

**2024-COA-211 (FP)**  
**714 LEXINGTON AVE.**



# MONTOYA RESIDENCE

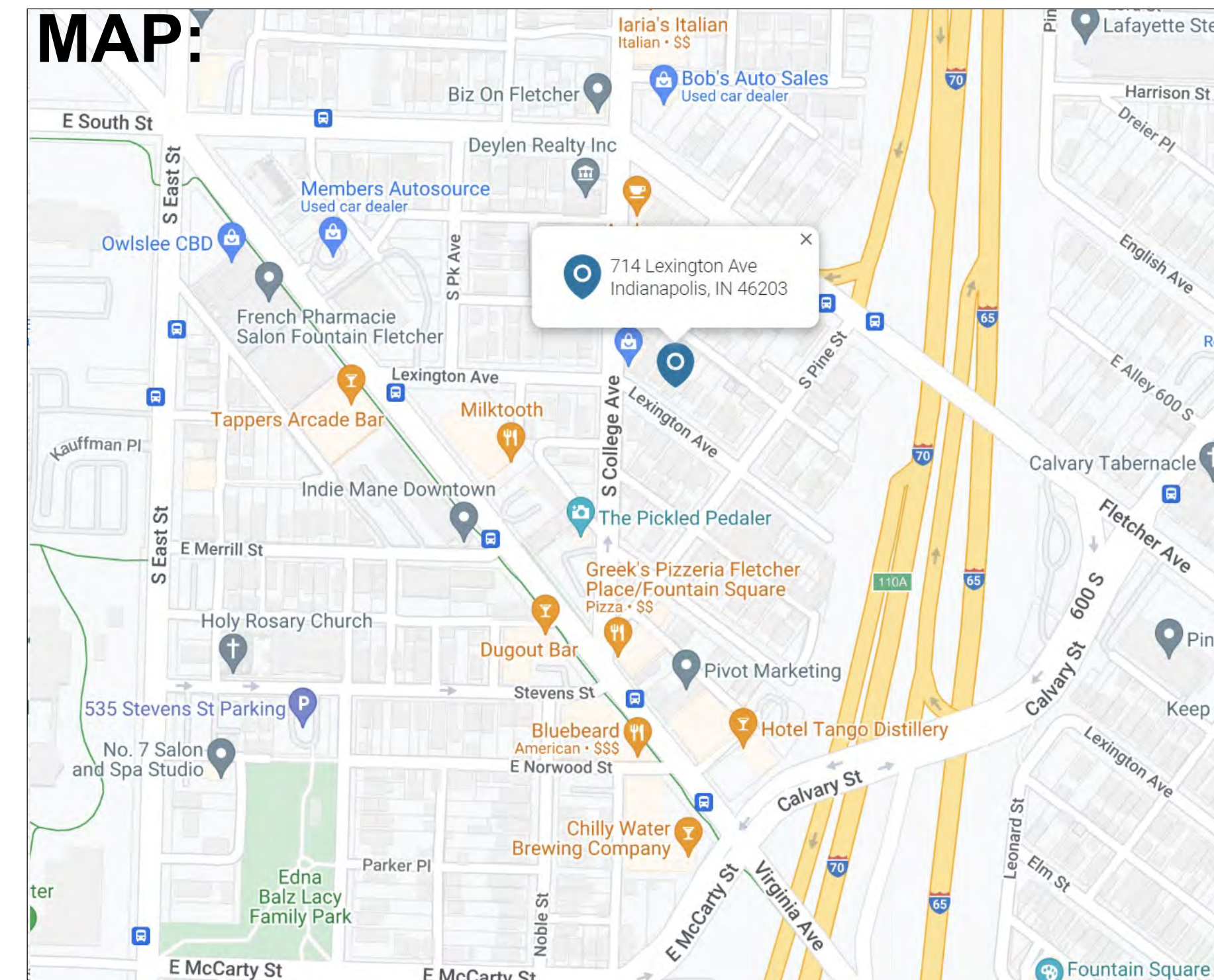
714 Lexington Avenue  
Indianapolis, Indiana 46203



## PAGE INDEX

- 1 TITLE PAGE
- 2 SITE PLAN (TO BE UPDATED)
- 3 EXISTING/DEMOLITION PLANS
- 4 EXISTING ELEVATIONS
- 5 PROPOSED FLOOR PLANS
- 6 PROPOSED ELEVATIONS
- 7 PROPOSED MEP PLANS
- 8 EXISTING CONDITIONS PHOTOS

## VICINITY





**GEN. SITE NOTES:**

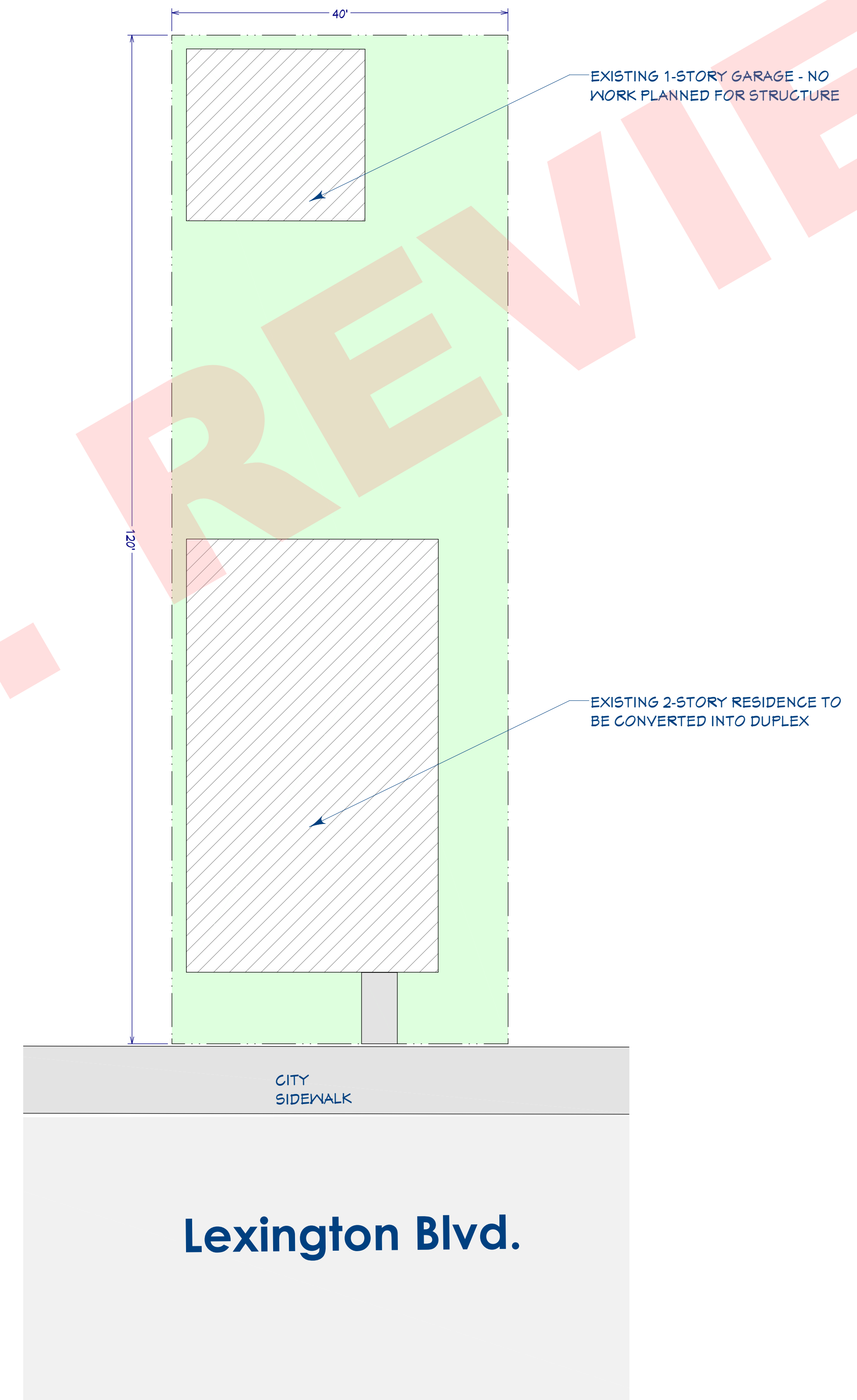
■ CURRENT ZONING DISTRICT: **DB** (COMPACT CONTEXT AREA)

■ ZONING/SETBACK REQUIREMENTS:

FRONT SETBACK: N/A  
REAR SETBACK: N/A  
SIDE SETBACKS: N/A

■ DRAINAGE INFORMATION:

TOTAL SITE S.F.: 4,800  
S.F. OF DISTURBED AREA: 0  
S.F. OF PROPOSED IMPERVIOUS SURFACE: 0



SITE PLAN  
SCALE 1"=10'



SHEET NUMBER  
**2**  
PROGRESS SET

SITE PLAN

DRAWN BY: KLS DATE: June 17, 2024

**MONTOYA RESIDENCE**

714 Lexington Avenue  
Indianapolis, Indiana 46203

**EMERGENT**  
CONSTRUCTION





**GEN. DEMOLITION PLAN NOTES:**

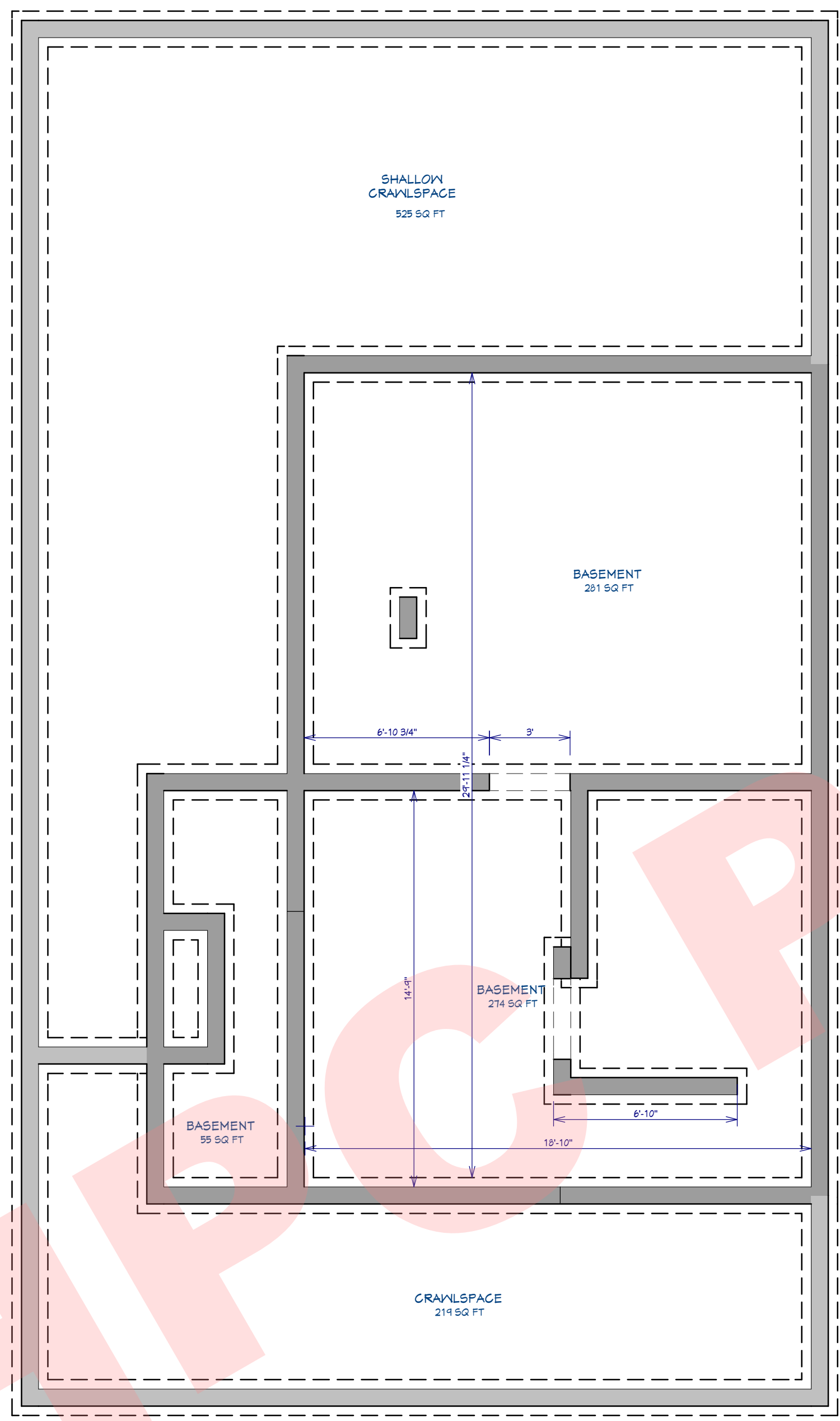
- ENSURE WATER & ELECTRICAL SERVICE IS DISCONNECTED/SHUT OFF PRIOR TO DEMOLITION WORK.
- COORDINATE W/ OWNER FOR TRIM, BUILT-IN'S OR OTHER ITEMS TO BE SALVAGED FROM HOUSE PRIOR TO DEMOLITION WORK.
- EXISTING INTERIOR DOOR/WINDOW CASING, BASEBOARD OR OTHER TRIM TO REMAIN UNLESS NOTED OTHERWISE - PROTECT DURING DEMOLITION & CONSTRUCTION.
- EXISTING DOORS TO REMAIN IN PLACE OR SALVAGED FOR FUTURE USE UNLESS NOTED OTHERWISE.
- SELECTIVE DEMOLITION/REMOVAL OF EXISTING HVAC DUCTWORK THROUGHOUT HOUSE - SALVAGE ORIGINAL SUPPLY/RETURN FLOOR REGISTERS FOR FUTURE USE UNLESS NOTED OTHERWISE.
- REMOVE & DISPOSE OF ALL DEBRIS/TRASH FROM BASEMENT, CRAWLSPACE(S) & THROUGHOUT HOUSE.
- REMOVE & DISPOSE OF ALL REMAINING PLASTER & LATH FROM WALLS & CEILINGS THROUGHOUT HOUSE - PREP FRAMING FOR NEW DRYWALL.
- REMOVE & DISPOSE OF ALL REMAINING PLUMBING & ELECTRICAL FIXTURES THROUGHOUT HOUSE UNLESS NOTED OTHERWISE.

 - INDICATES WALL/FLOOR/OTHER DEMOLITION WORK

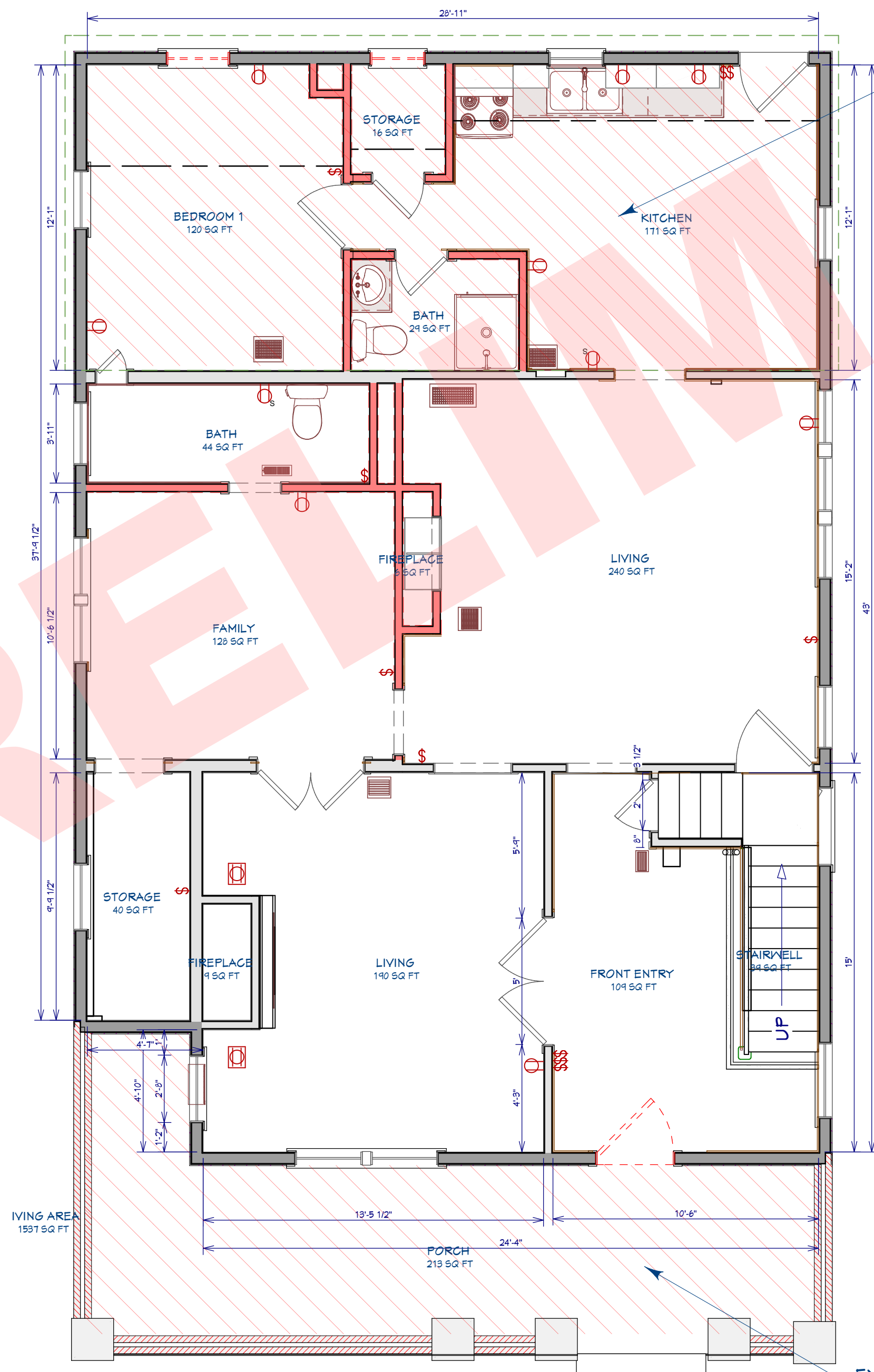
 - INDICATES EXISTING DOOR TO REMAIN

**KEY DEMOLITION NOTES:**

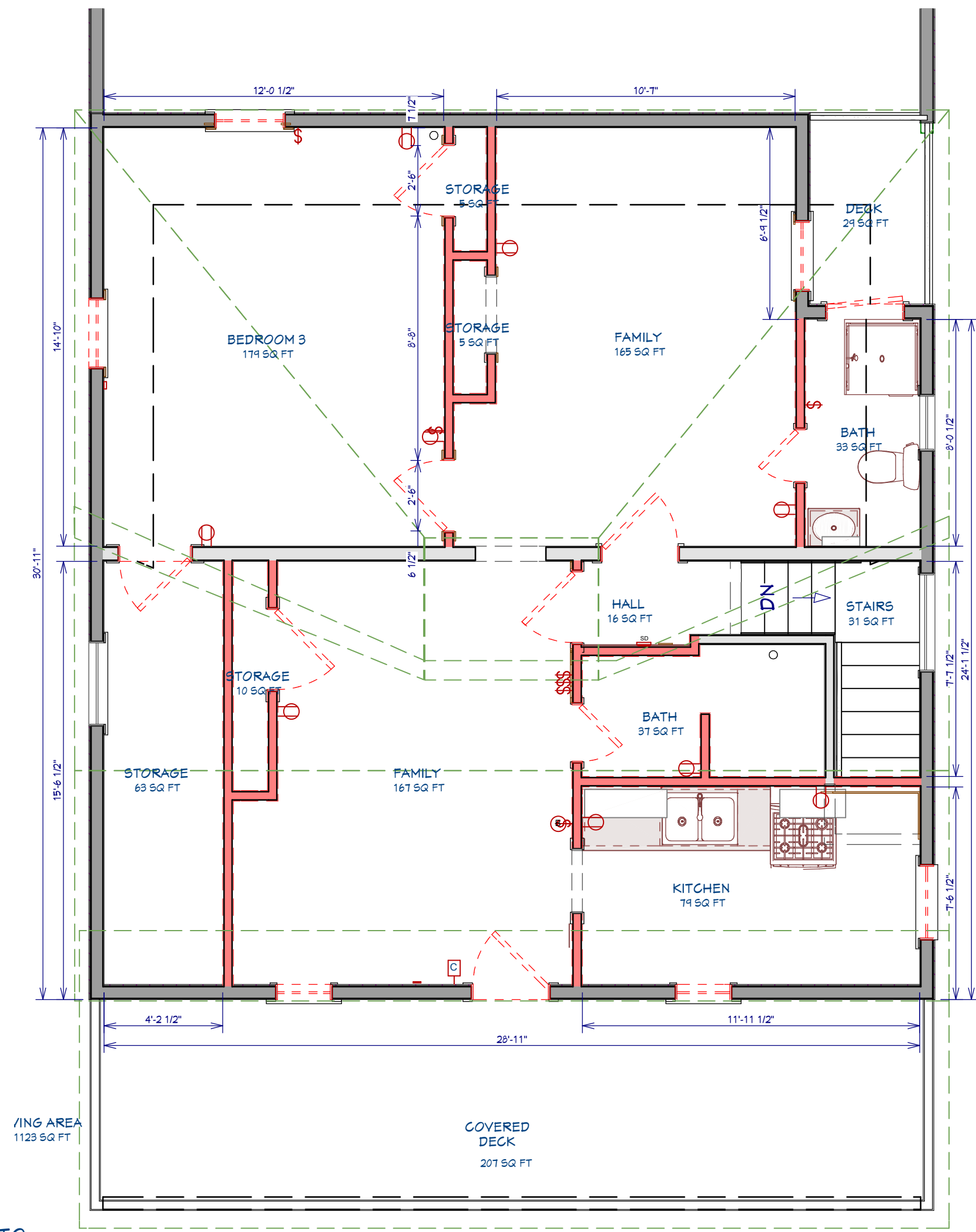
- 1 DEMO & DISPOSE OF REMAINING VANITY/PLUMBING FIXTURE/CABINERY.
- 2 EXISTING REPLACEMENT WINDOW TO BE REMOVED - PREP OPENING FOR NEW WOOD WINDOW.
- 3 SELECTIVE DEMOLITION OF EXISTING WALL FOR NEW WINDOW/DOOR OPENING PER PROPOSED PLANS.
- 4 EVALUATE CONDITION OF EXISTING PORCH FLOOR FRAMING AND T&G FLOORING - REPAIR/REPLACE DAMAGED OR UNDERSIZED FRAMING & PREP FRAMING FOR NEW PORCH FLOORING.
- 5 REMOVE REMAINING PORCH CEILING AT 1ST & 2ND FLOORS & EVALUATE CONDITION OF EXISTING PORCH ROOF FRAMING - PREP CEILING/FRAMING FOR NEW PORCH CEILING BEADBOARD.
- 6 DEMO & DISPOSE OF PORCH FLOOR FRAMING & DECK - EXISTING COLUMN, FOUNDATION & ROOF SYSTEM TO REMAIN.
- 7 DEMO & DISPOSE OF EXISTING CONCRETE STEPS & SIDEWALKS - SEE SITE PLAN ON SHEET #2 FOR ADDITIONAL SITE DEMOLITION WORK.
- 8 DEMO & DISPOSE OF ROOF SHINGLES & ASSOC. FLASHING IN ITS ENTIRETY - REPAIR ROOF FRAMING/RAFTER TAILS & 1x ROOF SHEATHING AS NEEDED & PREP FOR NEW 1/2" ROOF SHEATHING.



EXISTING BASEMENT PLAN  
SCALE 1/4"=1'-0"



EXISTING 1st FLOOR PLAN  
SCALE 1/4"=1'-0"



EXISTING 2nd FLOOR PLAN  
SCALE 1/4"=1'-0"



DRAWINGS TO SCALE IF PRINTED ON 24 x 36 SHEET

SHEET NUMBER  
**3**  
PROGRESS SET

EXISTING/DEMOLITION  
FLOOR PLANS  
DRAWN BY: KLS  
DATE: June 17, 2024

**MONTONA RESIDENCE**  
714 Lexington Avenue  
Indianapolis, Indiana 46203

**EMERGENT**  
CONSTRUCTION





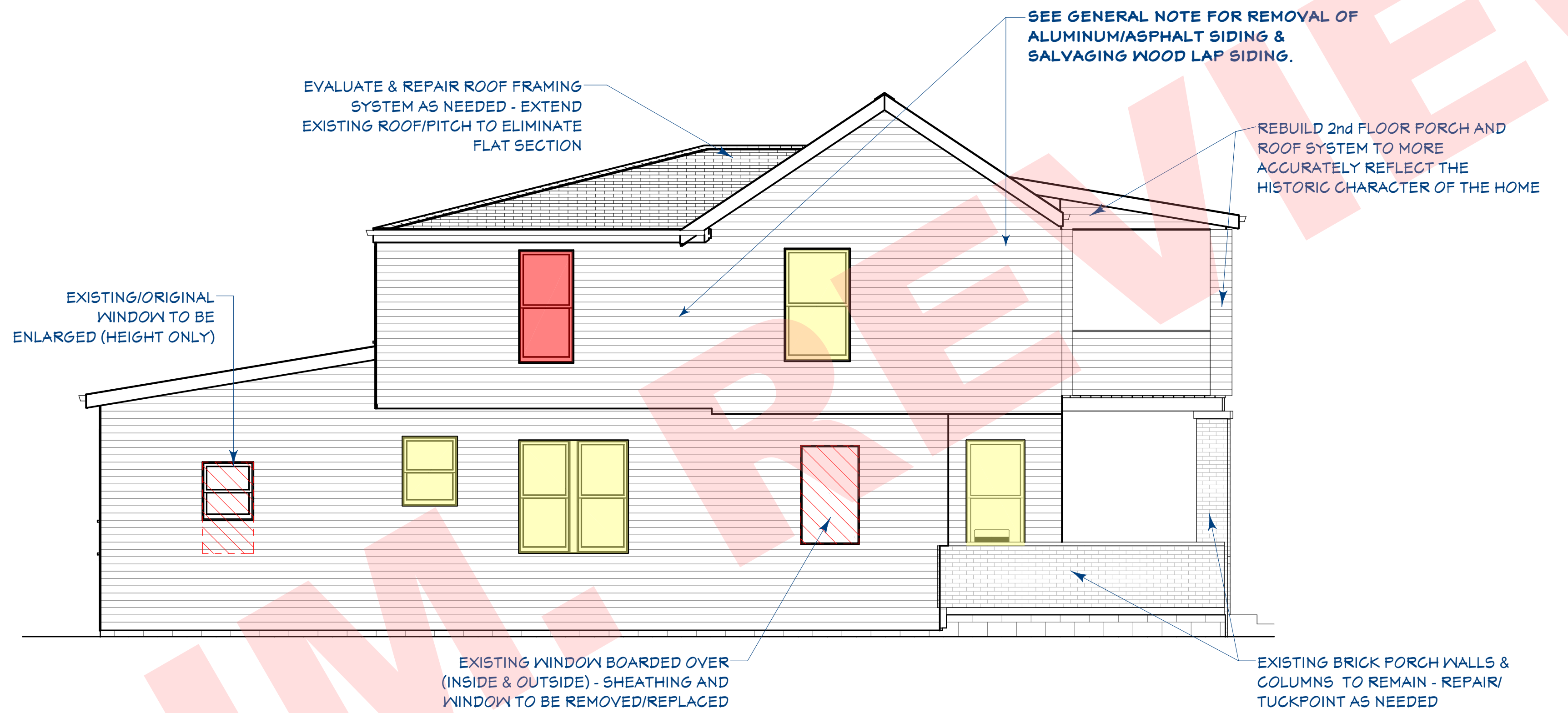
**GEN. DEMOLITION ELEVATION NOTES:**

- 2nd FLOOR PORCH ROOF & FLOOR FRAMING TO BE REPAIRED/REBUILT AS NEEDED.
- ALL EXTERIOR ALUM./ASPHALT SIDING TO BE REMOVED & DISPOSED OF.
- EVALUATE CONDITION OF EXISTING WOOD SIDING - REPAIR/REPLACE WITH CEDAR SIDING TO MATCH AS NEEDED.
- REMOVAL OF ALL ROOF SHINGLES AND DAMAGED SHEATHING - REPLACE AS NEEDED & PREP FOR NEW ASPHALT SHINGLES.
- REMOVAL OF ALL STORM WINDOWS.
- ALL (NON-HISTORIC) EXTERIOR DOORS TO BE REMOVED & REPLACED W/ NEW DOORS THAT COMPLEMENT THE ARCHITECTURAL CHARACTER OF THE HOME.

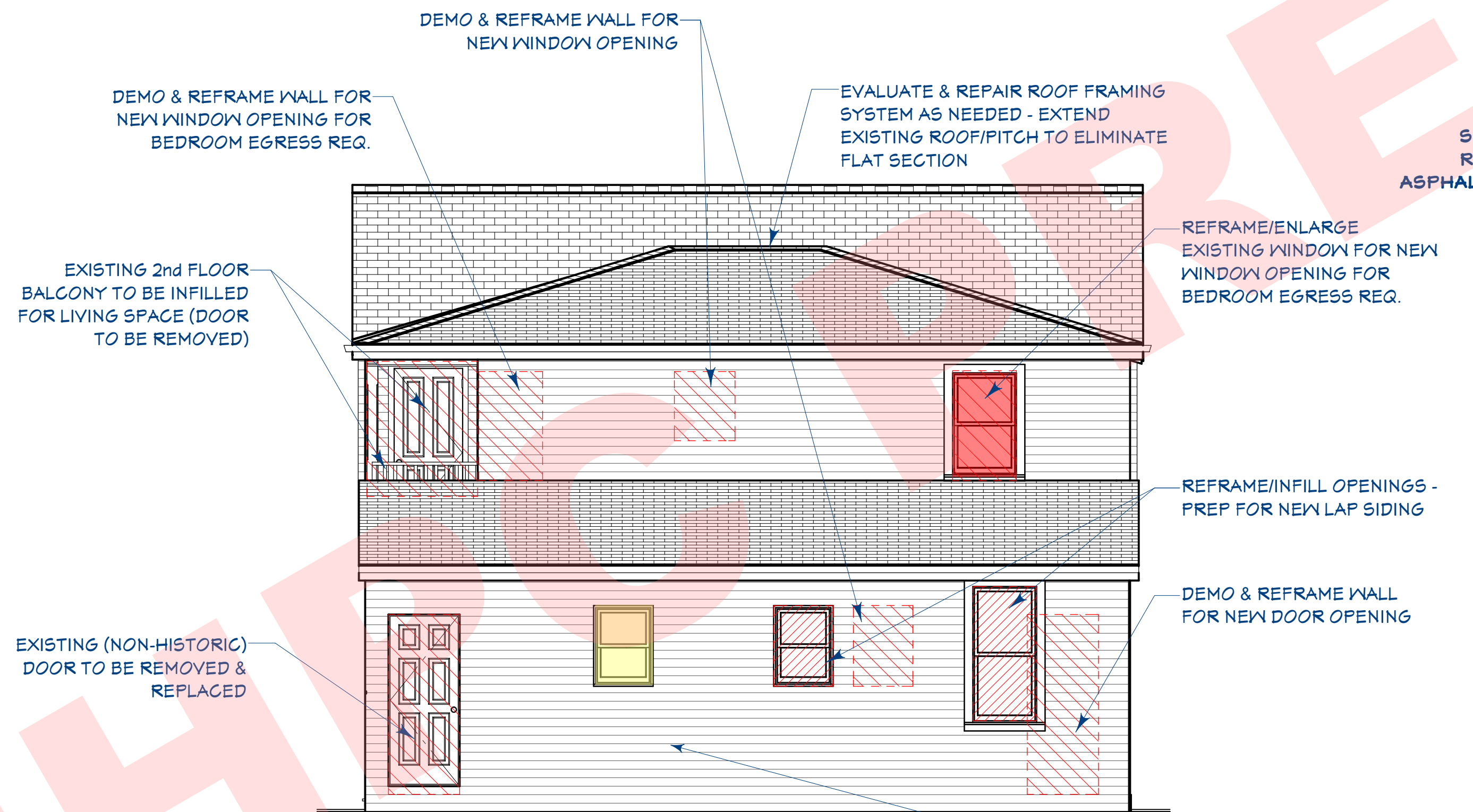
- ORIGINAL WOOD WINDOW TO REMAIN - REPAIR/RESTORE AS NEEDED
- ALUMINUM REPLACEMENT WINDOW TO BE REMOVED - REPLACE W/ NEW WOOD REPLACEMENT WINDOW
- EXTERIOR DEMO WORK AS NOTED



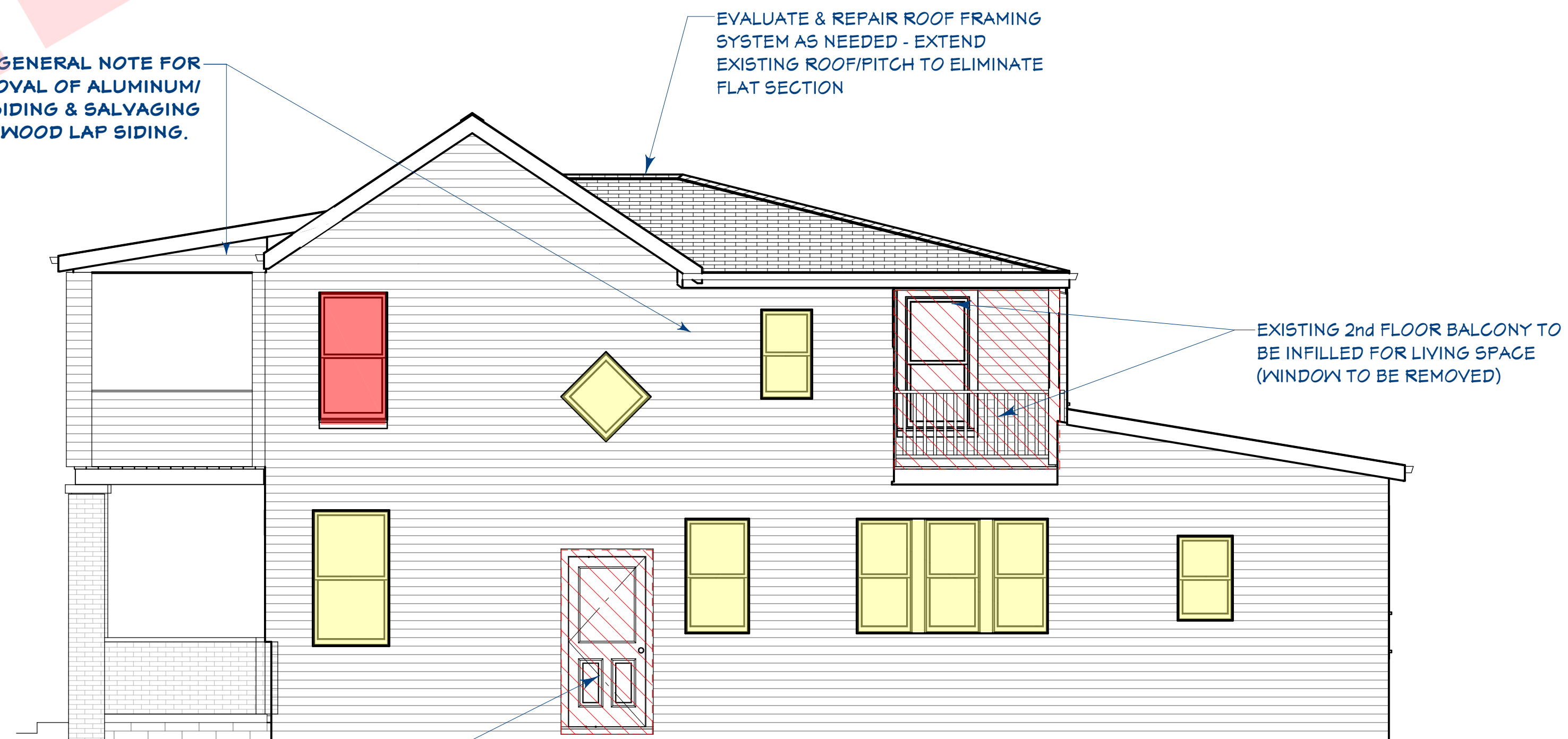
**SOUTH ELEVATION**  
SCALE 1/4"=1'-0"



**WEST ELEVATION**  
SCALE 1/4"=1'-0"



**NORTH ELEVATION**  
SCALE 1/4"=1'-0"



**EAST ELEVATION**  
SCALE 1/4"=1'-0"







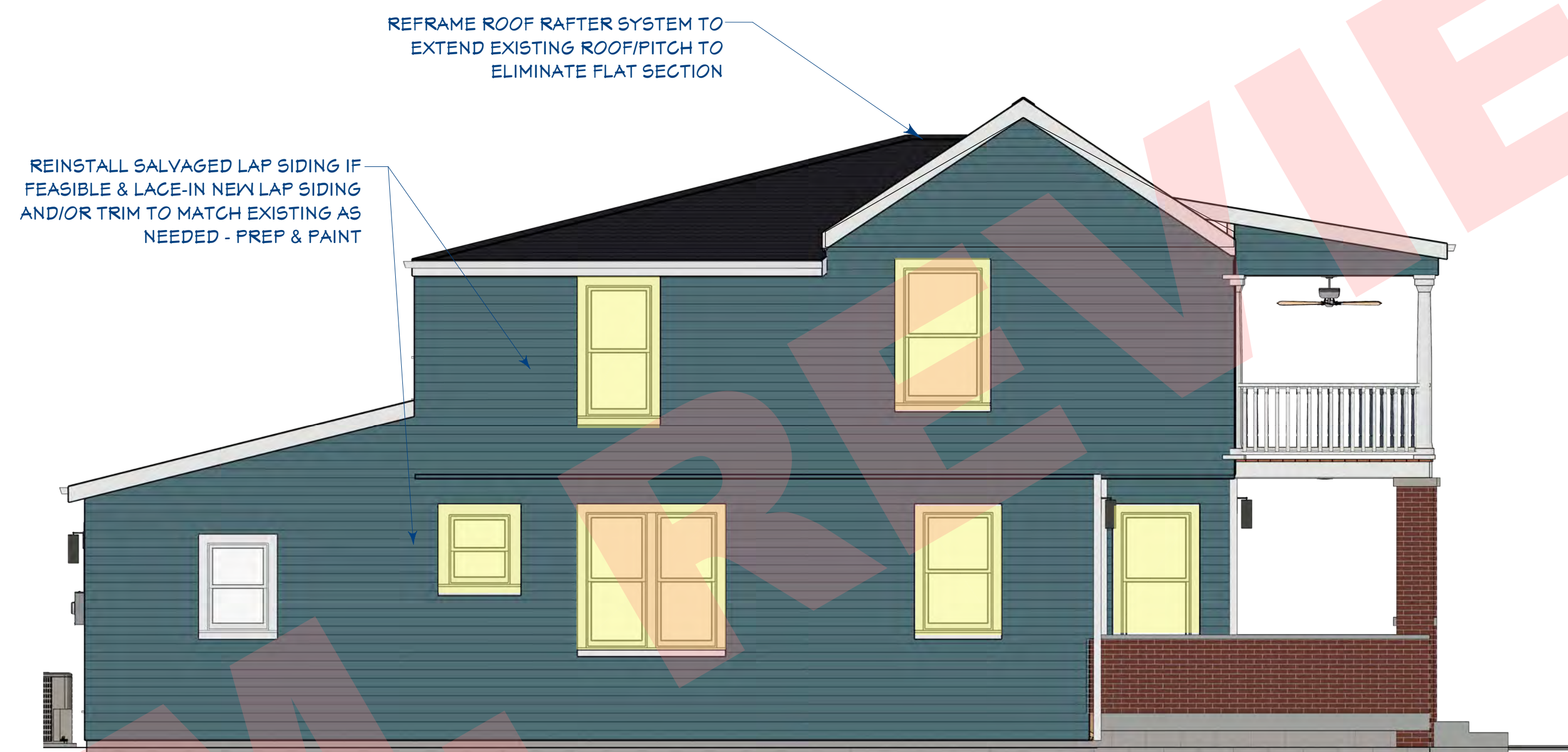


**GEN. CONSTRUCTION NOTES:**

 - INDICATES ORIGINAL DOOR/WINDOW LOCATION TO REMAIN



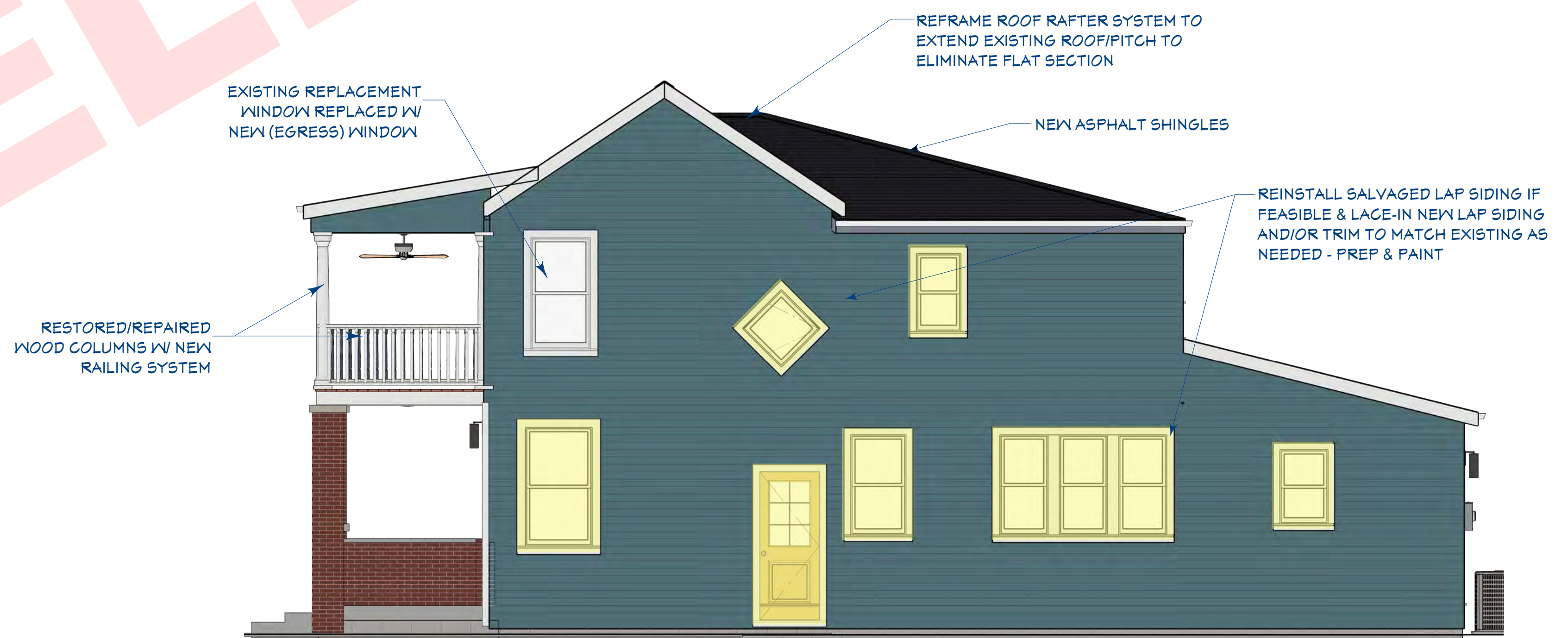
**SOUTH ELEVATION**  
SCALE 1/4"=1'-0"



**WEST ELEVATION**  
SCALE 1/4"=1'-0"



**NORTH ELEVATION**  
SCALE 1/4"=1'-0"



**EAST ELEVATION**  
SCALE 1/4"=1'-0"

SHEET NUMBER  
**6**  
PROGRESS SET

**PROPOSED ELEVATIONS**

DRAWN BY: **KLS** DATE: **June 17, 2024**

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Indianapolis, Indiana 46203

**EMERGENT**  
CONSTRUCTION



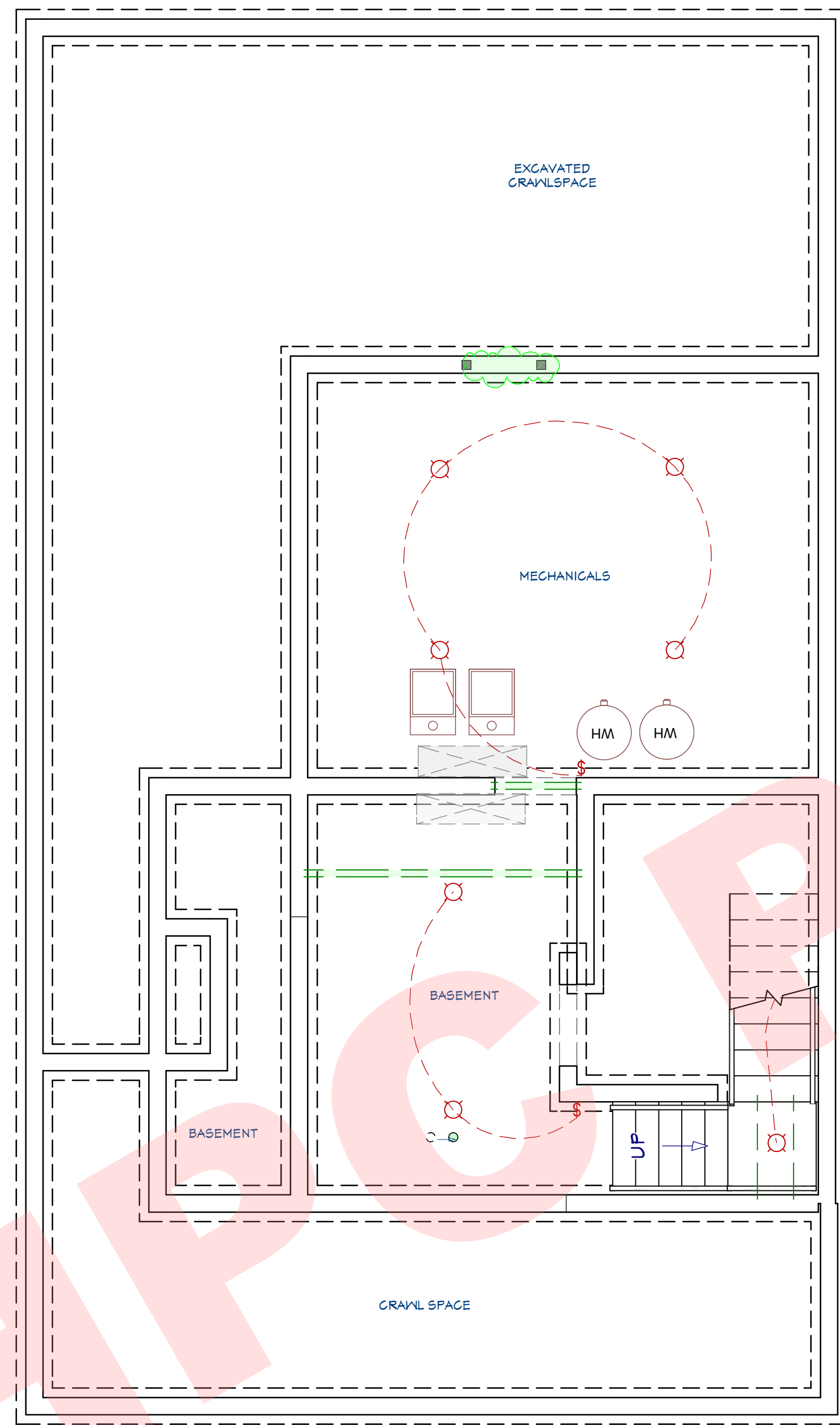


**GEN. ELECTRICAL NOTES:**

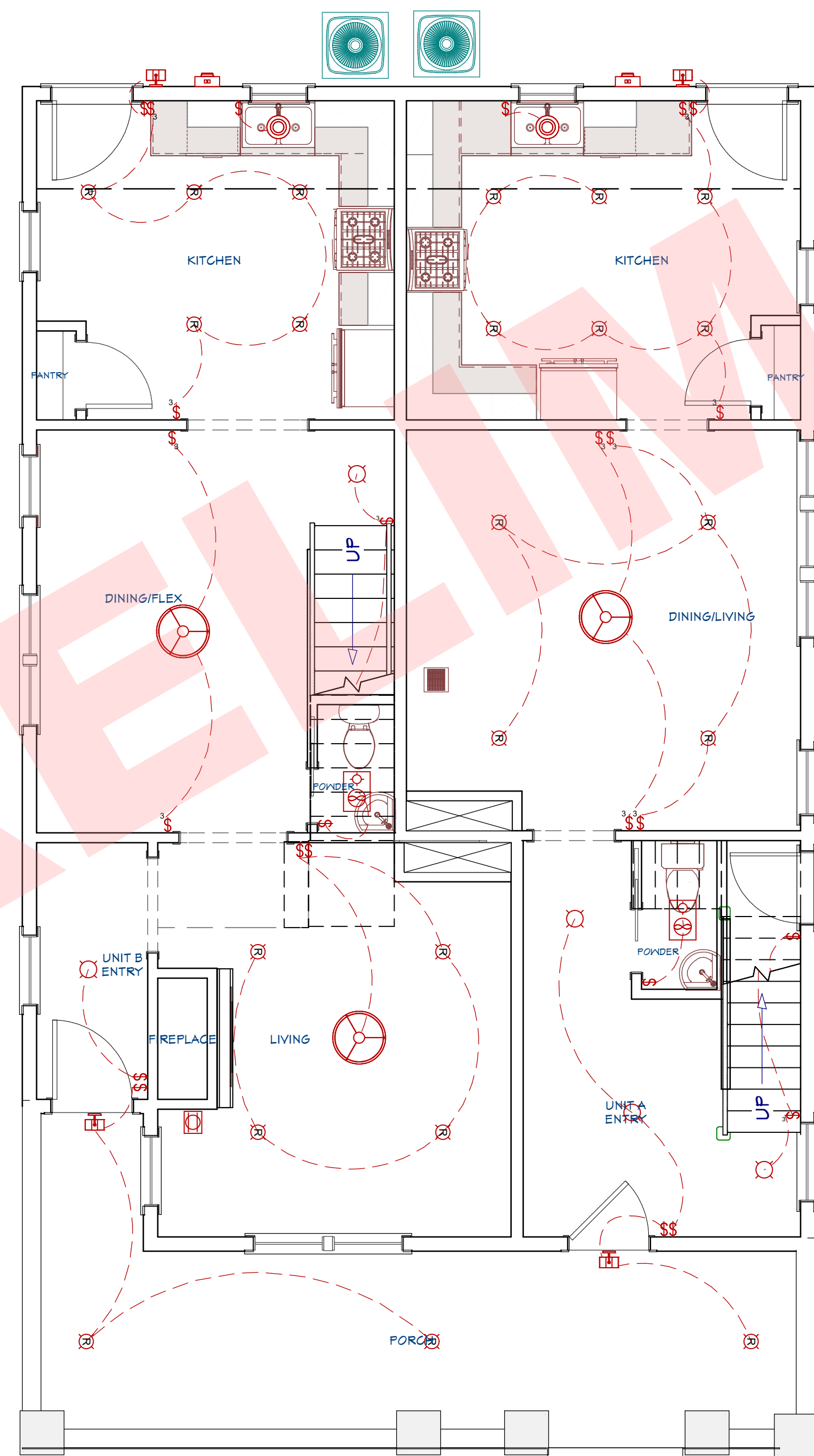
- ELECTRICAL WORK & SAFETY DETECTION DEVICES TO BE INSTALLED PER STATE & LOCAL CODES.
- LOCATION, TYPE & QUANTITY/NUMBER OF ELECTRICAL OUTLETS TO BE INSTALLED PER STATE & LOCAL CODES.
- NEW 200 AMP SERVICE TO SERVE EACH UNIT - RE-SET NEW ELECTRIC METER BASES ON REAR/NORTH WALL.
- ELECTRICAL ROUGH-IN'S FOR OUTLETS & FIXTURES PER PLANS - DIMENSIONS SHOWN ARE APPROXIMATE (FIELD VERIFY).
- ALL DIMENSIONS SHOWN ARE TO FINISHED DRYWALL.

**GEN. HYAC/PLUMBING NOTES:**

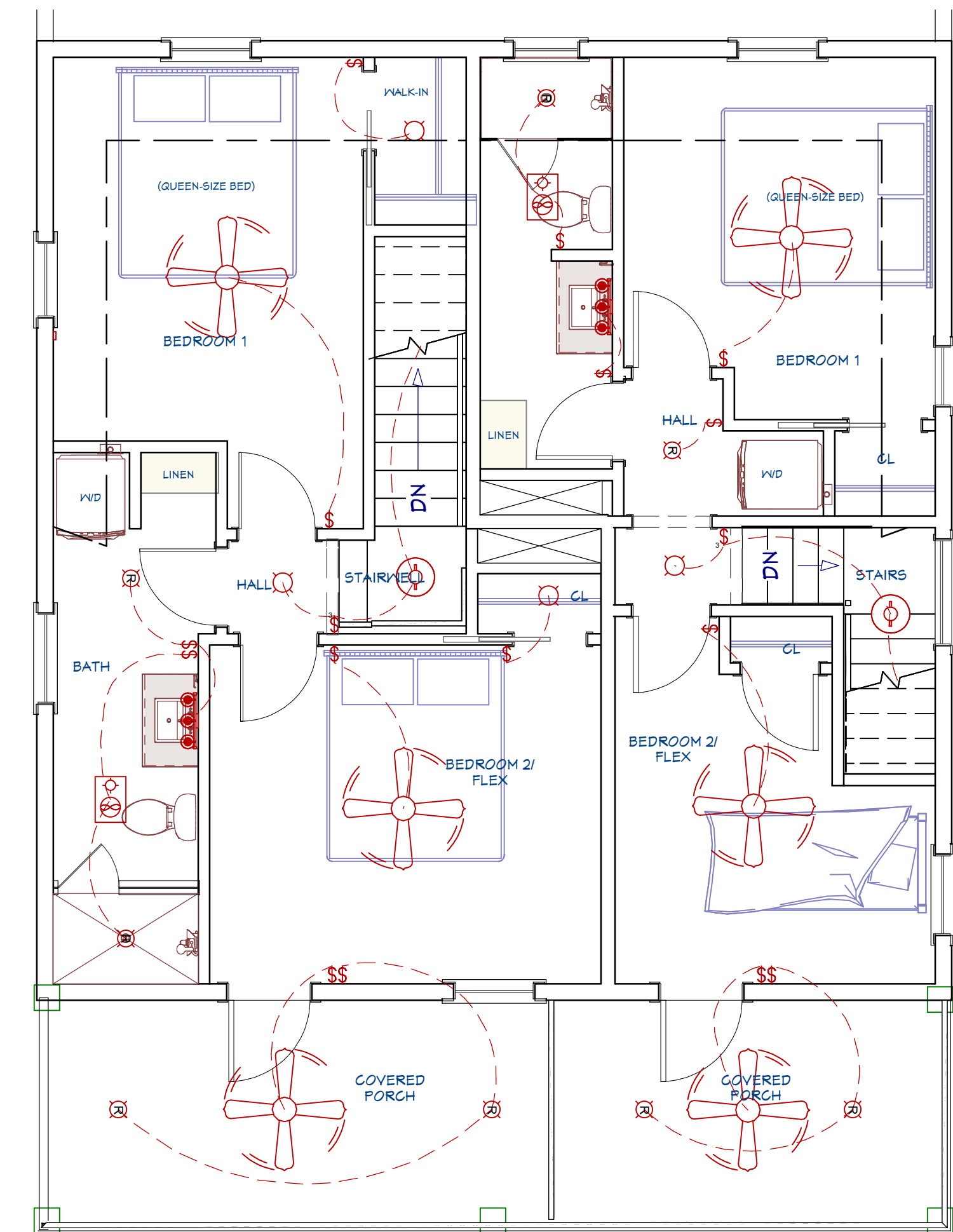
- PLUMBING & HYAC WORK TO BE DONE PER STATE & LOCAL CODES.
- PROVIDE NEW (1" OR 3/4") SUPPLY LINE FROM PUBLIC SERVICE LINE TO HOUSE
- ROUGH-IN PLUMBING & HYAC PER PLANS - DIMENSIONS SHOWN ARE APPROXIMATE (FIELD VERIFY).
- HYAC SYSTEM SIZING & EXACT AIR SUPPLY/RETURN LOCATIONS TO BE DETERMINED BY HYAC CONTRACTOR.



**BASEMENT MEP PLAN**  
SCALE 1/4"=1'-0"



**1st FLOOR MEP PLAN**  
SCALE 1/4"=1'-0"



**2nd FLOOR MEP PLAN**  
SCALE 1/4"=1'-0"



SHEET NUMBER

7

PROGRESS SET

PROPOSED MEP PLANS

DATE June 17, 2024

DATE

KLS

DRAWN BY

**MONTONYA RESIDENCE**

714 Lexington Avenue  
Indianapolis, Indiana 46203

**EMERGENT**  
CONSTRUCTION







NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATIONS



WEST ELEVATIONS



**GEN. DEMOLITION ELEVATION NOTES:**

- 2nd FLOOR PORCH ROOF & FLOOR FRAMING TO BE REPAIRED/REBUILT AS NEEDED.
- ALL EXTERIOR ALUM./ASPHALT SIDING TO BE REMOVED TO DETERMINE CONDITION OF ORIGINAL WOOD LAP SIDING.
- REMOVAL OF ALL ROOF SHINGLES AND DAMAGED SHEATHING - REPLACE AS NEEDED & PREF FOR NEW ASPHALT SHINGLES.
- REMOVAL OF ALL STORM WINDOWS.
- ALL (NON-HISTORIC) EXTERIOR DOORS TO BE REMOVED & REPLACED W/ NEW DOORS THAT COMPLEMENT THE ARCHITECTURAL CHARACTER OF THE HOME.

SHEET NUMBER

8

PROGRESS SET

EXISTING CONDITIONS

DATE

June 17, 2024

BY

KLS

**MONTONA RESIDENCE**

714 Lexington Avenue  
Indianapolis, Indiana 46203

**EMERGENT**  
CONSTRUCTION





# 714 Lexington Avenue

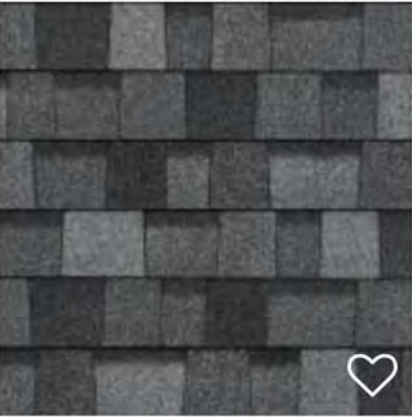
Exterior | Fixtures | Finishes



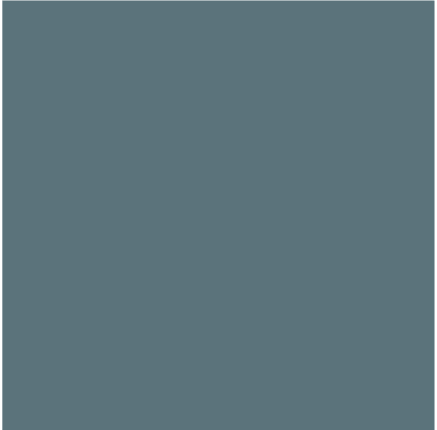
**714 Lexington Ave. Proposed Rendering**



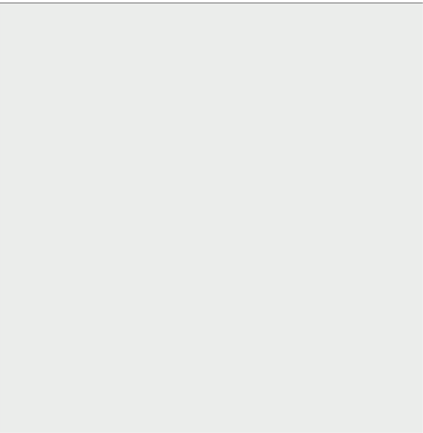
**Shingles**



**Slatestone Gray**



**1) Main House – Bella Blue**



**2) All Trim, Soffits, Window Trim – Chalk White**



**3) Exterior Doors – Yellow Raincoat**



714 Lexington Ave. - Exterior Selections (Part A)



[10" Millennium Lighting Sconce](#)



[Sea Wind Outdoor Fan 48"](#)



714 Lexington Ave. - Exterior Selections (Part A)

714

[Baldwin House Numbers](#)

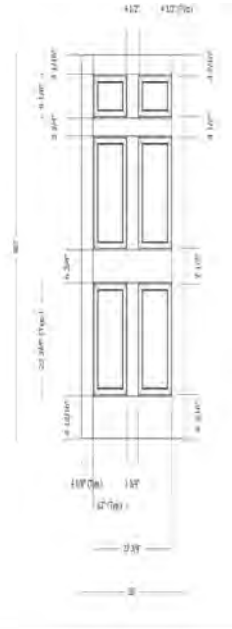


**2130 Traditional**

SERIES: Traditional Exterior Doors  
 DOOR DESIGN: 2130  
 QUANTITY: 1

**DOOR SPECIFICATIONS**

SPECIES: Fir  
 WOOD GRADE: Select  
 WIDTH: 3-0"  
 HEIGHT: 6-8"  
 THICKNESS: 1 3/4"  
 PROFILE: Ovolo Sticking  
 PANEL: 3/4" DHRP  
 ADDITIONAL OPTIONS:  
 Cartoned



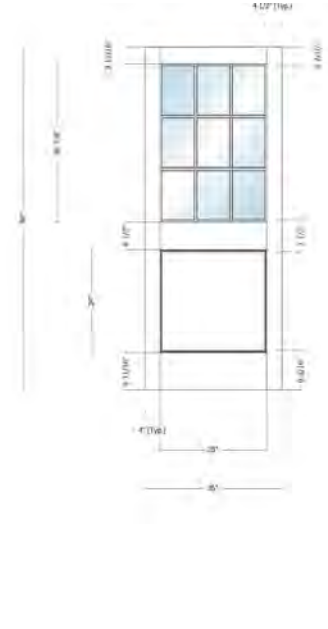
Front Doors

**37982 Thermal Sash (SDL)**

SERIES: Exterior French & Sash Doors  
 DOOR DESIGN: 37982  
 QUANTITY: 1

**DOOR SPECIFICATIONS**

SPECIES: Fir  
 WOOD GRADE: Select  
 WIDTH: 3-0"  
 HEIGHT: 6-8"  
 THICKNESS: 1 3/4"  
 PROFILE: Ovolo Sticking  
 GLASS: Clear / Clear  
 GRILLE: 7/8" Ovolo SDL  
 PANEL: 1-5/16" Panel with Bevel Raised Edge  
 ADDITIONAL OPTIONS:  
 UltraBlock® Technology  
 Cartoned



Balcony and Side/Rear Doors

\*\*Colors not pictured accurately, see colors on page 2

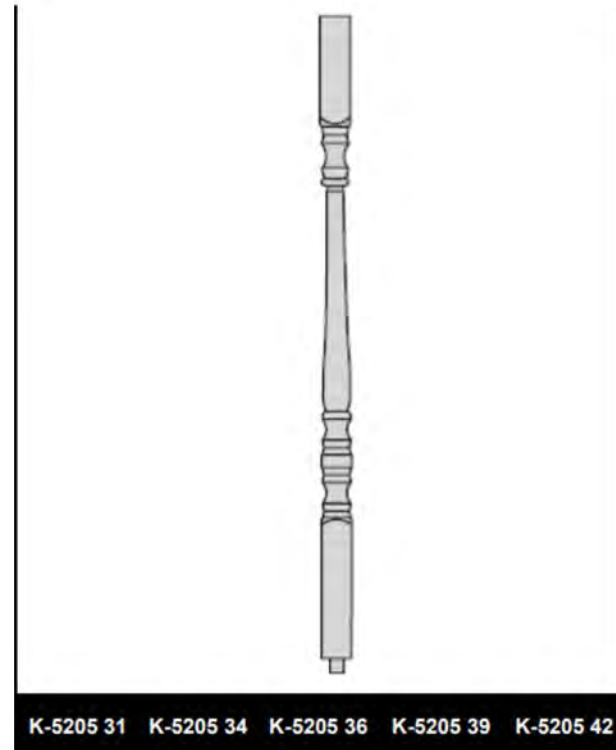
[Townhouse Wall Mounted Mailbox](#)



## 714 Lexington Ave. - Exterior Selections (Part A)



Original 2<sup>nd</sup> Story Columns



New Balusters



**2024-COA-222 (CH)**  
**1316 E. 9th ST. (AKA 916**  
**N. ORIENTAL ST.**



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# ACH THIS FORM TO THE ELECTRONIC COPY OF YOUR SUBMITTED DRAWINGS

Drawings must be 11 x 17 and in color.

- Please make sure to include to-scale site plans, to-scale elevations with (directions appropriately marked; north, south, east, west, etc.,) streetscapes, 3-D drawings and other documentation as required by your reviewer.
- Drawings must be submitted by the documentation deadline of \_\_\_\_\_ (unless otherwise directed by IHPC staff) no later than **5 PM**.

If you have any questions, please contact your reviewer or the IHPC office manager at **317 327-4406** or by email at **IHPC@indy.gov**.

DATE RECEIVED	CASE INFORMATION
	<hr/> COA NUMBER:  <hr/> ADDRESS WHERE WORK IS TO BE DONE:  <hr/> APPLICANT NAME:  <hr/> HEARING DATE:



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KINSEY  
CONSTRUCTION

1316 E 9TH STREET

Indianapolis, IN

7/6/24

000

COVER SHEET

Scale

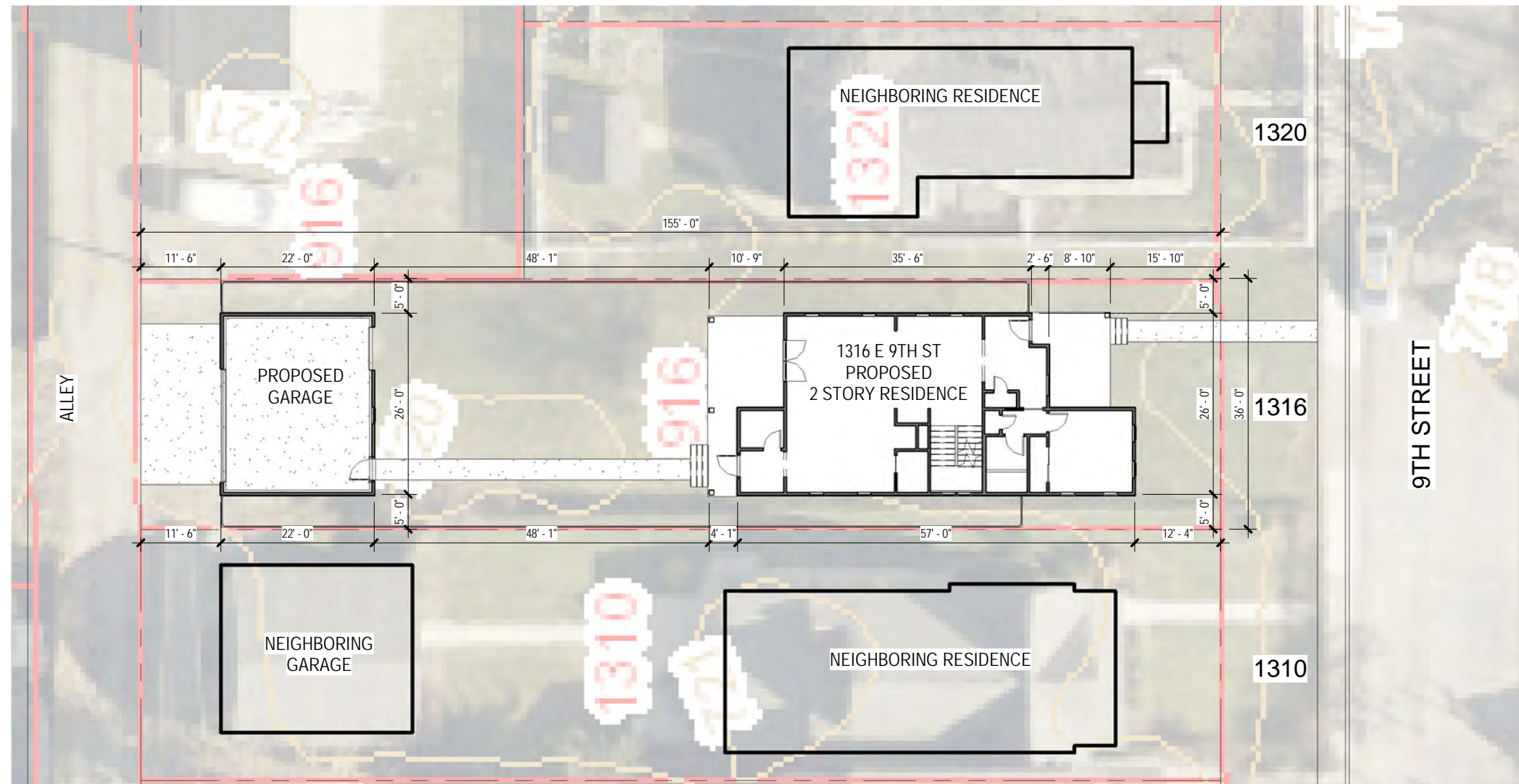
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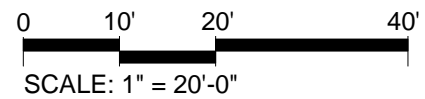
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1 SITE PLAN  
1" = 20'-0"



FLOOR AREAS	
LEVEL	AREA
BASEMENT	1214 SF
FIRST FLOOR	1228 SF
SECOND FLOOR	865 SF
HOUSE TOTAL	3308 SF

LOT SIZE: 5,580 SF  
BUILDING AREA: 1,720 SF + 672 SF = 2,392 SF

OPEN SPACE:  
5,580-2,392 = 3,188  
3,188/5,580 = 57.1%



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1316 E 9TH STREET

Indianapolis, IN

7/6/24

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SITE PLAN

Scale 1" = 20'-0"



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1 STREETScape  
3/32" = 1'-0"

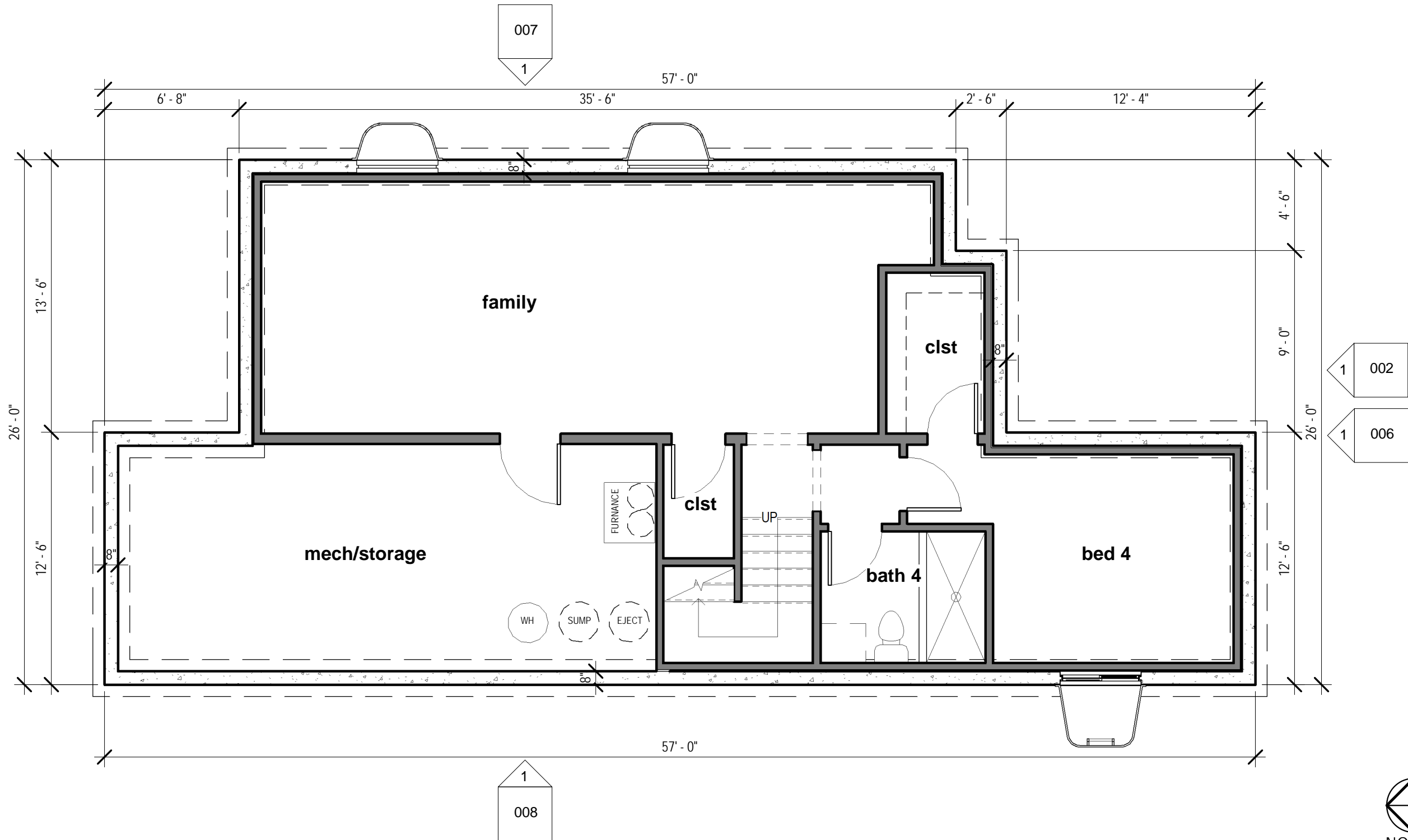


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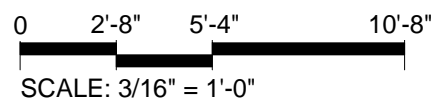
JULY 23, 2024

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006 2



1 BASEMENT FLOOR PLAN  
3/16" = 1'-0"



1214 SF



**KINSEY**  
CONSTRUCTION

1316 E 9TH STREET

Indianapolis, IN

7/6/24

003

BASEMENT PLAN

Scale 3/16" = 1'-0"

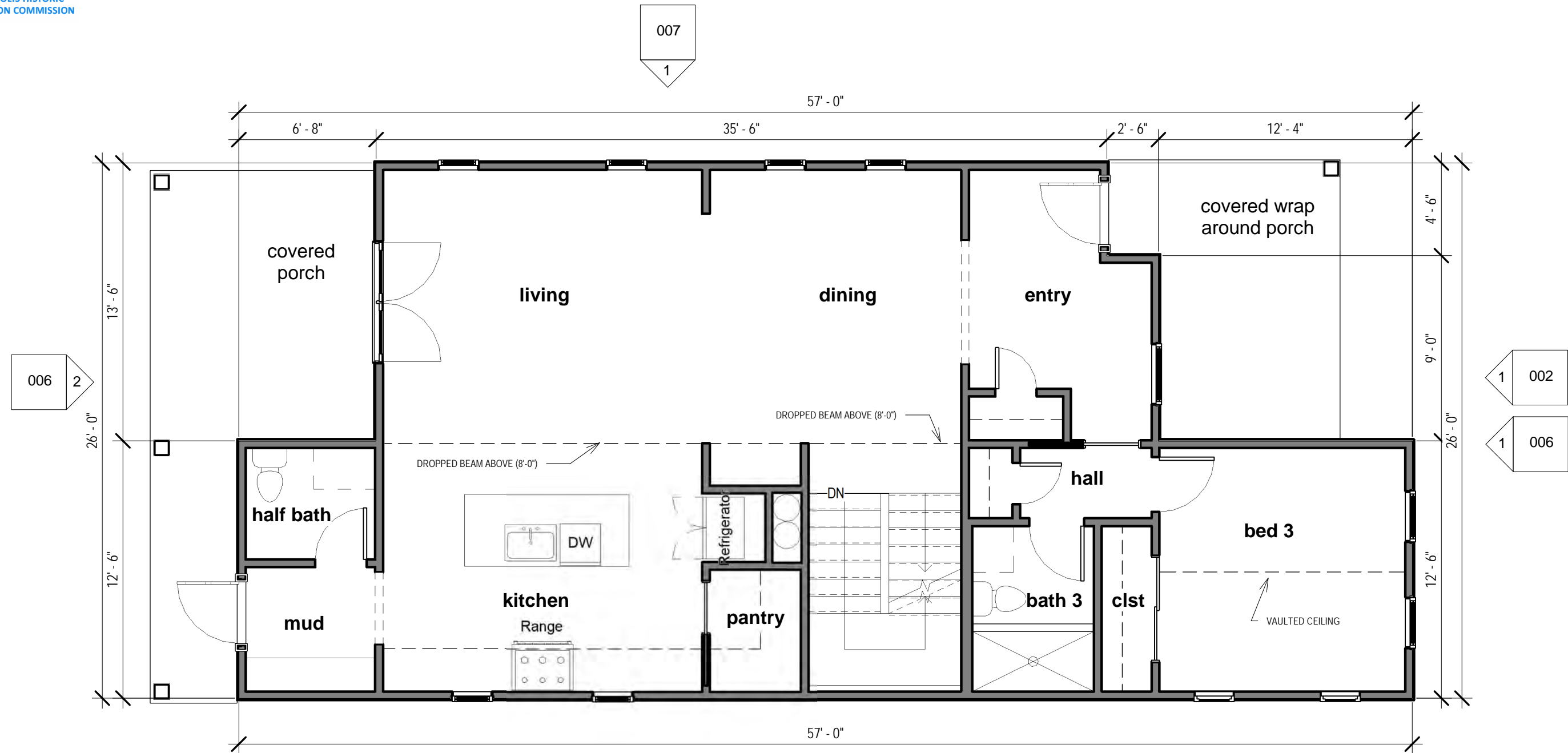
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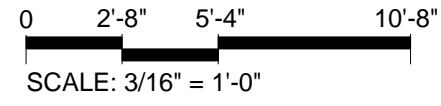
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1 FIRST FLOOR PLAN  
3/16" = 1'-0"



1228 SF



1316 E 9TH STREET

Indianapolis, IN

7/6/24

004

FIRST FLOOR PLAN

Scale 3/16" = 1'-0"

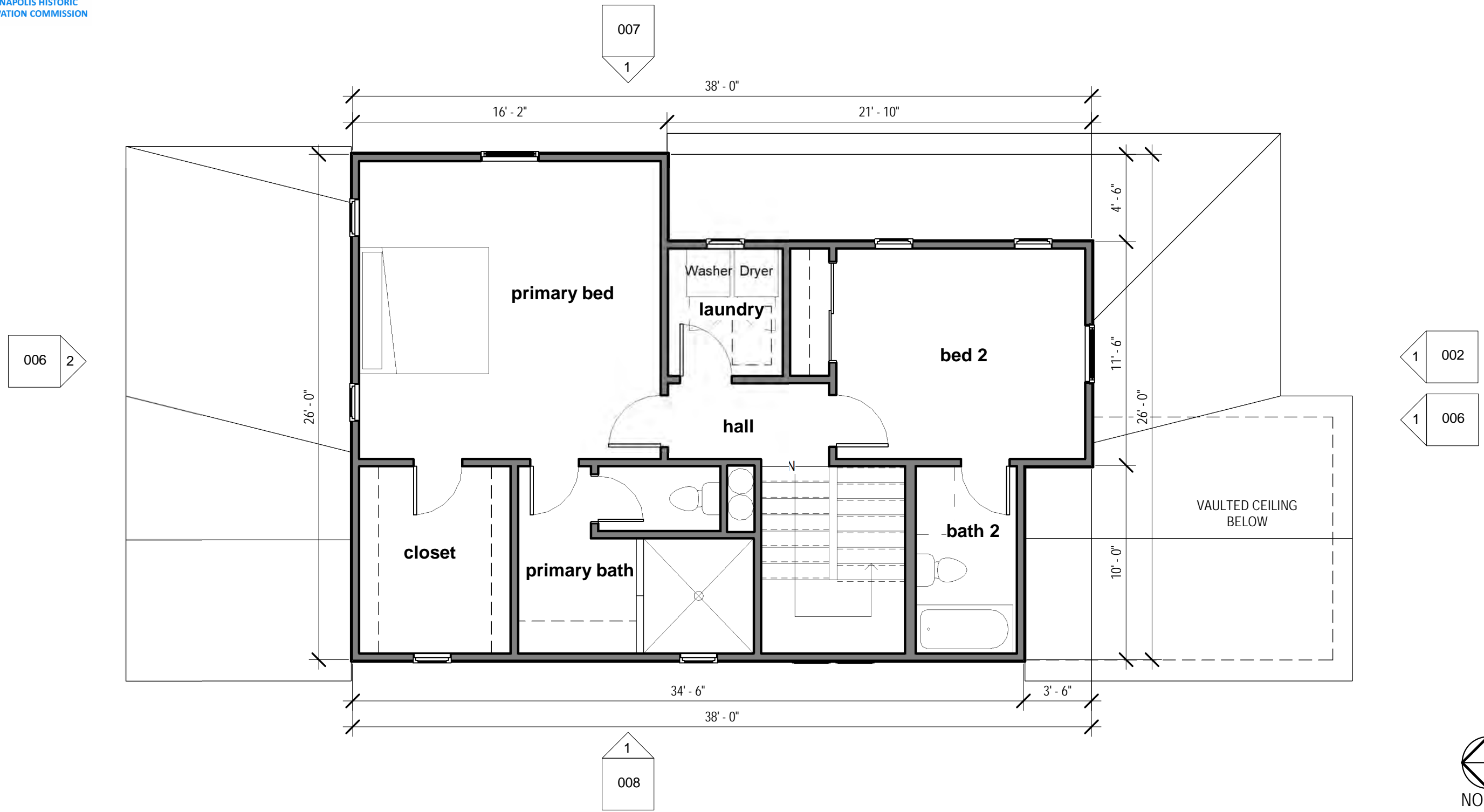
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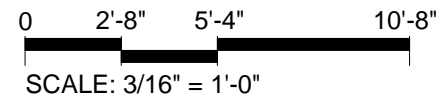
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1 SECOND FLOOR PLAN  
3/16" = 1'-0"



865 SF



1316 E 9TH STREET

Indianapolis, IN

7/6/24

005

SECOND FLOOR PLAN

Scale 3/16" = 1'-0"

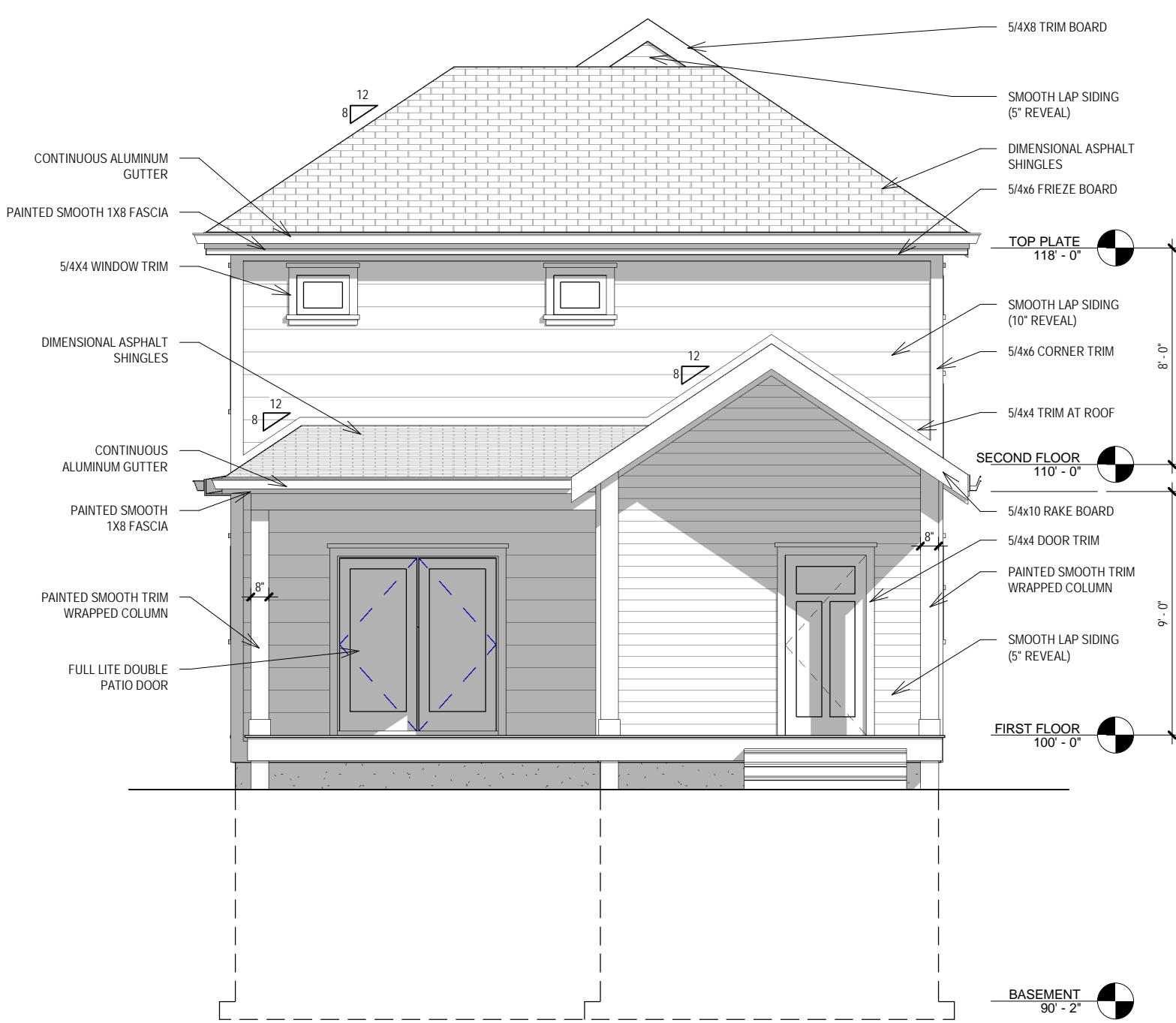
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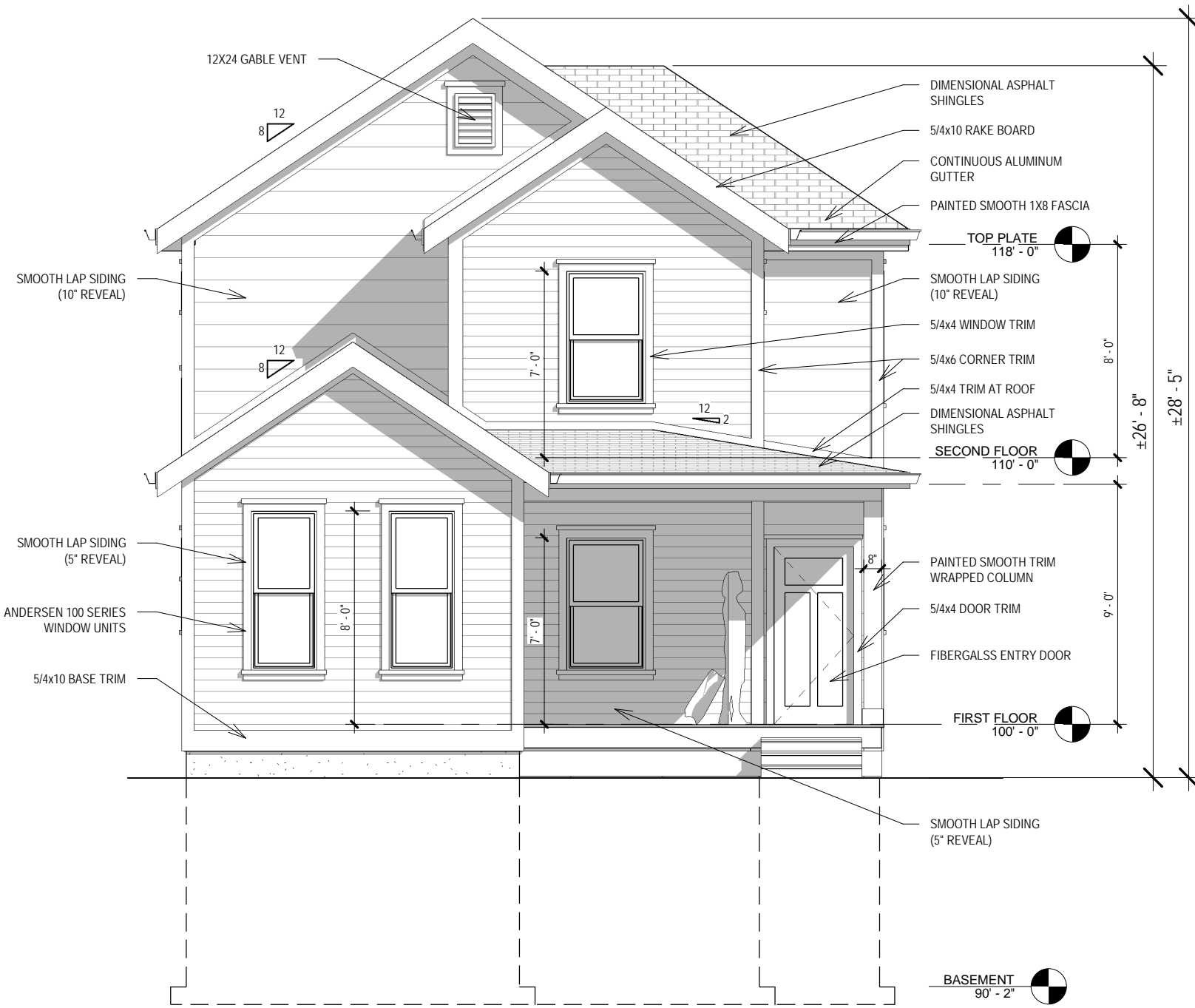
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2 NORTH ELEVATION  
3/16" = 1'-0"



1 SOUTH ELEVATION  
3/16" = 1'-0"



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1316 E 9TH STREET

006

Indianapolis, IN

EXTERIOR ELEVATIONS

7/6/24

Scale 3/16" = 1'-0"

7/6/2024 1:52:22 PM



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① EAST ELEVATION  
3/16" = 1'-0"



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CONSTRUCTION

1316 E 9TH STREET

007

Indianapolis, IN

7/6/24

EXTERIOR ELEVATIONS

Scale 3/16" = 1'-0"

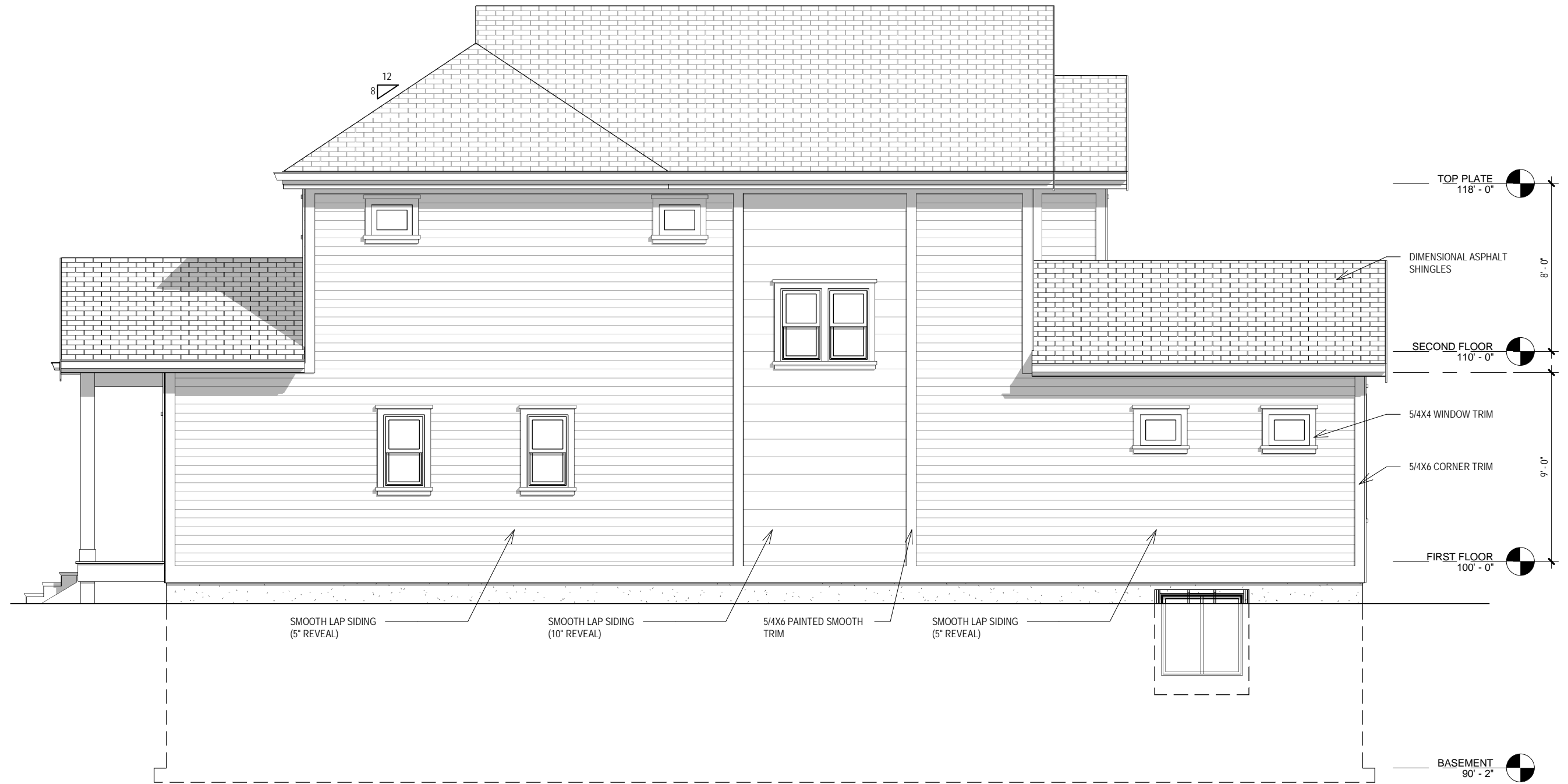
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① WEST ELEVATION  
3/16" = 1'-0"



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CONSTRUCTION

1316 E 9TH STREET

008

Indianapolis, IN

EXTERIOR ELEVATIONS

7/6/24

Scale 3/16" = 1'-0"

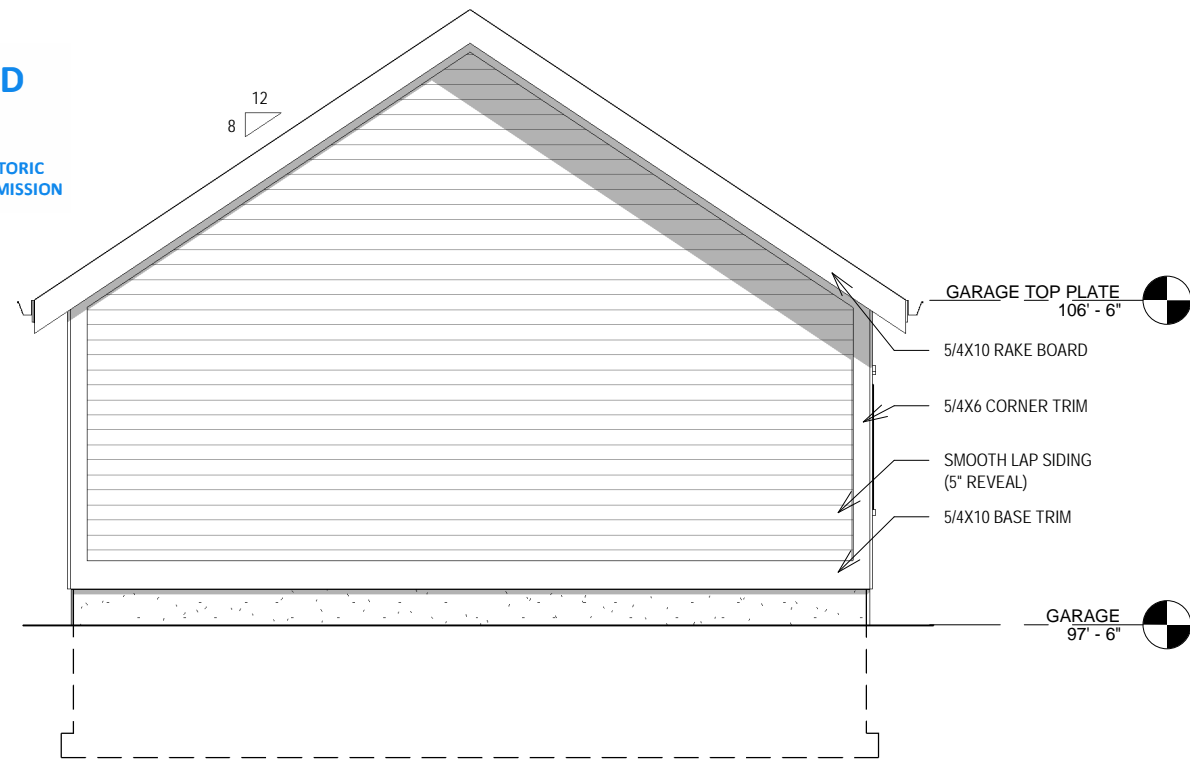
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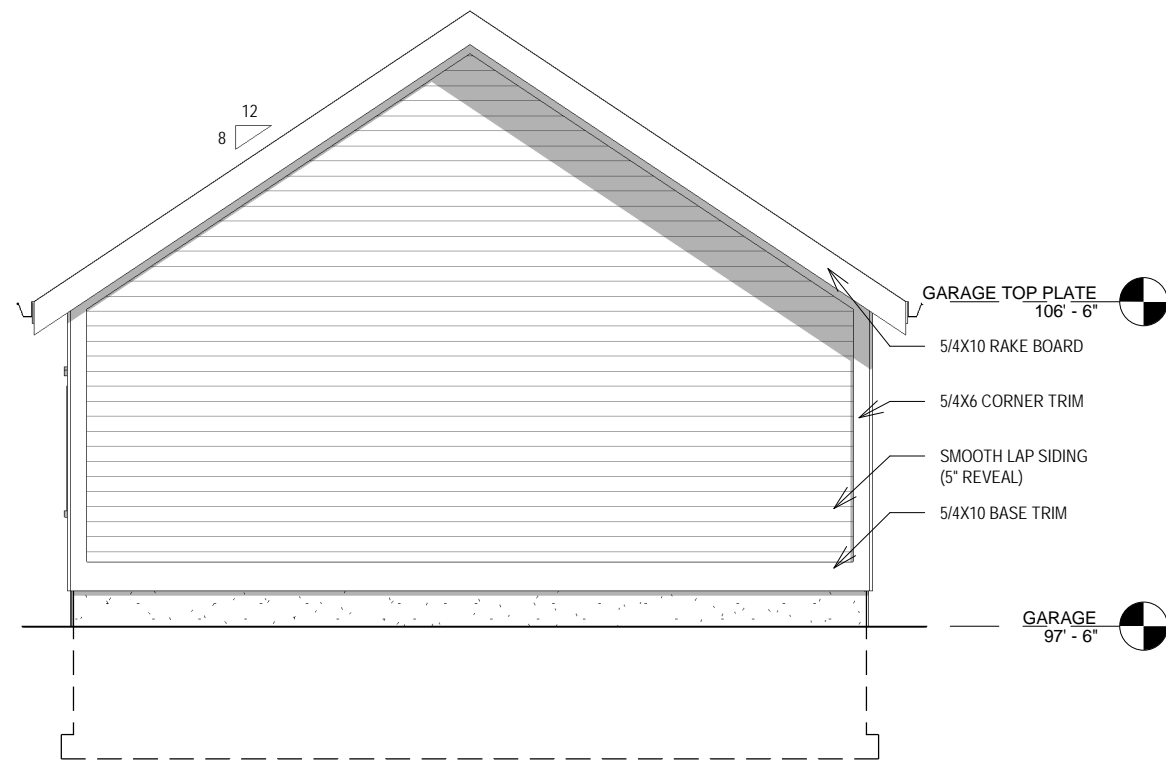
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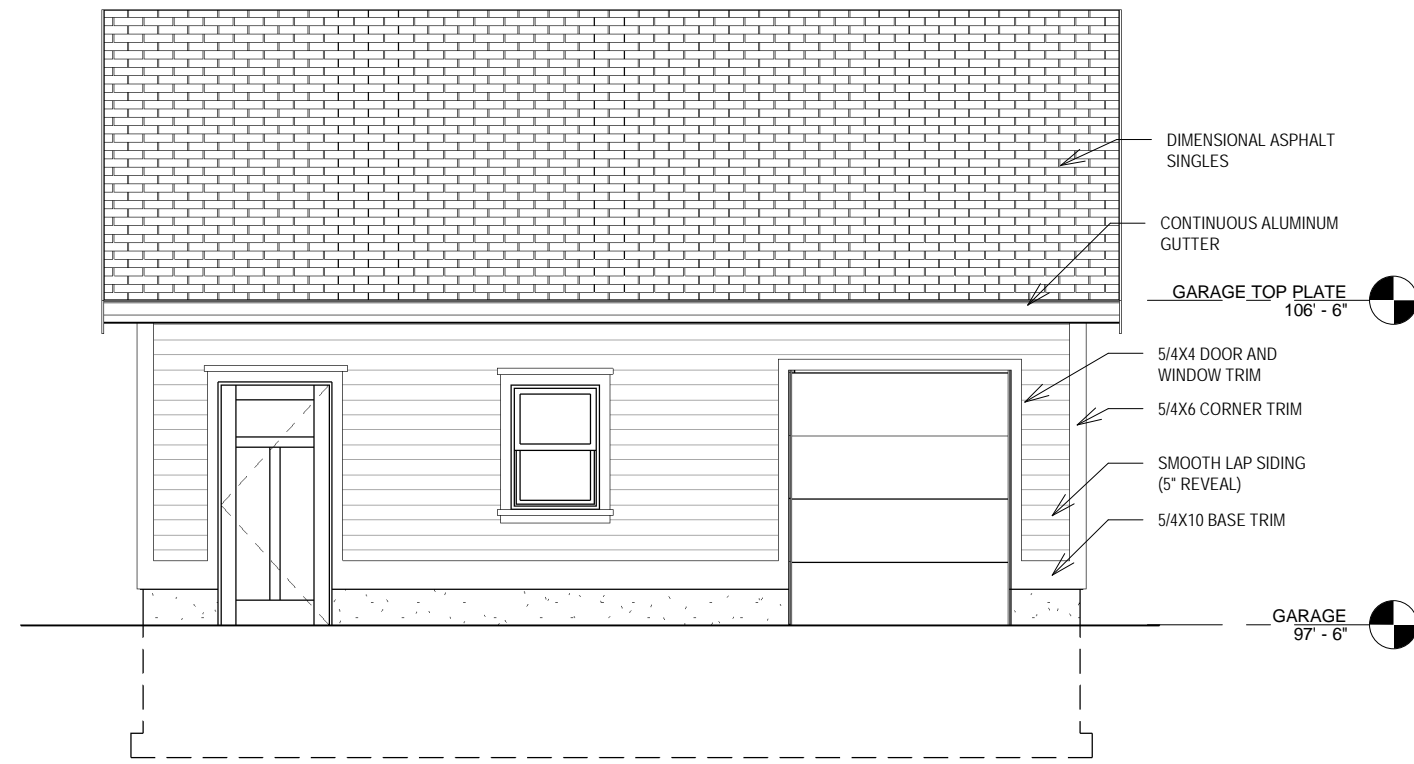
INDIANAPOLIS HISTORIC PRESERVATION COMMISSION



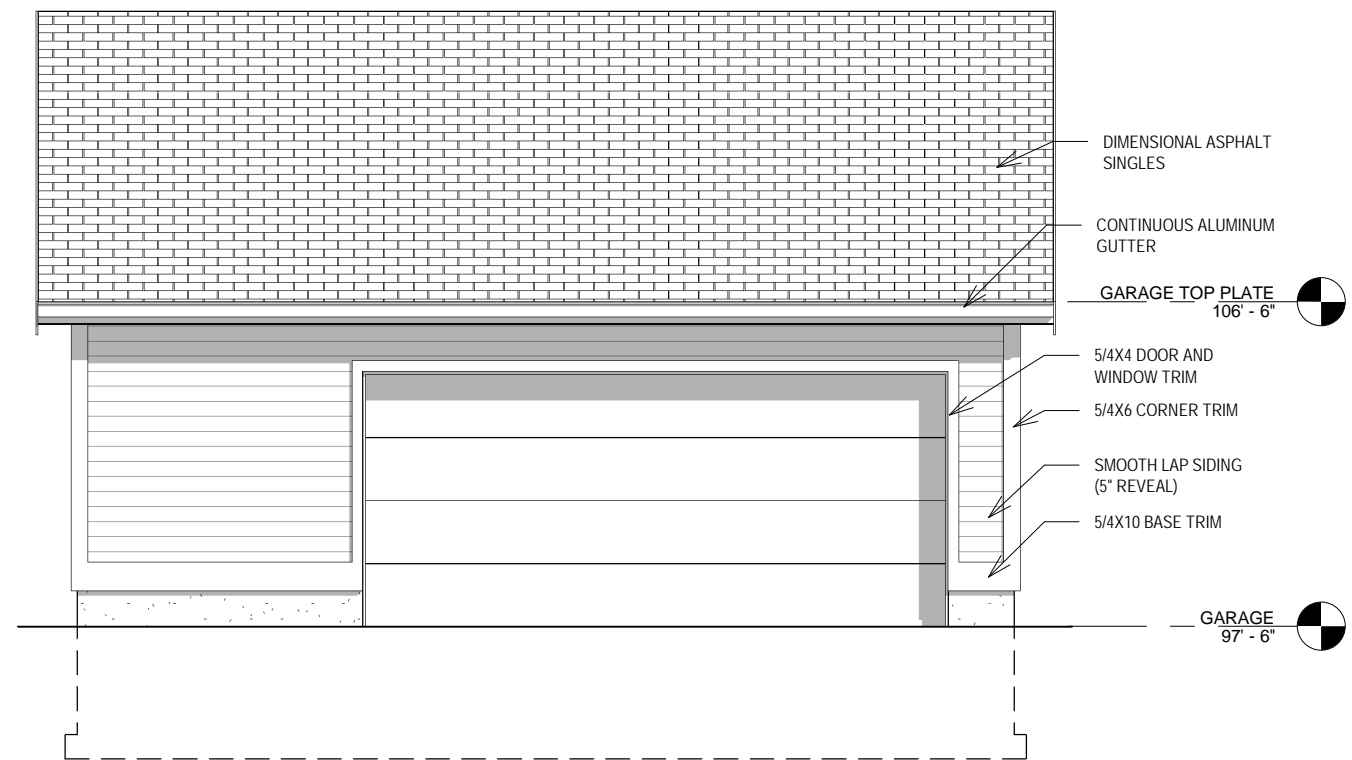
② GARAGE WEST  
3/16" = 1'-0"



④ GARAGE EAST  
3/16" = 1'-0"



① GARAGE SOUTH  
3/16" = 1'-0"



③ GARAGE NORTH  
3/16" = 1'-0"