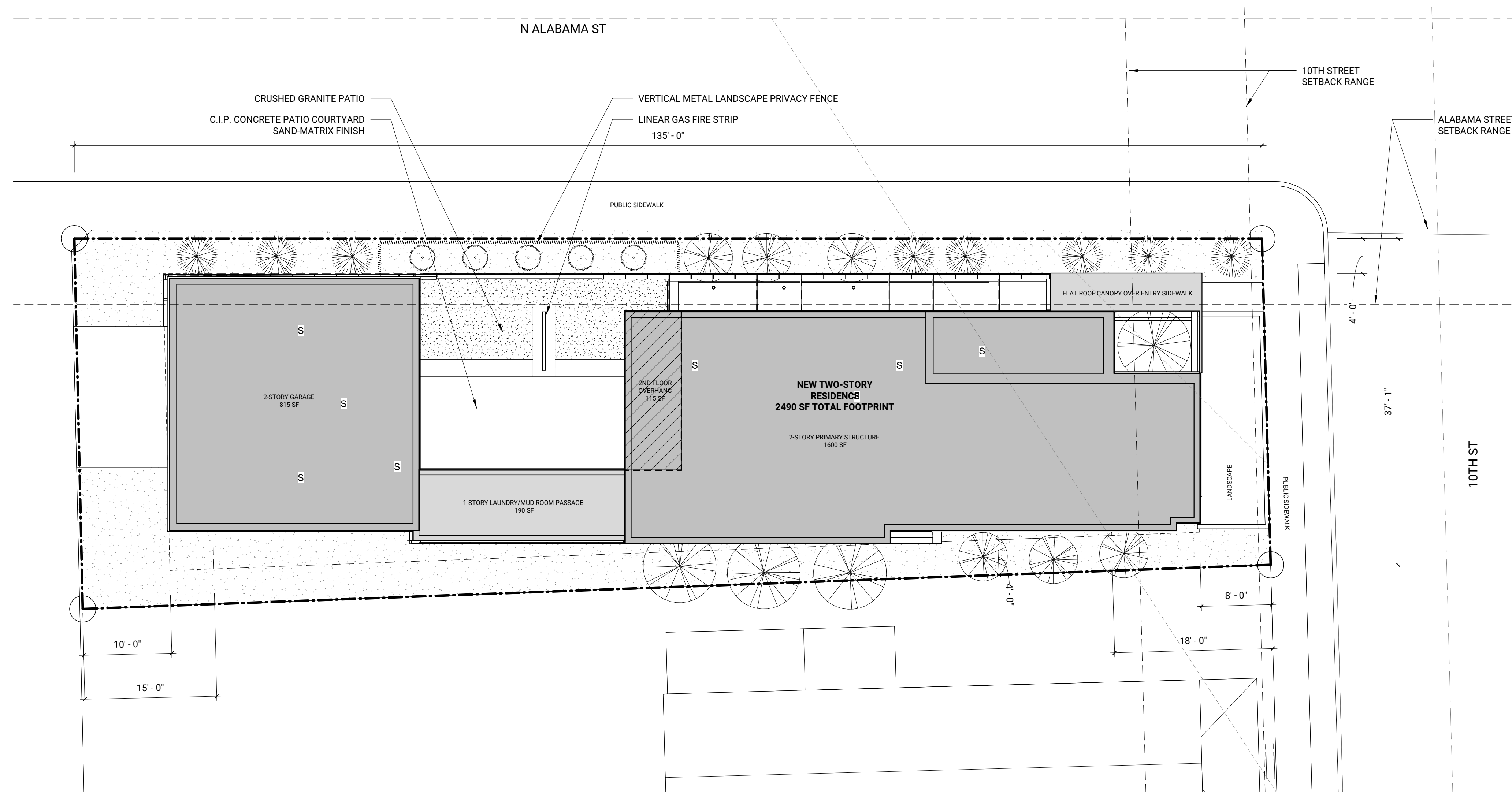
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2024.03.22 Permit Set_R2
2024.05.28 Construction Set

sheet title:
Perspectives

PERMIT SET

sheet number:
A901



1 Architectural Site Plan
1/8" = 1'-0"

IHPC Approved Site Plan

2021-008
Gregor Residence
244 E 10th St, Indianapolis, IN 46202



certification:
consultants:

APPROVED
March 19, 2024
INDIANAPOLIS HISTORIC
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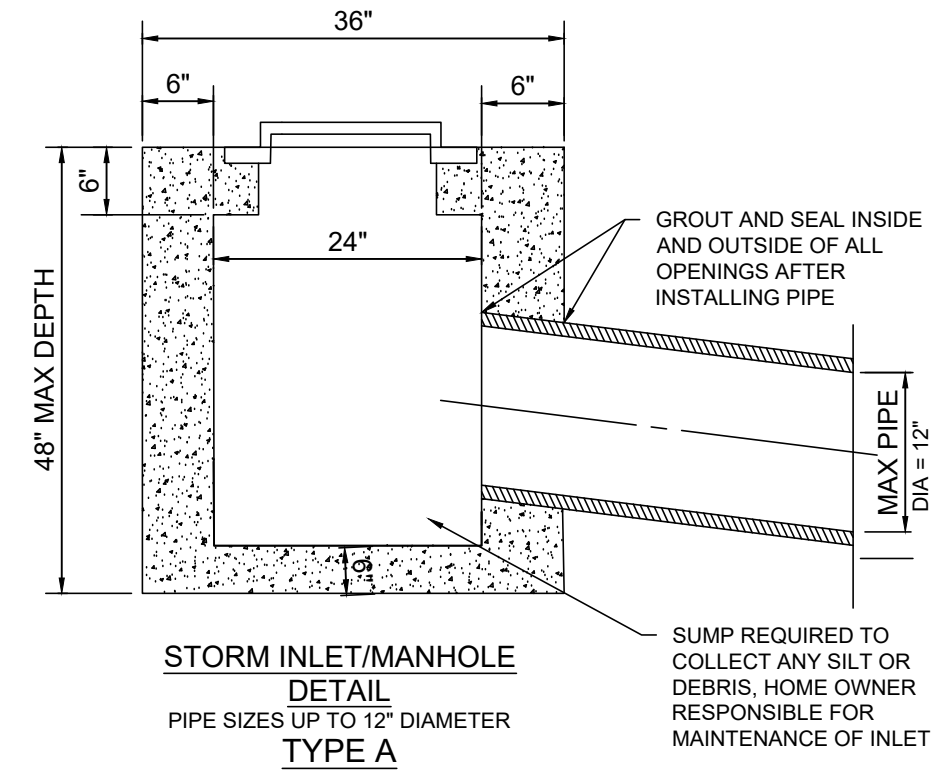
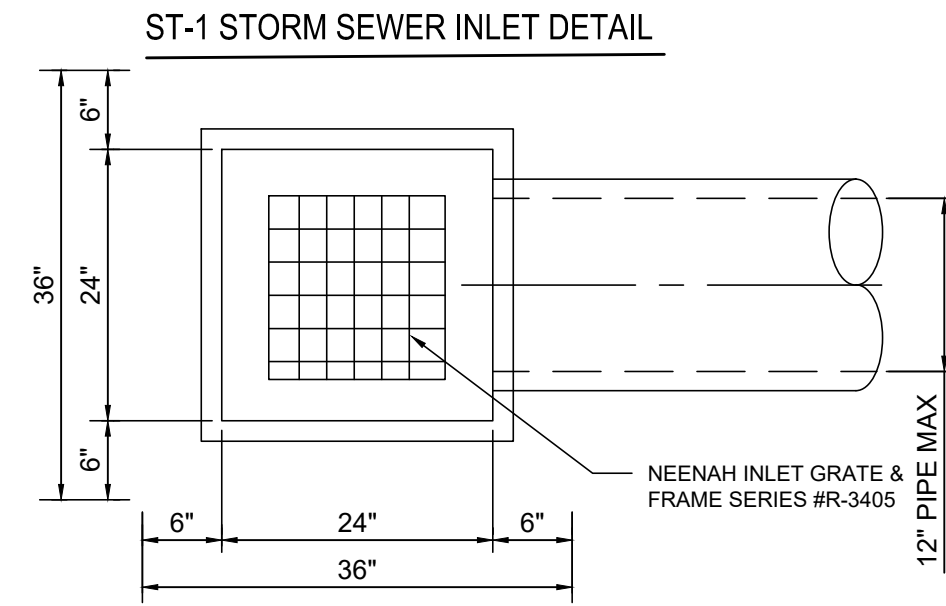
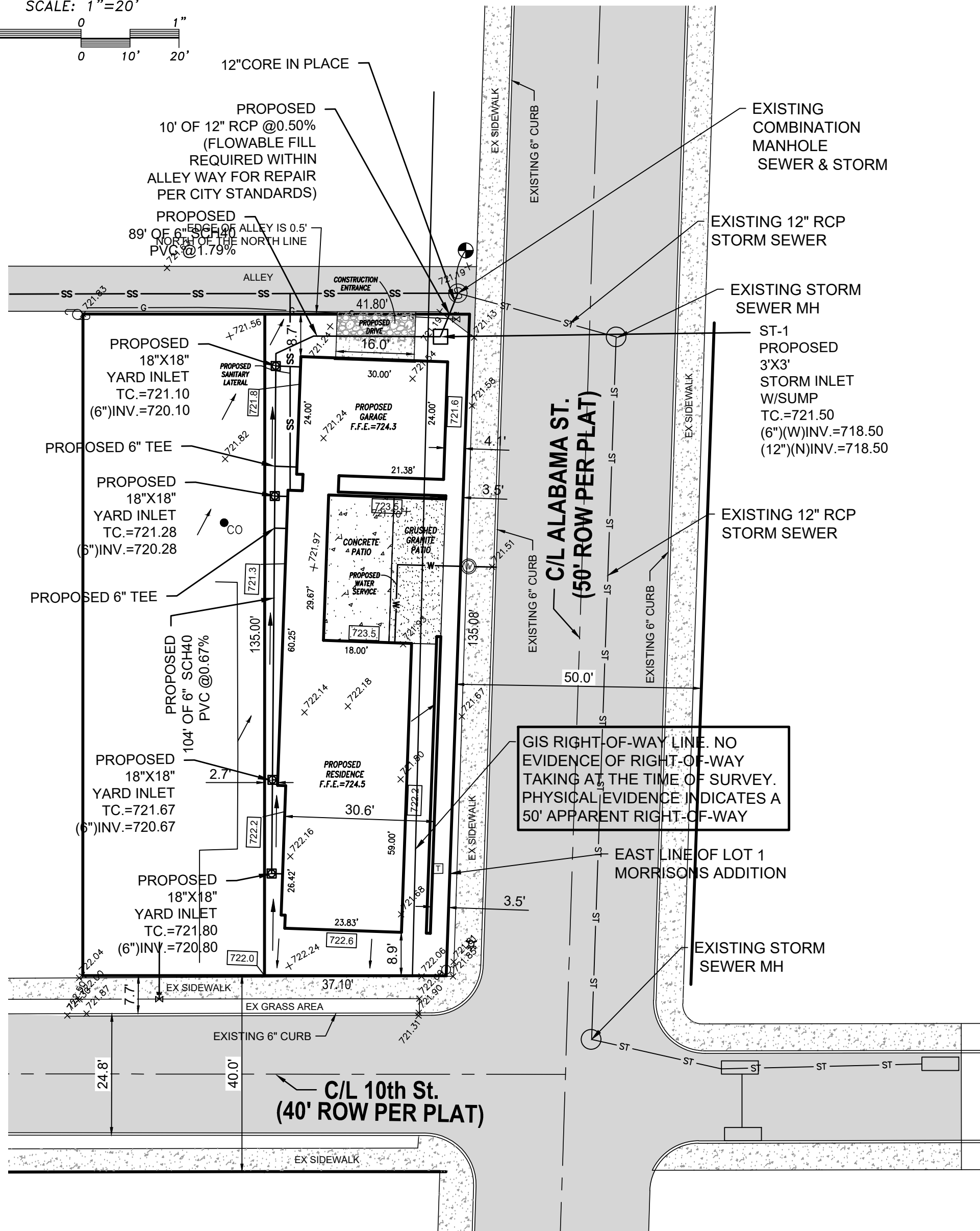
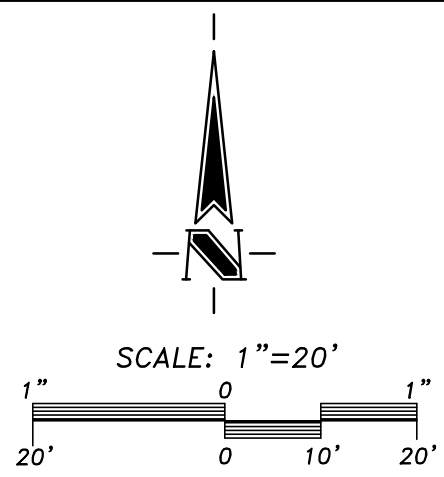
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**Architectural
Site Plan**

PERMIT SET

sheet number:
A001

LOT NO. 1
MORRISONS
Volume 1, Page 205
MARION COUNTY, INDIANA

BENCH MARK INFORMATION:
TBM = SANITARY MANHOLE ELEVATION = 721.18



YARD INLET SPECIFICATIONS

NDS 18 in. x 18 in.
Catch Basin
1-piece injection-molded structural polypropylene construction
3-Opening Catch Basin
Green Inlet Grate
6" Outlet
6" Outlet
Reducer Rings & Plug

GENERAL DRAINAGE NOTES:

- Distances shown on piping are horizontal distances from center of structure to center of structure, unless otherwise noted.
- The Contractor shall be responsible for all costs associated with the installation, inspection, testing and final acceptance of all new stormwater management facilities construction. Contractor shall coordinate with all applicable regulating agencies concerning installation, inspection and approval of the storm drainage system construction.
- All stormwater management facilities, including collection and conveyance structures shall be installed in accordance with all applicable local and state codes and regulations.
- Any work performed in the Local or State right of ways shall be in accordance with the applicable Local or State requirements. It shall be the Contractor's responsibility to obtain the necessary permits for the work, schedule necessary inspections, and provide the necessary traffic control measures and devices, etc., for work performed in the right of ways.
- Storm pipe material options are as follows: RCP or HDPE, as noted on plans.

GENERAL GRADING NOTES:

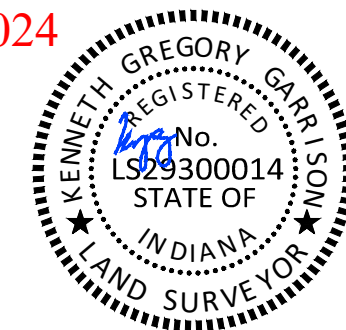
- Contractor shall strictly adhere to the erosion control measures prepared for this project.
- Earthwork shall include clearing and grubbing, stripping and stockpiling topsoil, mass grading, excavation, filling, under cut and replacement, if required, and compaction.
- Contractor to refill undercut areas with suitable material and compact as recommended by the geotechnical engineer.
- Place topsoil over the subgrade of unpaved, disturbed areas to a depth indicated on the landscape plans (6" minimum). Pavement slopes across accessible parking stalls and adjoining access aisles shall be maximum 2%.
- All slopes shall be 3:1 (Horizontal-Vertical) maximum unless noted otherwise.
- All areas not paved shall be stabilized in accordance with the erosion control plan, unless noted otherwise.
- All excess soil materials shall become the property of the Contractor unless otherwise designated shall be removed by the Contractor and disposed of offsite at no additional cost to the owner in accordance with all local and state codes and permit requirements.
- Drainage systems shall be inspected during construction by a registered professional engineer or land surveyor. Within 30 days after completion of on and off-site drainage facilities, the registered professional shall certify in writing the compliance of the drainage facilities per local requirements.
- Contractor shall perpetuate all drains and tiles encountered during construction. Coordinate with engineer of record regarding the connection to the proposed storm sewer system.
- Storm structures receiving sub-surface drains (SSD) shall have both connections core drilled. T or Y blind connections are not allowed.

LEGEND

\times 00.0	DENOTES EXISTING GRADE ELEVATIONS
000.0	DENOTES PROPOSED FINISH GRADE ELEVATION
\rightarrow	DENOTES PROPOSED DRAINAGE FLOW
\bullet	DENOTES TEMPORARY BENCHMARK

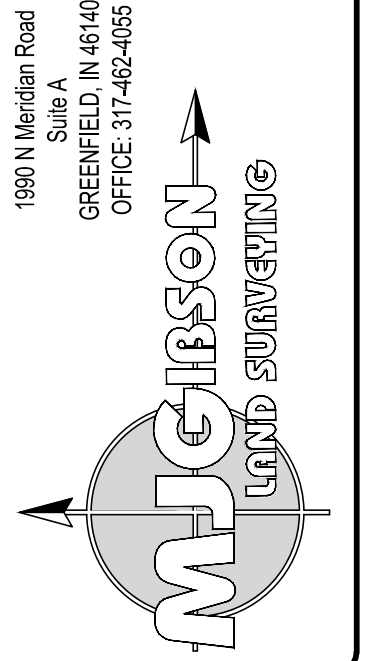
2/28/2024 Drainage plan submitted to DBNS. Received from DBNS inspector 8/26/2024

Kenneth Gregory Garrison
KENNETH GREGORY GARRISON REGISTERED
LAND SURVEYOR, RLS29300014
03-06-2024



REVISION NO:

DATE: / /



Prepared For:

EATON HOMES
8677 BASH ST.
INDIANAPOLIS, IN. 46256
PHONE: 317-760-9346

Project Name:
EATON HOMES
E 10th STREET

Sheet Title
DRAINAGE PLAN

DATE: 2-28-2024

DRAWN BY: bre

CHECKED BY: KG

SCALE: 1" = 20'

PROJECT NO: 23-390

SHEET NO:
20F2



PRE-CONSTRUCTION MEETING CHECKLIST

ADDRESS: 244 E. 10th St.

COA: 2021-COA-613 (SJ) - New house and attached garage

A. SITEWORK

- 1. Sidewalk material
- 2. Parking Pad/lor material
- 3. Fencing
- 4. Site Lighting
- 5. Dumpster Enclosure
- 6. Other _____

Front walk - broom finish concrete
Rear drive apron - broom finish concrete
6', vertical metal slat privacy fence, finish: obsidian (dark gray)
Nothing planned
N/A

B. BUILDING FOUNDATION

- 1. Concrete (Poured-in Place)
- 2. Concrete Masonry Unit (Block)
- 3. Brick
- 4. Other _____
- 5. Date of Construction Marker 2024

Per plans
N/A
N/A
Lower, west corner of front wicket, made out of bronze

C. BUILDING EXTERIOR

- 1. Brick
- 2. Wood siding
- 3. Other siding
- 4. Stucco (E.I.F.S.)
- 5. Trim material
 - a. Brick
 - b. Wood
 - c. Other Fascia: smooth fiber cement

Yankee Hill, Medium Iron Spot, veloure finish; mortar color to match brick: Brixment M30
Per submitted final CDs, 4" and 6" lap
Smooth fiber cement panel for top floor w/ metal expansion joint finished to match
Smooth "limestone" finish on inside of wicket
2-sty perforated metal brise soleil on east
Smooth fiber-cement panels to be used on connector and between window openings

D. ROOF/EAVE

- 1. Roof Shingles (Asphalt/Fiberglass)
- 2. Metal
- 3. EPDM (Rubber Membrane)
- 4. Slate/Faux Slate
- 5. Tile
- 6. Roof Eaves
 - a. Bead Board
 - b. Plywood
- 7. Gutters & Downspout
- 8. Other _____

Not visible from ground
Internal downspouts w/ emergency scupper openings in parapets

E. EXTERIOR DOORS

- 1. Hollow Metal/Steel
- 2. Wood
- 3. Other _____

Steel w/ dark finish; operations per plans
Obsidian (dark gray) color: per unique Sherwin-Williams mix code

F. WINDOWS

- 1. Aluminum/Aluminum Clad
- 2. Vinyl/Vinyl Clad
- 3. Wood
- 4. Fiberglass
- 5. Other _____

Aluminum storefront system, per plans; full extruded, thermal broken alum. casements in "Obsidian"

G. SKYLIGHTS

- 1. Aluminum/Metal
- 2. Wood
- 3. Shape, Color, Location
- 4. Other _____

N/A

H. GARAGE DOORS

- 1. Material
- 2. Size
- 3. Style
- 4. Other _____

Insulated alum.
 16'x8'
 Smooth flat panel

I. EXTERIOR FINISHES

- 1. Paint Colors
- 2. Exterior Light Fixtures
- 3. Other _____

Stain: Resawn Timber, Miyagi Paint: SW-9171, Felted Wool
 Briese Soliel: SW-7048, Urbane Bronze - very similar in color to "Obsidian"
 Exterior Lighting: recessed can lights w/in roof and overhang structures

J. CHIMNEY

- 1. Brick
- 2. Stone
- 3. Other _____

N/A

K. MECHANICAL EQUIPMENT

- 1. Rooftop Equipment
- 2. Exhaust Fans
- 3. HVAC
- 4. Power Poles
- 5. Wireless Systems
- 6. Utility Boxes (Electrical, cable, phone)
- 7. Gas Meters
- 8. Other _____

N/A
 First fl. vents thru side wall (finished to match facade color); upper fl. thru roof
 Condensers on grade at rear NW corner
 Buried, underground service
 N/A
 ELE meter base and generator at rear NW corner
 Mid-span of west elevation

L. SETBACKS

Front: 8 feet from south/front lot line
 Rear: 10' from rear/north lot line - leads to alley
 East: 4' from east to brise soleil

West: minimum of 4 feet, per site plan

M. PORCHES/DECKS/PATIOS

- 1. Bricks
- 2. Stone
- 3. Wood
- 4. Other Cast-in-place concrete raised patio in courtyard
- 5. Color Very fine aggregate mix, terrazzo-like, warm gray

Crushed granite on grade w/in courtyard
 Raised concrete entry extending to entry door on east elevation

N. LANDSCAPING/SITE

- 1. Trees to be removed
- 2. Trees to be planted
- 3. Landscape required by COA
- 4. Other _____

1 tree on west property line; 1 tree where garage will be
 In west side yard: 3-Arnold Tulips; 3-Parkland Pillar Birch
 In east side yard: 3-Arnold Tulips; 1 on NE corner of garage; 2
 within courtyard/patio. In front planter: 1 Arnold Tulip

ATTENDING PERSONS

Dean Kessler

 Melissa and Keith Gregor

 Andrew Fries

Clete Kunce

 John Eaton

STAFF SIGNATURE: Dean Kessler
 OWNER SIGNATURE: [Signature]
 ARCHITECT SIGNATURE: [Signature]
 CONTRACTOR SIGNATURE: [Signature]

DATE: 3-27-24
 DATE: 3/27/24
 DATE: 2024-03-22
 DATE: 3-27-24

*NOTE: All submitted documents including this document are the determining factors for the project. All information given will be considered legally binding. If there are any foreseen or unforeseen changes, staff must be contacted prior to the initiation of those changes. Failure to do so may result in the forced removal of the item at the party's expense. Certain items must receive staff approval prior to installation; failure to do so is at the owner's expense as they are ultimately responsible for the project
 P:\IHPC\Office\Office Documents\Preconstruction Form--REVISED 2016.pdf

VIO24-006762, 244 E 10TH ST, 8/14/2024 @ 1:45 PM --SM



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Photographs from code enforcement inspection

VIO24-006762, 244 E 10TH ST, 8/14/2024 @ 1:45 PM --SM



VIO24-006762, 244 E 10TH ST, 8/14/2024 @ 1:45 PM --SM



VIO24-006762, 244 E 10TH ST, 8/14/2024 @ 1:45 PM --SM



2023-COA-467 (CMB)

120 SOUTH WAYBURN STREET









