

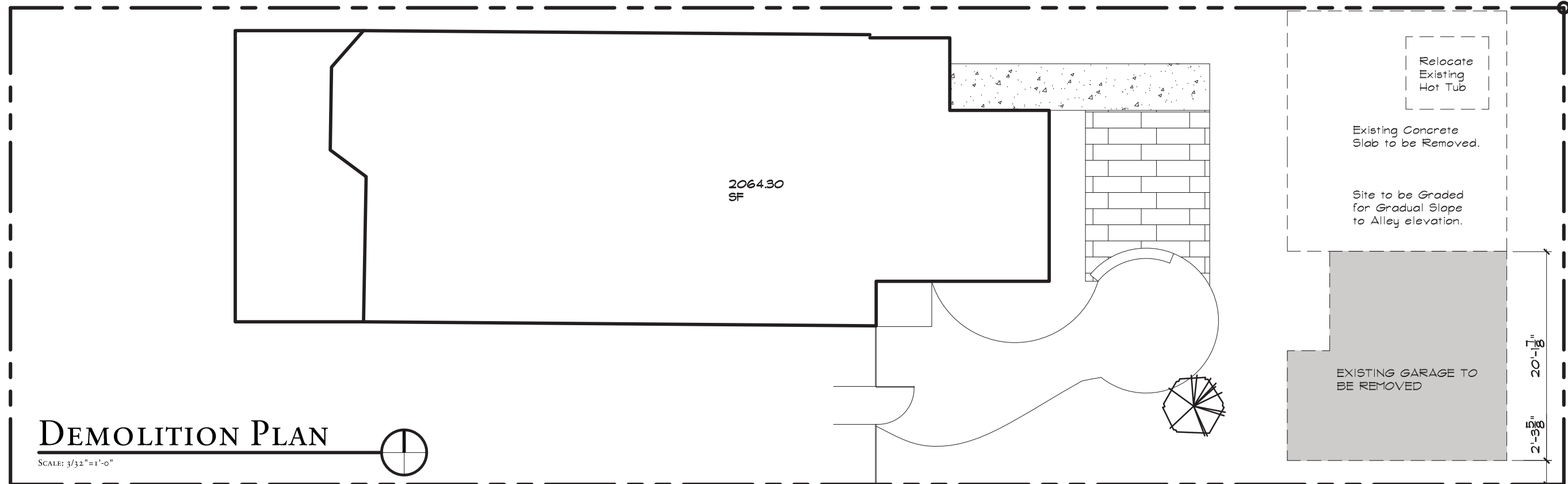
**2024-COA-206 (ONS)**  
**1427 N. ALABAMA ST.**





1427 N Alabama St

CONTEXT PHOTOS



DEMOLITION PLAN

SCALE: 3/32" = 1'-0"

SHEET NO.

SITE CONTEXT & DEMOLITION PLAN

SI.O

BRUNNEN DESIGN, LLC  
FERISOIR

20 JUN 24

**FERGUSON RESIDENCE**

GARAGE REPLACEMENT

1427 N. ALABAMA ST  
INDIANAPOLIS - INDIANA

620 N. Delaware Street  
Indianapolis, IN 46204

**BRENNER DESIGN**  
Architecture  
Interiors  
Construction Management

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317.262.1260 fax  
www.brennerdesign.com



# SITE PLAN

SCALE: 3/32"=1'-0"



|                            |         |
|----------------------------|---------|
| EXISTING LOT               | 6900 SF |
| EXISTING HOUSE             | 2064 SF |
| NEW GARAGE                 | 864 SF  |
| TOTAL LOT COVERAGE 2928 SF |         |
| BUILT AREA ALLOWED 60%     |         |
| BUILT AREA PROPOSED 43%    |         |

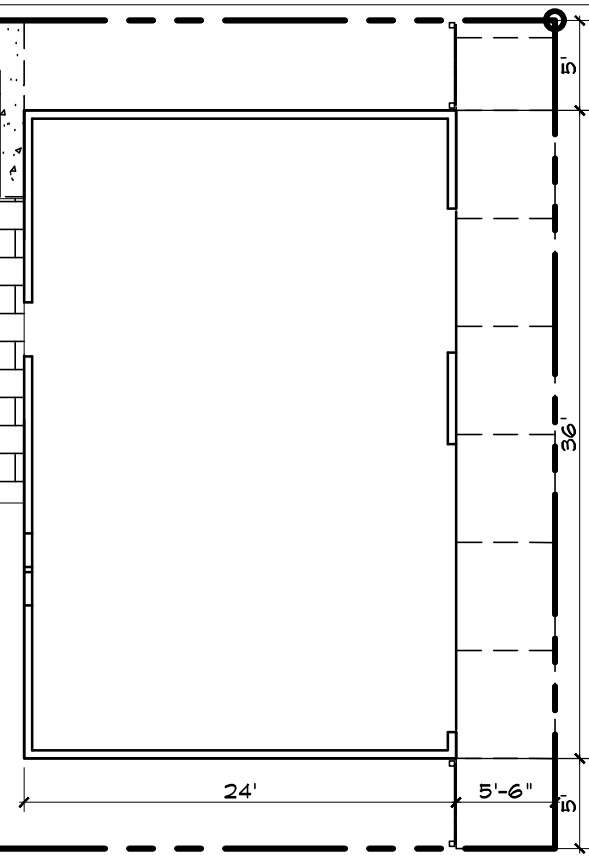
2064.30  
SF

Extend Gravel for  
Hot Tub

Extend Stone Paving  
to New Garage

Relocated  
Hot Tub

If Possible to Avoid Existing Telephone Pole, Extend Apron to Property Line.



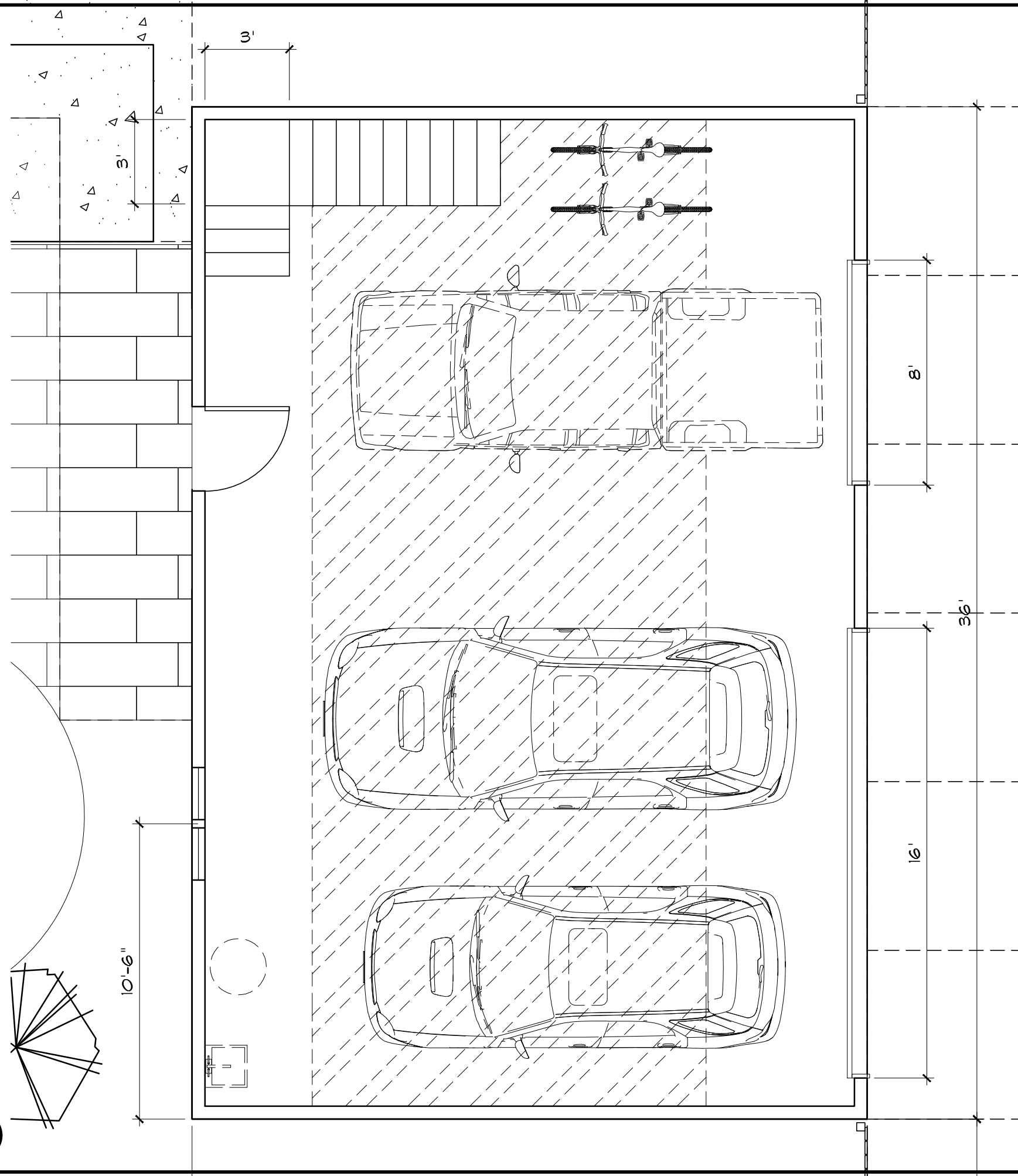
|   |  |   |  |
|---|--|---|--|
| SHEET NO.   |  | S.I.1   |  |
| SITE PLAN   |  | DEMOLITION PLAN   |  |
| 20 JUN 24   |  | FERISOIR  |  |
| <b>FERGUSON RESIDENCE</b><br>GARAGE REPLACEMENT<br>1427 N. ALABAMA ST<br>INDIANAPOLIS - INDIANA |  |   |  |
| 620 N. Delaware Street<br>Indianapolis, IN 46204  |  | 317.262.1220 rcl<br>317.262.1260 fax<br>www.brennerdesign.com |  |
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# FLOOR PLAN

SCALE: 1/4"=1'-0"

UPSTAIRS STORAGE  
SPACE 470 SF



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20 JUN 24

FLOOR PLAN  
BRUNNEN DESIGN CO. LLC  
FERISOIR

SHEET NO.

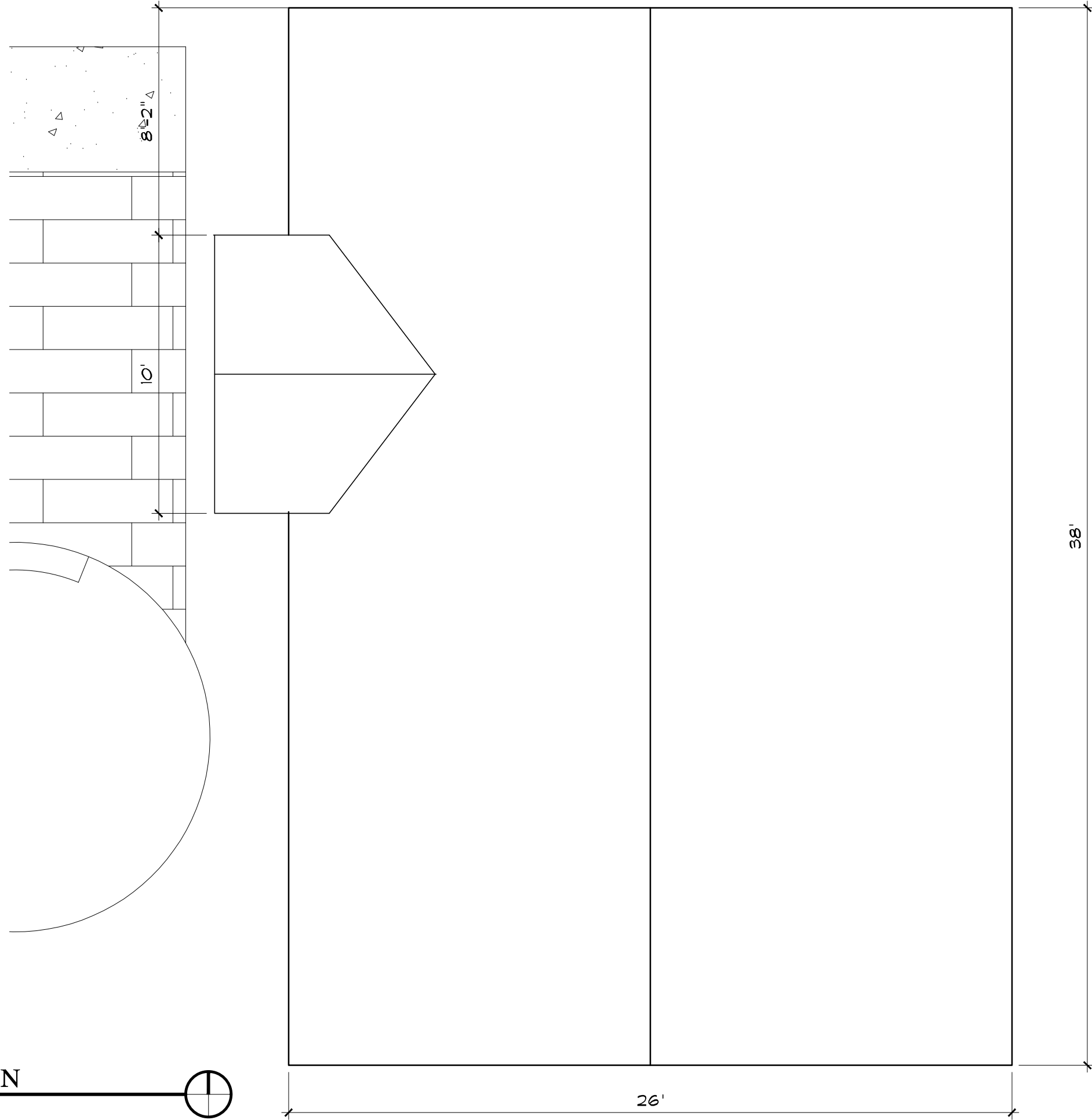
A.I.I



# ROOF PLAN

SCALE: 1/4"=1'-0"

121



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ROOF PLAN

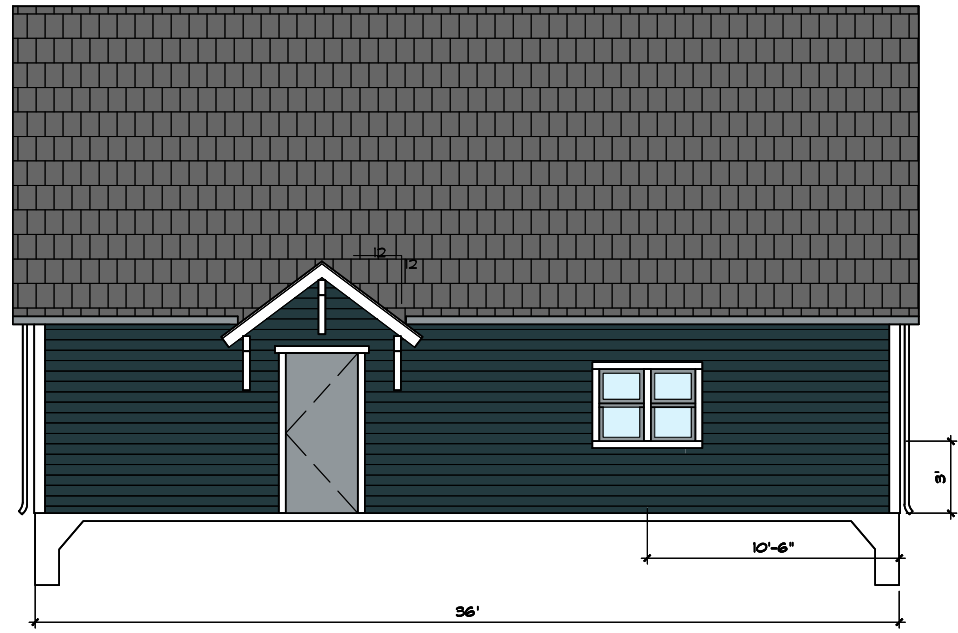
SHEET NO.

BRENNER DESIGN .COM

20 JUN 24  
FERISOIR

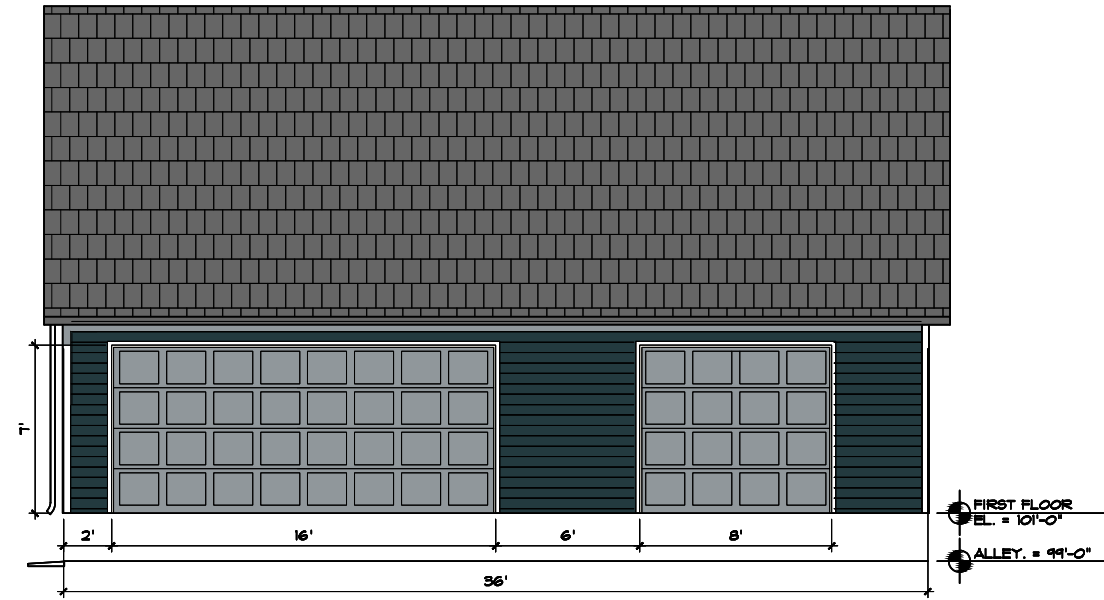
AI.2





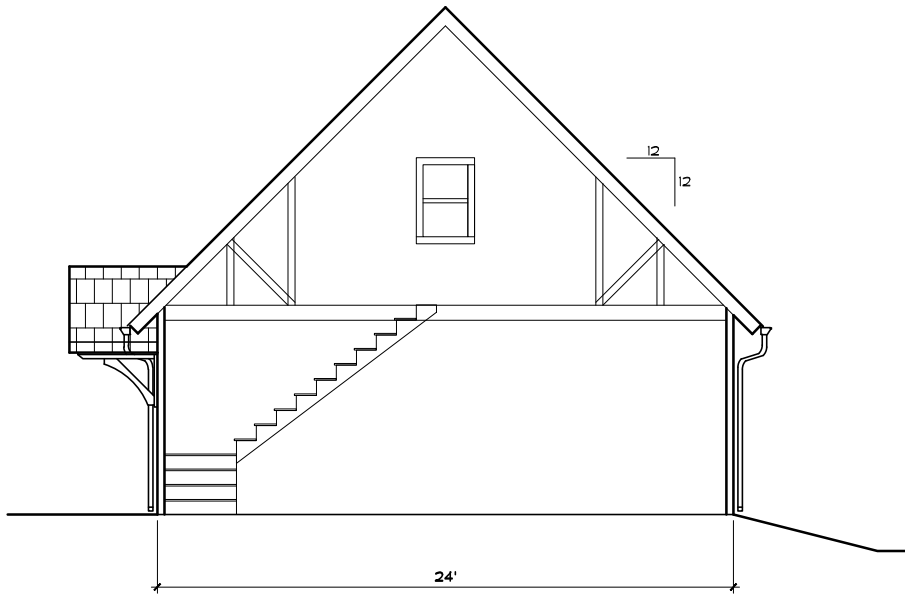
## WEST ELEVATION

SCALE: 1/8" = 1'-0"



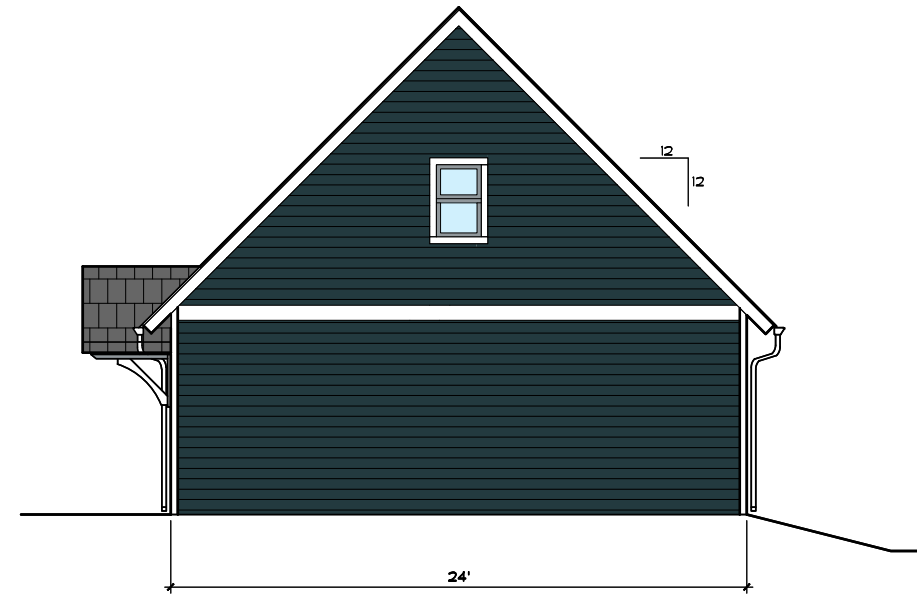
## EAST ELEVATION

SCALE: 1/8" = 1'-0"



## BUILDING SECTION

SCALE: 1/8" = 1'-0"



## SOUTH ELEVATION (N ELEV. OPP.)

SCALE: 1/8" = 1'-0"

SHEET NO.

A4.I

ELEVATIONS

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10 JUN 24

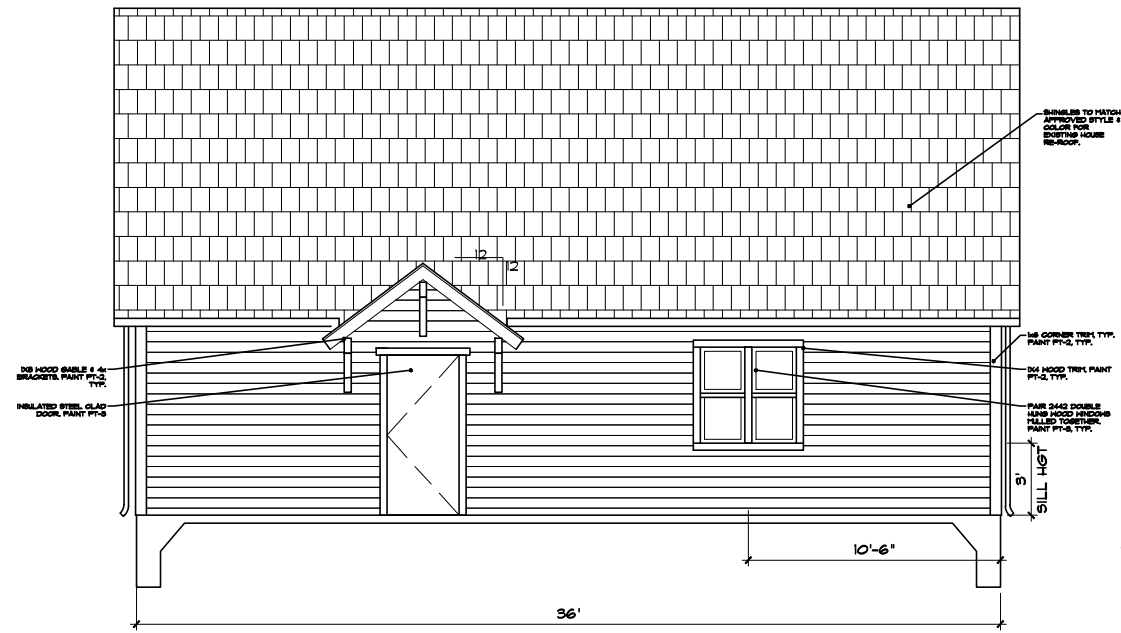
**FERGUSON RESIDENCE**  
GARAGE REPLACEMENT  
1427 N. ALABAMA ST  
INDIANAPOLIS - INDIANA

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Indianapolis, IN 46204

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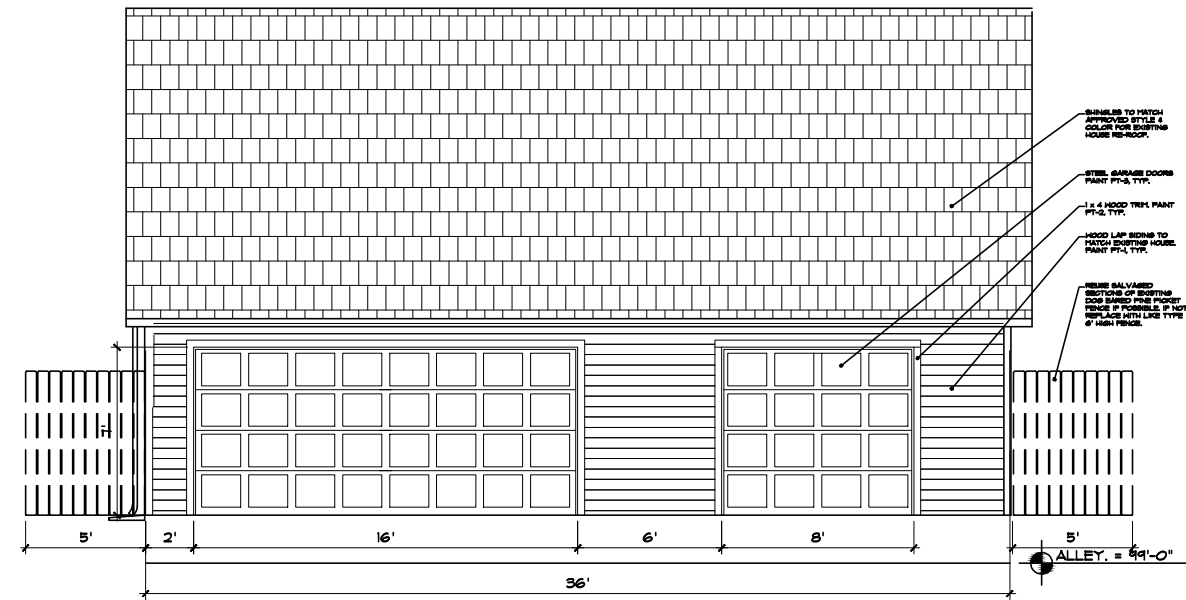
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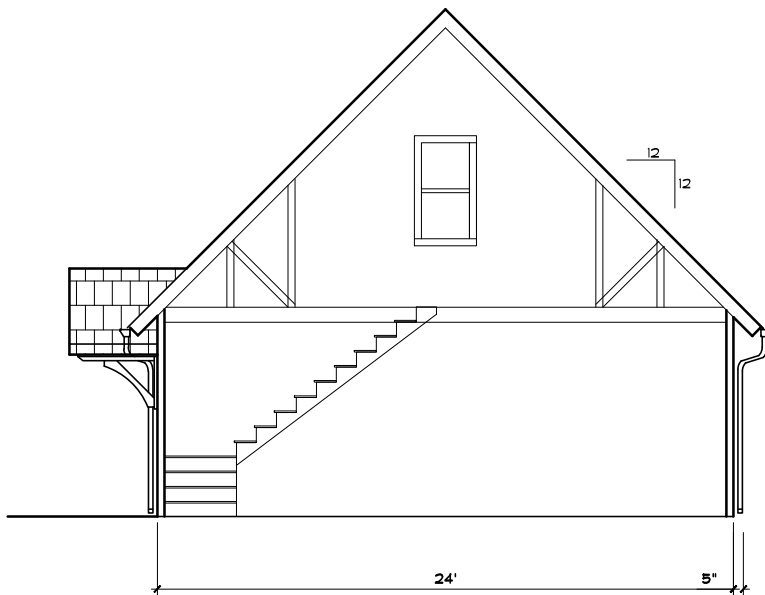
## WEST ELEVATION

SCALE: 1/8" = 1'-0"



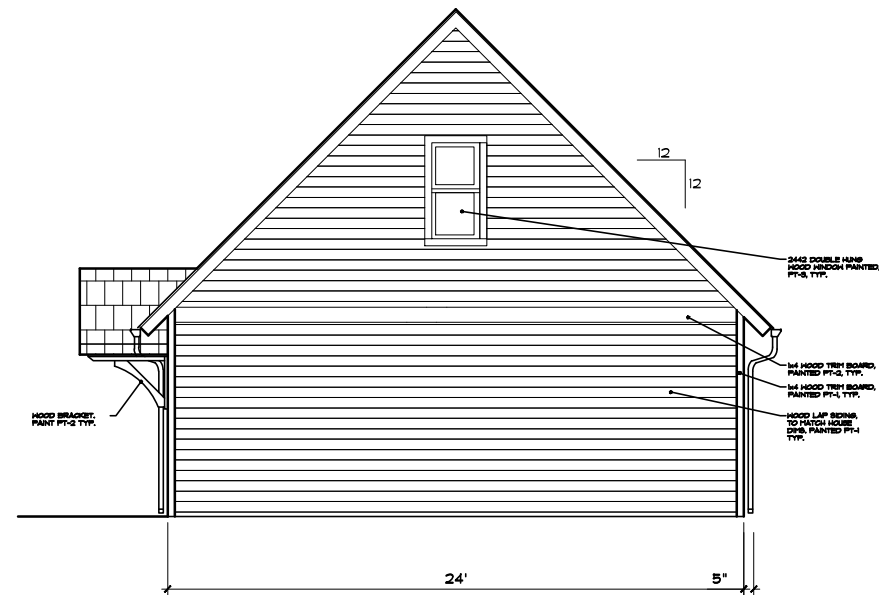
## EAST ELEVATION

SCALE: 1/8" = 1'-0"



## BUILDING SECTION

SCALE: 1/8" = 1'-0"



## SOUTH ELEVATION (N ELEV. OPP.)

SCALE: 1/8" = 1'-0"

SHEET NO.

ELEVATIONS

A4.1

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20 JUN 24

FERGUSON RESIDENCE

GARAGE REPLACEMENT

1427 N. ALABAMA ST

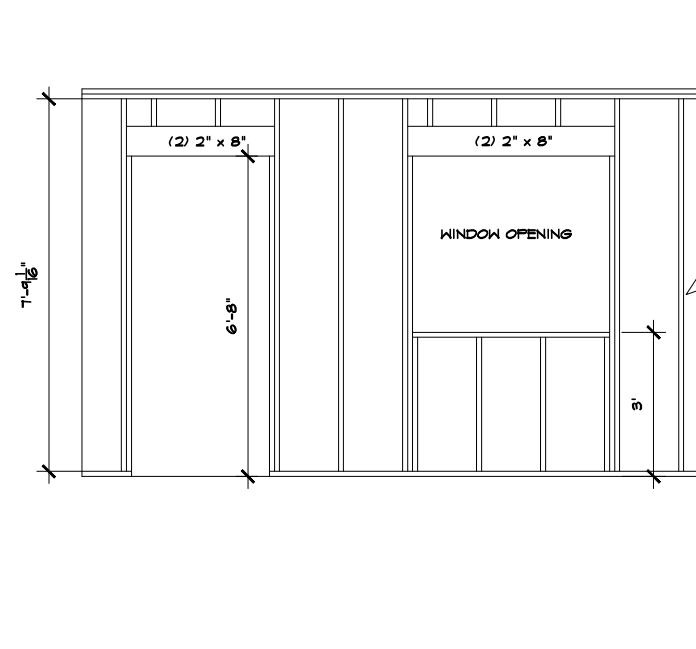
INDIANAPOLIS - INDIANA

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BRUNNER DESIGN

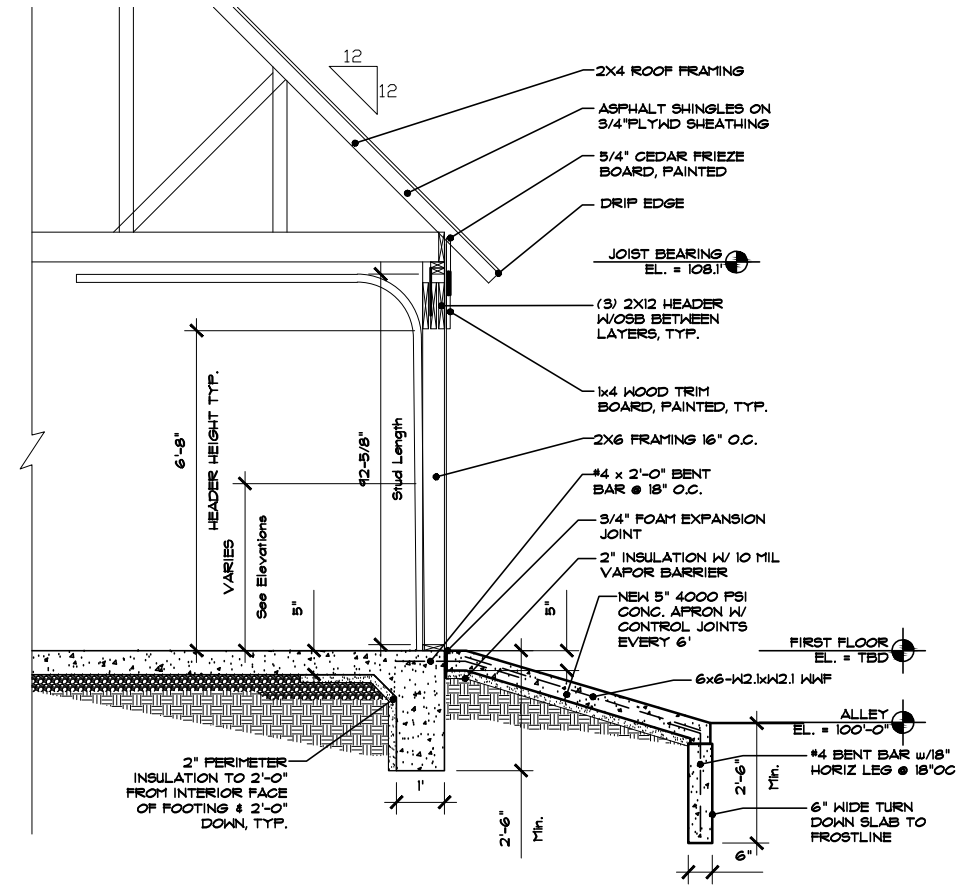
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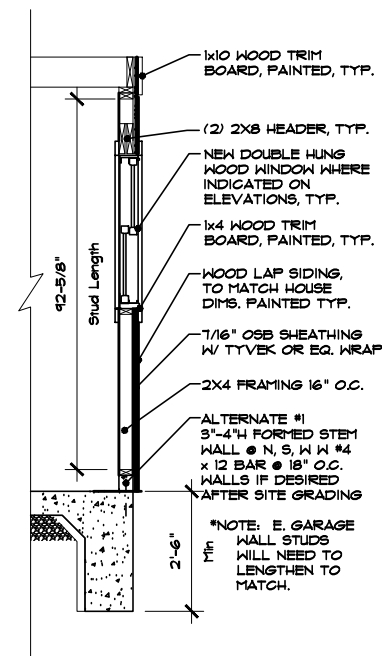
## DOOR & WINDOW FRAMING

SCALE: 1/4"=1'-0"



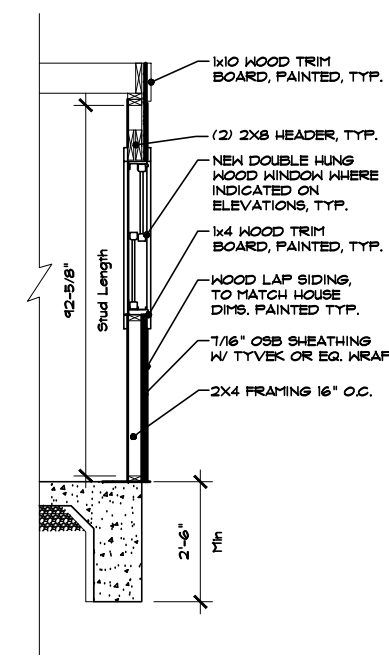
## GARAGE DOOR WALL SECTION

SCALE: 1/4"=1'-0"



## ALTERNATE N, S, W. WALL SECTION

SCALE: 1/4"=1'-0"



## TYP. N, S, W. WALL SECTION

SCALE: 1/4"=1'-0"

SHEET NO.

A4.2

DETAILS

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FERISOIR

20 JUN 24

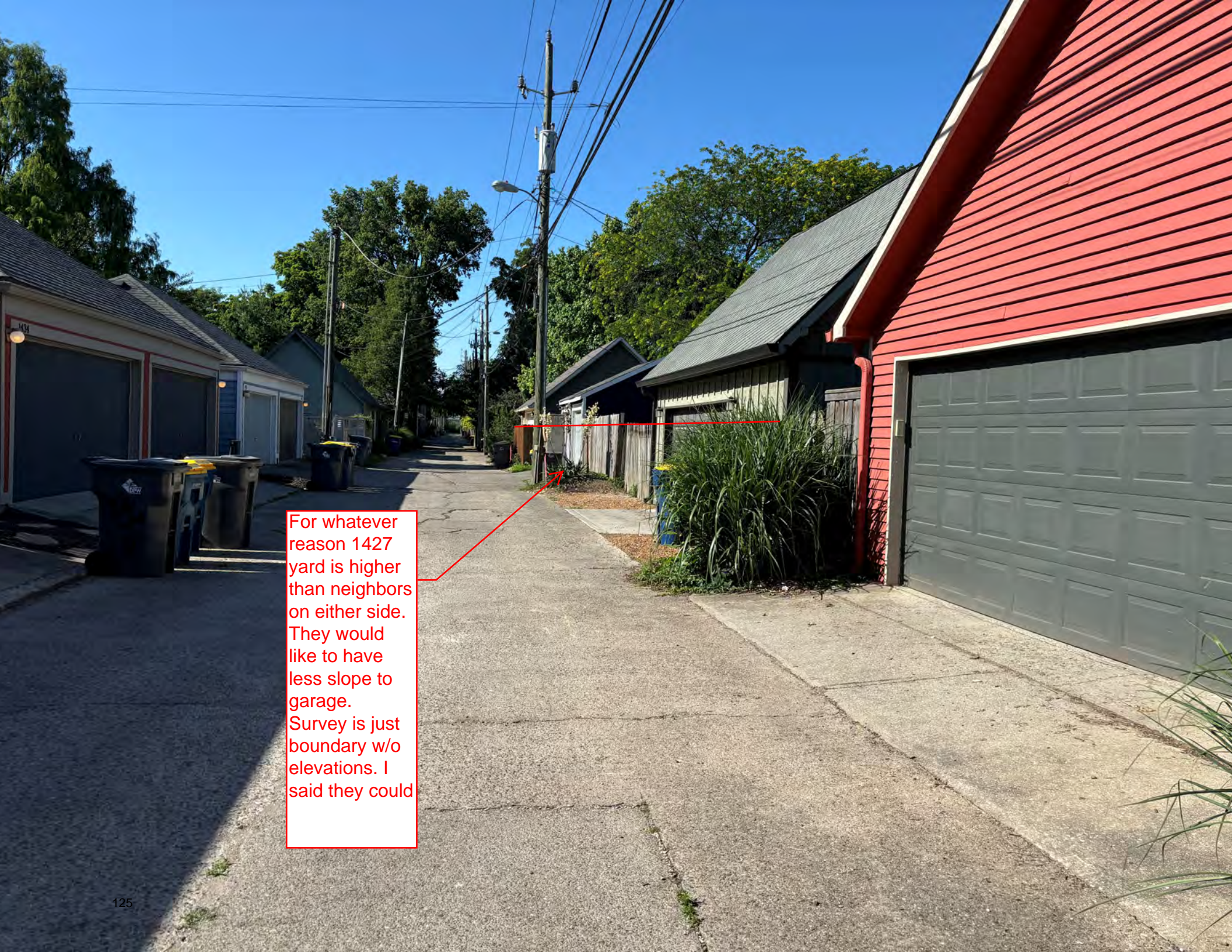
**FERGUSON RESIDENCE**  
GARAGE REPLACEMENT  
1427 N. ALABAMA ST  
INDIANAPOLIS - INDIANA

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Indianapolis, IN 46204

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For whatever reason 1427 yard is higher than neighbors on either side. They would like to have less slope to garage. Survey is just boundary w/o elevations. I said they could













































AUG-09

MADE IN THE U.S.A.  
SIZED FOR SPACING  
1/8 INCH AT ENDS  
1/8 INCH AT SIDES  
1/8 INCH AT JOISTS  
1/8 INCH AT LATHS  
1/8 INCH AT BRACKETS  
1/8 INCH AT SPACERS  
1/8 INCH AT STAPLES  
1/8 INCH AT NAILS  
1/8 INCH AT SCREWS  
1/8 INCH AT BOLTS  
1/8 INCH AT WELDS  
1/8 INCH AT SPLICERS  
1/8 INCH AT JOISTS  
1/8 INCH AT LATHS  
1/8 INCH AT BRACKETS  
1/8 INCH AT STAPLES  
1/8 INCH AT NAILS  
1/8 INCH AT SCREWS  
1/8 INCH AT BOLTS  
1/8 INCH AT WELDS  
1/8 INCH AT SPLICERS

1 AUG-09-1  
8-1-3  
DOWN  
TERRACE  
COMPLETING  
BLUE PRINTS  
956

SIZED FOR SPACING  
1/8 INCH AT ENDS  
1/8 INCH AT SIDES  
1/8 INCH AT JOISTS  
1/8 INCH AT LATHS  
1/8 INCH AT BRACKETS  
1/8 INCH AT STAPLES  
1/8 INCH AT NAILS  
1/8 INCH AT SCREWS  
1/8 INCH AT BOLTS  
1/8 INCH AT WELDS  
1/8 INCH AT SPLICERS





PREMIUM  
A-B-A  
THICKNESS 1 1/2 IN.  
SPAN 24 FT 6 IN.  
USE SUCH A BOARD  
IN EACH OF BRACKETS  
PROVIDE A RECORD  
OF EACH BOARD  
DELETED

PREMIUM  
A-B-A  
THICKNESS 1 1/2 IN.  
SPAN 24 FT 6 IN.

PREMIUM  
A-B-A  
THICKNESS 1 1/2 IN.  
SPAN 24 FT 6 IN.





CHAMBERLAIN  
1/2 HP

APX

THIS SIDE  
DOWN

MADE IN U.S.A.

24216

DOWN

JUG-09







**2024-COA-210 (HMP)  
1734 (AKA 1806) N.  
ALABAMA ST.**





# ALABAMA STREET STREETSCAPE

SCALE: 1/16" = 1'-0"

01/31/24



# 1734 N. ALABAMA STREET

## SINGLE-FAMILY NEW CONSTRUCTION HOME AND GARAGE

### BUILDER

COMPENDIUM GROUP  
961 N HIGHLAND AVE, SUITE B  
INDIANAPOLIS, IN 46202

PHONE: (317) 506-6367

### DESIGN

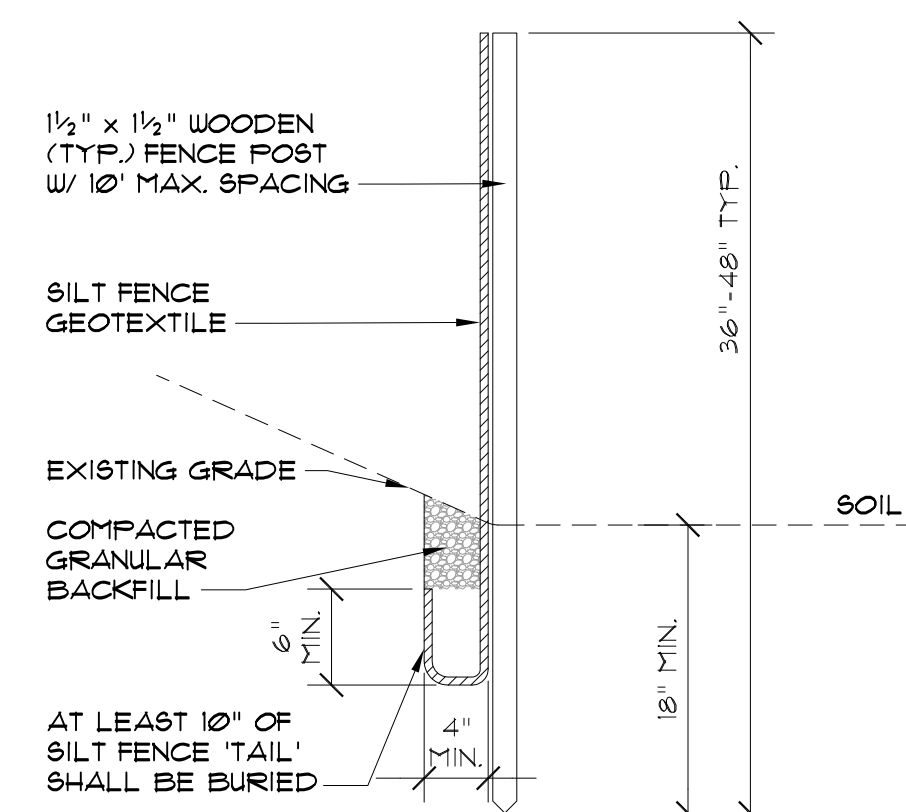
TRADE DESIGN STUDIO  
5771 CENTRAL AVENUE  
INDIANAPOLIS, IN 46220

PHONE: (317) 514-3352

### INDEX OF DRAWINGS

ARCHITECTURAL:

- CS COVER SHEET
- A100 FOUNDATION AND BASMENT PLANS
- A101 FIRST AND SECOND FLOOR PLANS
- A200 EXTERIOR ELEVATIONS AND ROOF PLAN
- A201 EXTERIOR ELEVATIONS
- A300 WALL SECTIONS, ENLARGED DETAILS
- A301 HEADER DETAILS
- A500 INTERIOR ELEVATIONS
- A501 INTERIOR ELEVATIONS
- A502 INTERIOR ELEVATIONS
- A503 INTERIOR ELEVATIONS
- A504 INTERIOR ELEVATIONS
- A505 INTERIOR ELEVATIONS
- A600 GARAGE PLANS AND ELEVATIONS
- E100 ELECTRICAL PLANS



1 SILT FENCE DETAIL  
SCALE: 1" = 1'-0"

### CODE INFORMATION

#### 2020 INDIANA RESIDENTIAL CODE

TABLES R302(1) CLIMATE AND GEOGRAPHICAL DESIGN CRITERIA:

DESIGN WIND SPEED: 115  
SEISMIC ZONE: B

TABLE R3015 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS  
BASED ON USE:

ATTICS (NON-ACCESSIBLE): 10 PSF  
ATTICS (ACCESSIBLE): 20 PSF  
BALCONIES (EXTERIOR) & DECKS: 40 PSF  
ROOMS (OTHER THAN SLEEPING ROOMS): 40 PSF  
GUARDS AND HANDRAILS: 200 PSF CONCENTRATED LOAD  
SLEEPING ROOMS: 30 PSF  
STAIRS: 40 PSF w/ 300 PSF CONCENTRATED LOAD

R310 EMERGENCY ESCAPE AND RESCUE OPENINGS:

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE EMERGENCY ESCAPE AND RESCUE OPENING.

R314 SMOKE ALARMS:

REQUIRED SMOKE ALARM LOCATIONS:

LIVING AREA  
ALL BEDROOMS OR SLEEPING AREAS  
ON THE CEILING OF THE UPPER LEVEL NEAR THE TOP OR ABOVE EACH STAIRWAY  
ON THE BASEMENT CEILING NEAR THE STAIRWAY

R315 CARBON MONOXIDE ALARMS:

REQUIRED CARBON MONOXIDE ALARM LOCATIONS:

OUTSIDE EACH SLEEPING AREA IN THE BEDROOM VICINITY  
AT BEDROOM WHERE THERE IS A FUEL-BURNING APPLIANCE PRESENT OR LOCATED WITHIN ADJOINING BATH

### ENERGY EFFICIENCY

BUILDING ENERGY EFFICIENCY SHALL COMPLY WITH CHAPTER 11 OF THE 2020 EDITION OF THE INDIANA RESIDENTIAL CODE.

CLIMATE ZONE: 5A

### BUILDING GROSS S.F.

|                      | FINISHED<br>SQ. FT. | UNFIN.<br>SQ. FT. |
|----------------------|---------------------|-------------------|
| MAIN HOUSE           |                     |                   |
| BASEMENT             | 1,351               |                   |
| FIRST FLOOR          | 1,351               |                   |
| SECOND FLOOR         | 1,223               |                   |
| TOTAL SPACE (HOUSE): | 3,925               |                   |
| GARAGE               |                     | 720               |

FINISHED SQ. FOOTAGE CALCULATIONS FOR THIS HOUSE WERE MADE BASED ON PLAN DIMENSIONS ONLY AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT.

### ALLOWABLE OPEN SPACE CALCS

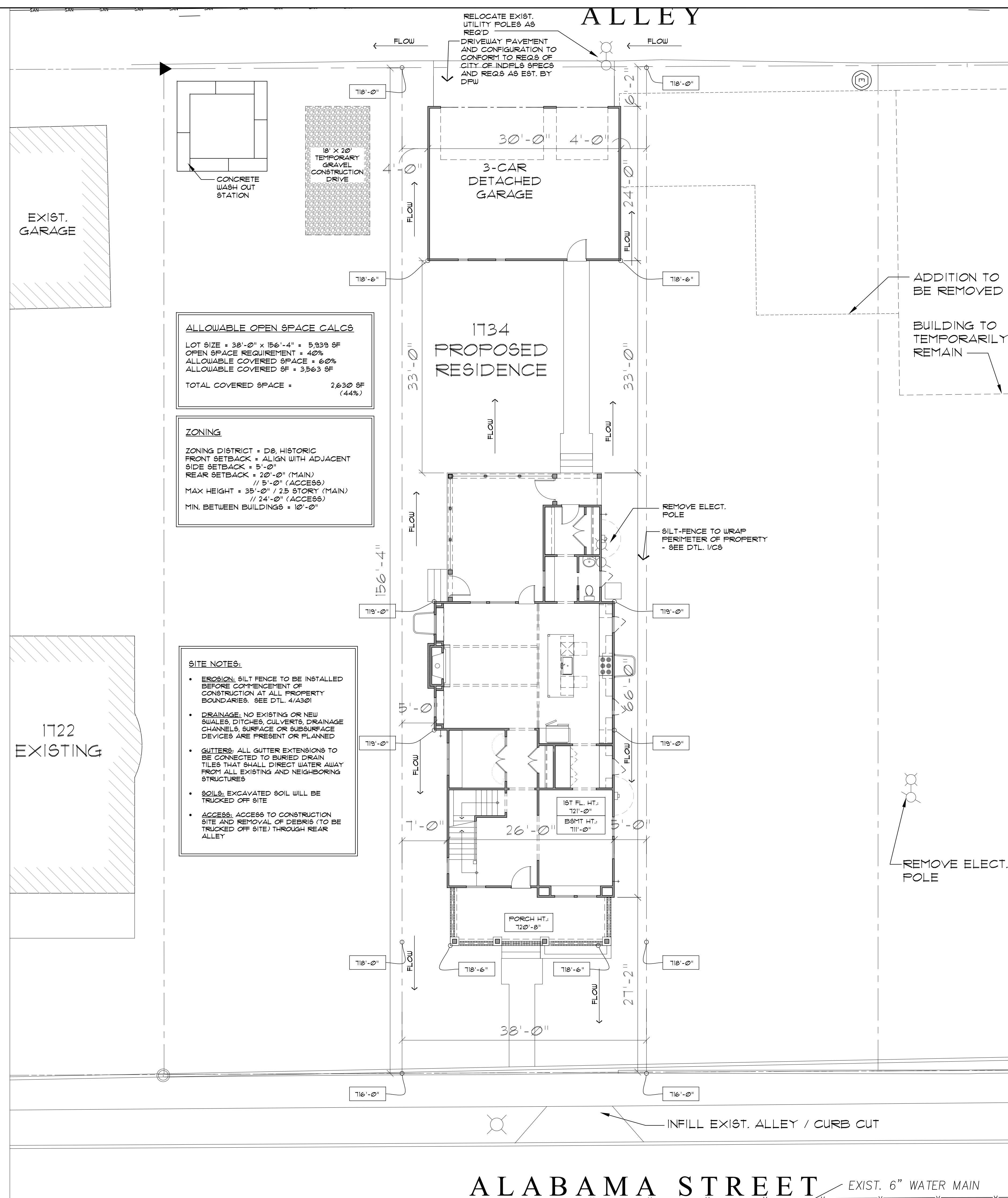
LOT SIZE = 38'-0" x 156'-4" = 5,939 SF  
OPEN SPACE REQUIREMENT = 40%  
ALLOWABLE COVERED SPACE = 60%  
ALLOWABLE COVERED SF = 3,563 SF  
TOTAL COVERED SPACE = 2,630 SF (44%)

### ZONING

ZONING DISTRICT = D8, HISTORIC  
FRONT SETBACK = ALIGN WITH ADJACENT  
SIDE SETBACK = 5'-0"  
REAR SETBACK = 20'-0" (MAIN)  
// 5'-0" (ACCESS)  
MAX HEIGHT = 35'-0" / 2.5 STORY (MAIN)  
// 24'-0" (ACCESS)  
MIN. BETWEEN BUILDINGS = 10'-0"

### SITE NOTES:

- EROSION: SILT FENCE TO BE INSTALLED BEFORE COMMENCEMENT OF CONSTRUCTION AT ALL PROPERTY BOUNDARIES. SEE DTL. 4/A301
- DRAINAGE: NO EXISTING OR NEW SWALES, DITCHES, CULVERTS, DRAINAGE CHANNELS, SURFACE OR SUBSURFACE DEVICES ARE PRESENT OR PLANNED
- GUTTERS: ALL GUTTER EXTENSIONS TO BE CONNECTED TO BURIED DRAIN TILES THAT SHALL DIRECT WATER AWAY FROM ALL EXISTING AND NEIGHBORING STRUCTURES
- SOILS: EXCAVATED SOIL WILL BE TRUCKED OFF SITE
- ACCESS: ACCESS TO CONSTRUCTION SITE AND REMOVAL OF DEBRIS (TO BE TRUCKED OFF SITE) THROUGH REAR ALLEY



REVISIONS

1734 N ALABAMA ST  
COVER SHEET



REVISIONS

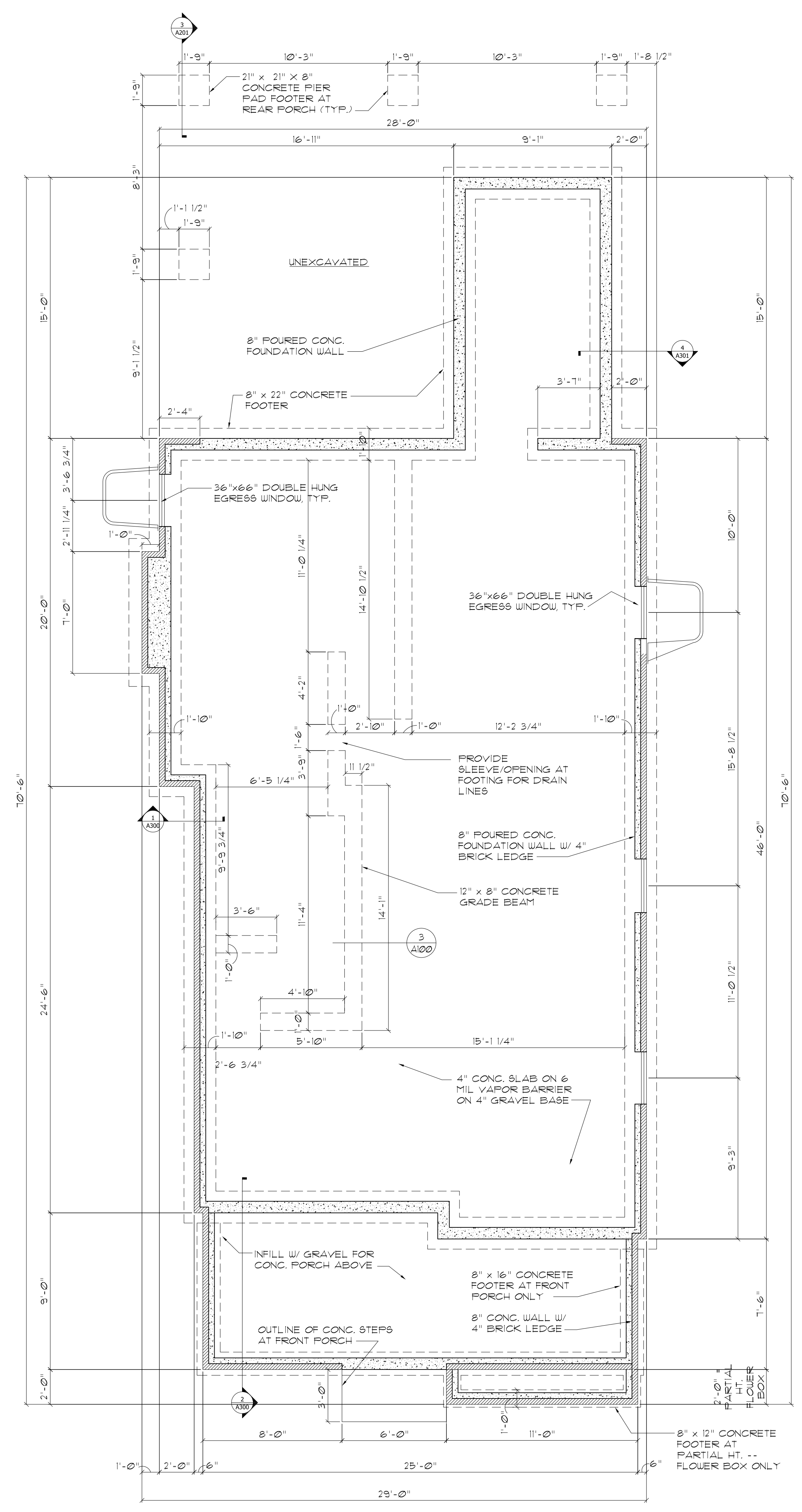
1734 N. ALABAMA STREET  
 FOUNDATION AND BASEMENT PLANS

**FOUNDATION LEGEND**

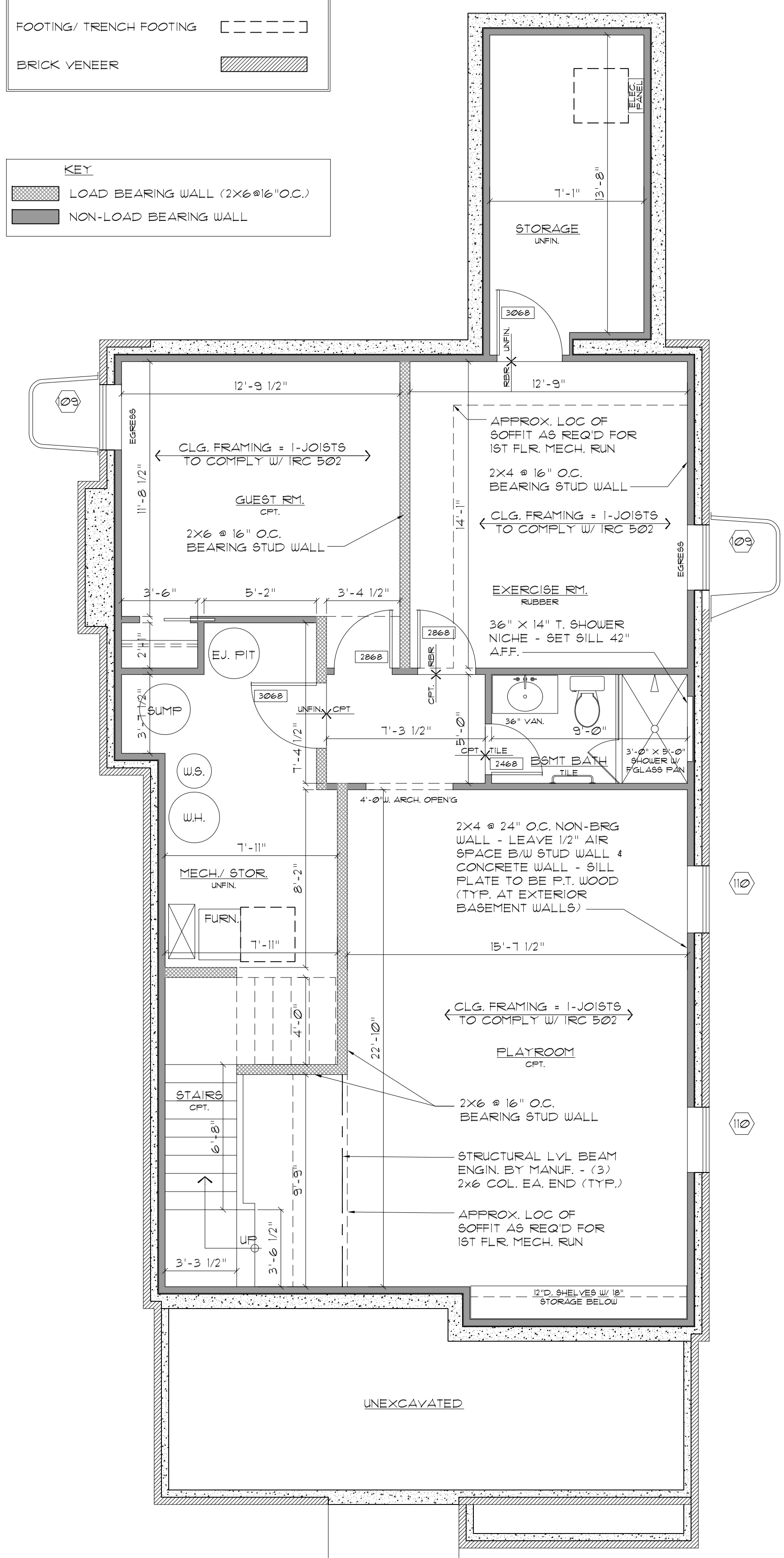
|                         |  |
|-------------------------|--|
| PARTIAL HEIGHT CONCRETE |  |
| FULL HEIGHT CONCRETE    |  |
| FOOTING/ TRENCH FOOTING |  |
| BRICK VENEER            |  |

**KEY**

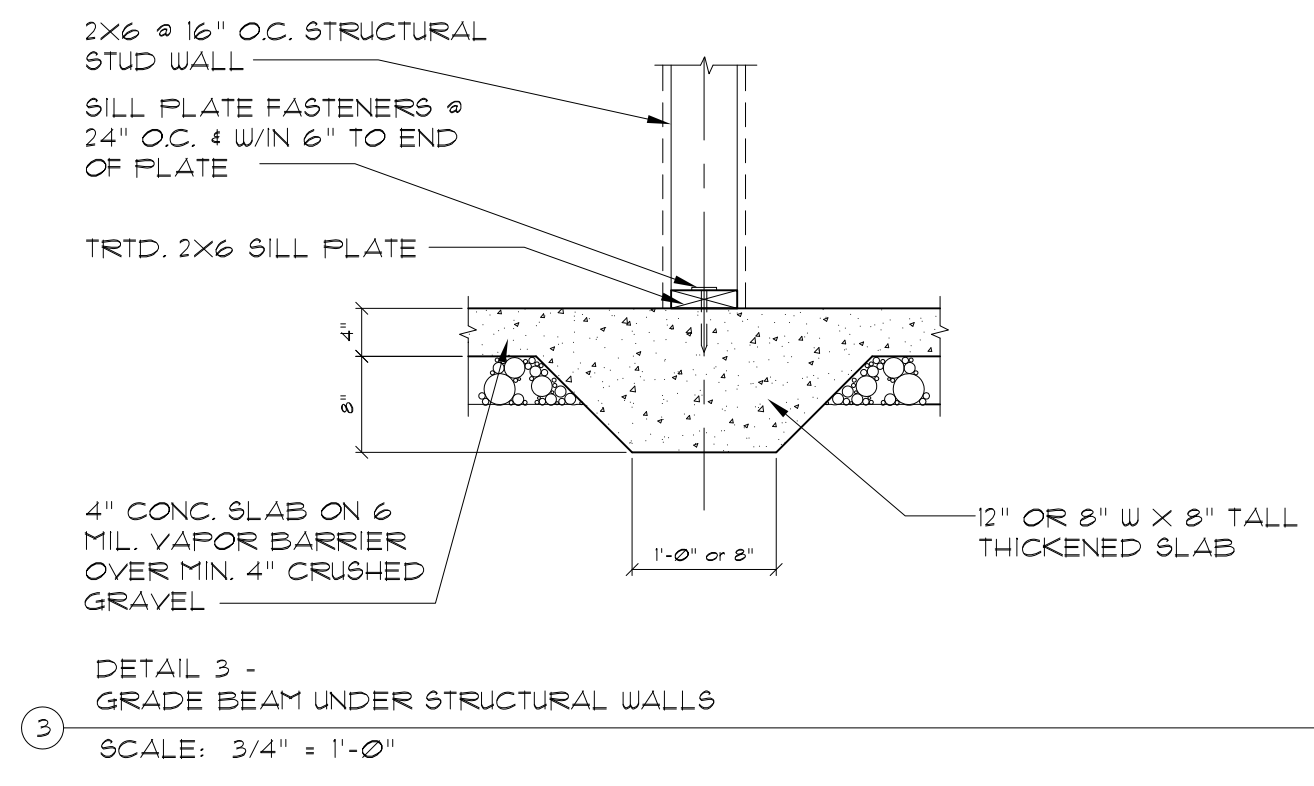
|  |                                  |
|--|----------------------------------|
|  | LOAD BEARING WALL (2X6@16" O.C.) |
|  | NON-LOAD BEARING WALL            |



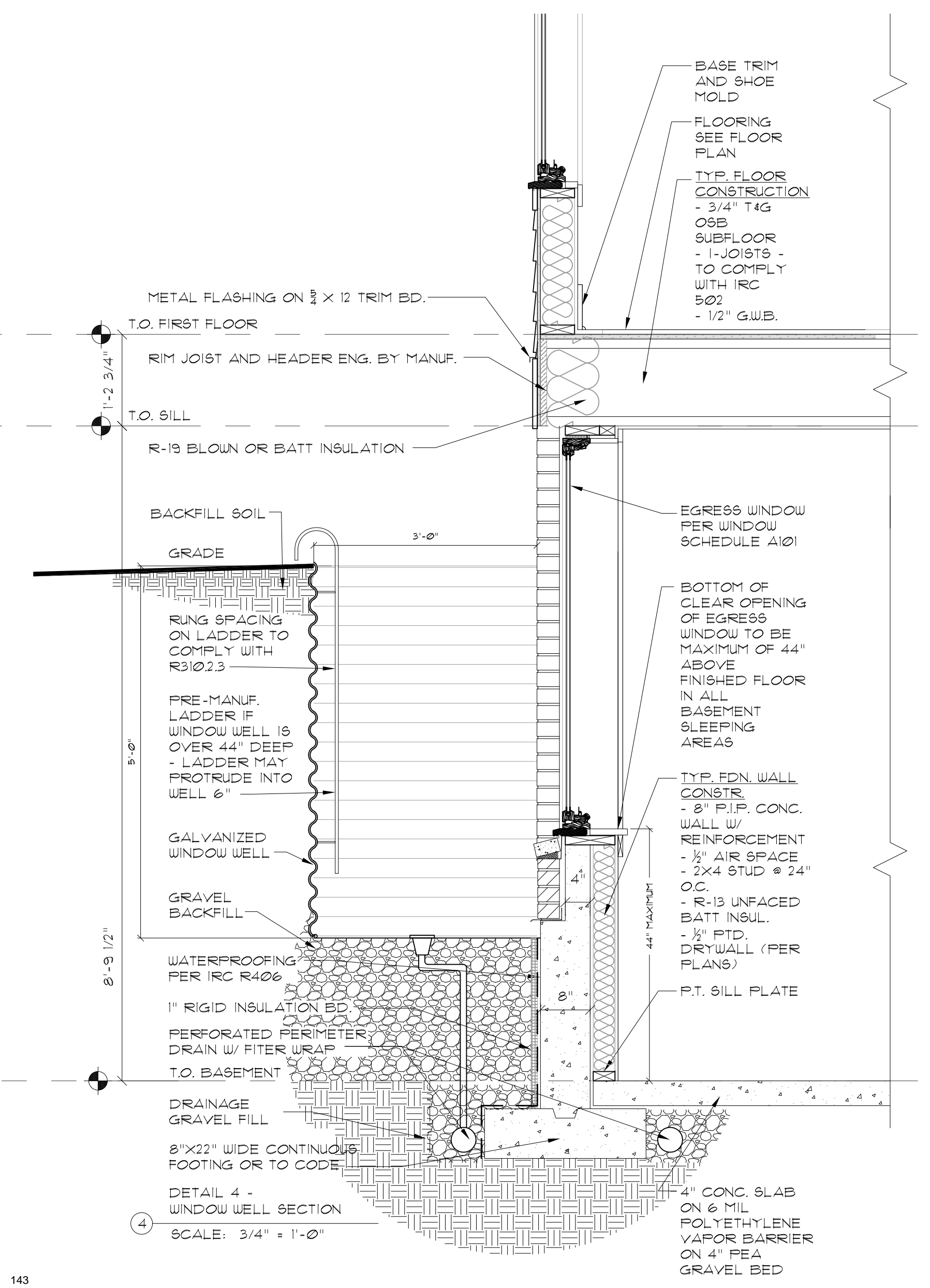
1 HOLMES RESIDENCE  
 SCALE: 1/4" = 1'-0"  
 FOUNDATION PLAN



1 HOLMES RESIDENCE  
 SCALE: 1/4" = 1'-0"  
 BASEMENT FLOOR PLAN  
 SQ. FOOTAGE: 1351 SF  
 (MEASURED TO OUTSIDE WALLS)



3  
 DETAIL 3 -  
 GRADE BEAM UNDER STRUCTURAL WALLS  
 SCALE: 3/4" = 1'-0"



4  
 DETAIL 4 -  
 WINDOW WELL SECTION  
 SCALE: 3/4" = 1'-0"



**GENERAL PLAN NOTES**

WHERE DISCREPANCIES EXIST BETWEEN THE STANDARD COMMENTS, NOTES FROM THE DESIGN PROFESSIONAL OR THE CODE, THE MOST RESTRICTIVE SHALL APPLY. ALL CONSTRUCTION SHALL COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) AND THE 2020 INDIANA AMENDMENTS.

1. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED. ALL EXTERIOR WALLS ARE 2x4 @ 16" O.C.
2. LAY OUT ROOF 4 FLOOR JOISTS TO ELIMINATE CONFLICTS WITH PLUMBING STACKS, TOILET PLUMBING AND FURNACE PLENUMS. MAXIMUM SPACING SHALL BE TO CODE.
3. ALL 2x4 BEARING WALL STUDS SHALL BE SPACED A MAXIMUM OF 16" O.C. W/ DOUBLE TOP PLATE. ALL 2x6 BEARING WALL STUDS SHALL BE SPACED A MAXIMUM OF 24" O.C. W/ DOUBLE TOP PLATE. PROVIDE MIN. 3 STUDS @ EACH BEARING POINT. TYPICAL NON-BEARING WALL CONSTRUCTION SHALL BE 2x4 WALLS @ 16" O.C. W/ HEADER MIN. 2-2x4. PROVIDE BLOCKING @ CEILING LINE FOR PROPER DRYWALL ATTACHMENT.
4. CEILING AND WALL HEIGHTS VARY AS NOTED IN SECTION.
5. FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. SEE SECTION 602.3 OF THE 2006 IRC.
6. SEAL ALL PENETRATIONS AND OPENINGS IN FLOORS AND WALLS TO MINIMIZE THE TRANSFER OF DRAFTS AND MOISTURE. SHEATHING PENETRATION SHALL BE PATCHED AND REPAIRED TO MANUF. SPECS.
7. SLOPE ALL CONC. STOODS, PORCHES, WALKS AND GARAGE SLABS 1/8" IN 12" TO DRAIN OR AS NOTED ON PLANS.
8. ALL DESIGNS FOR MANUFACTURED FLOOR JOISTS, RAFTERS AND TRUSSES SHALL BE CERTIFIED BY THE MANUFACTURER. INSTALLATION OF SUCH ITEMS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SHOP DRAWINGS AND RECOMMENDATIONS.
9. CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF CODES NOTED ON COVER SHEET, ALL LOCAL CODES AND AMENDMENTS, AND FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS.

**WINDOW SCHEDULE**

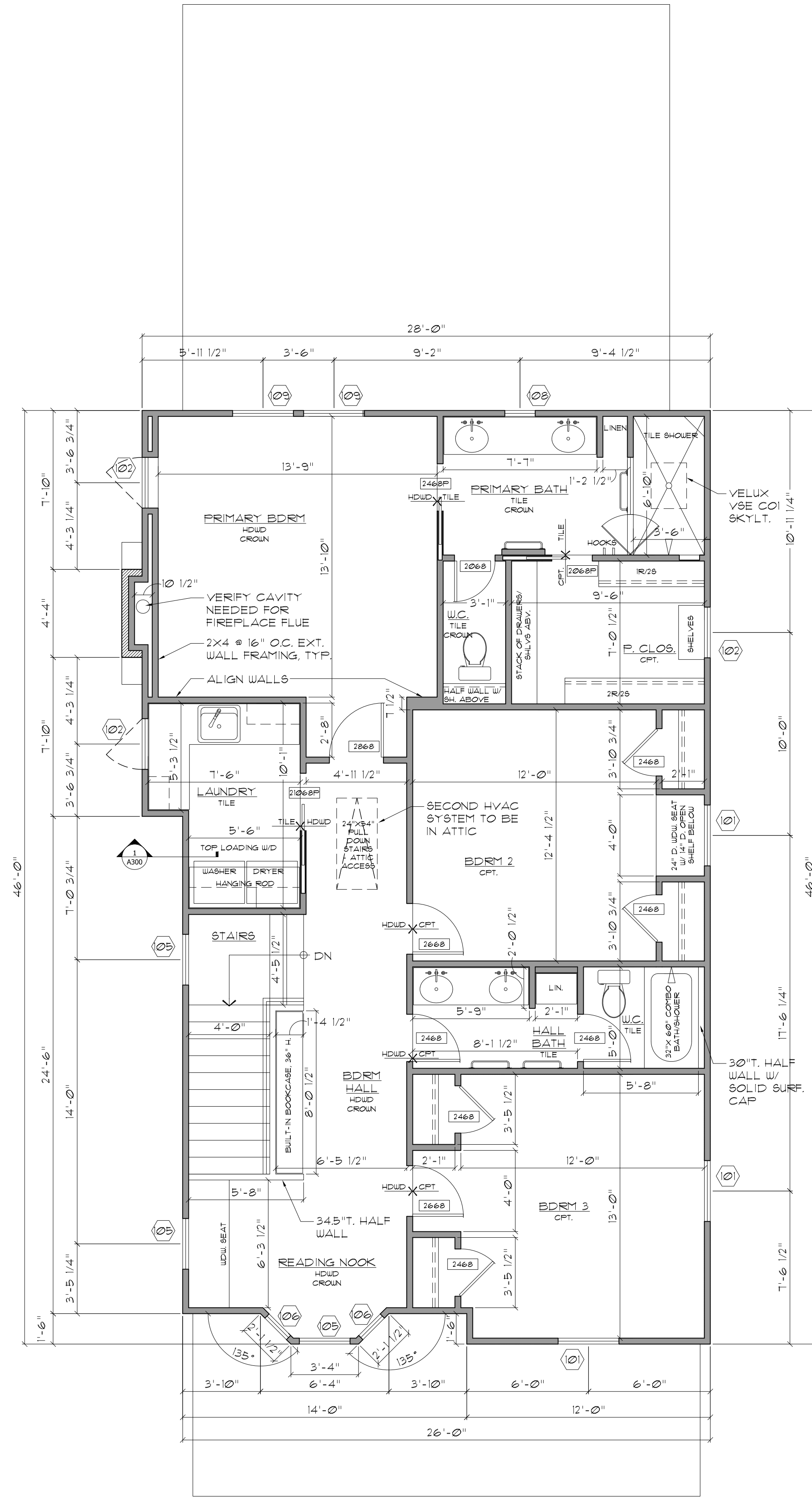
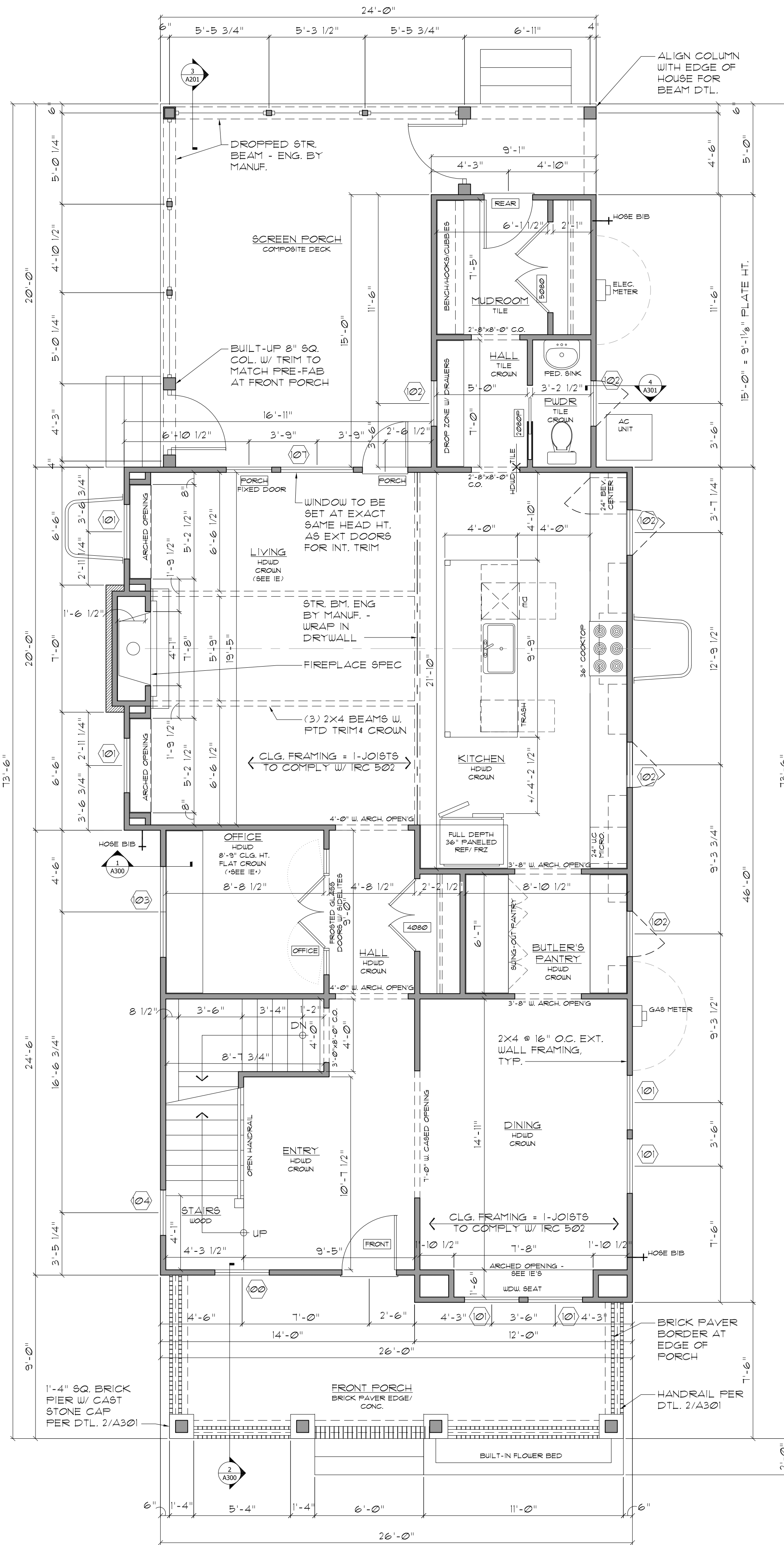
| WINDOW NUMBER | TYPE              | ACTUAL SIZE |        | EGRESS | QTY. |
|---------------|-------------------|-------------|--------|--------|------|
|               |                   | WIDTH       | HEIGHT |        |      |
| 00            | FIXED             | 3'-0"       | 2'-6"  |        |      |
| 01            | DOUBLE HUNG       | 3'-0"       | 6'-0"  |        |      |
| 02            | CASEMENT OR FIXED | 2'-6"       | 4'-0"  |        |      |
| 03            | DOUBLE HUNG       | (2) 2'-6"   | 5'-0"  |        |      |
| 04            | DOUBLE HUNG       | 2'-6"       | 5'-0"  |        |      |
| 05            | DOUBLE HUNG       | 2'-6"       | 6'-0"  |        |      |
| 06            | DOUBLE HUNG       | 1'-6"       | 6'-0"  |        |      |
| 07            | FIXED             | 4'-0"       | 5'-6"  |        |      |
| 08            | FIXED             | 1'-6"       | 3'-6"  |        |      |
| 09            | DOUBLE HUNG       | 3'-0"       | 5'-6"  |        |      |
| 10            | FIXED             | 3'-0"       | 1'-8"  |        |      |
| 11            | FIXED             | 2'-0"       | 3'-0"  |        |      |

- NOTES:
1. ALL WINDOWS TO BE ANDERSEN 100 SERIES. COLOR SELECTION BY OWNER.
  2. TEMPERED GLASS AS REQUIRED BY CODE.
  3. MUNTIN PATTERN PER ELEVATIONS. MUNTINS TO BE SDL W/SPACER BAR B/W GLASS.
  4. WINDOW SIZES ARE GENERIC FOR BIDDING PURPOSES.
  5. CASEMENT WINDOW DIRECTION MARKED ON PLANS AND ELEVATIONS.

**DOOR SCHEDULE**

| DOOR NUMBER | SIZE   | TYPE                 | LOCKSET                | REMARKS  | QTY. |
|-------------|--|----------------------|------------------------|--|------|
| FRONT       | 3'-0"x8'-0"x1 3/4" (SEE ELEVATIONS)                                    | FIBERGLASS, PRE-HUNG | PRIVACY 4 DEADBOLT     | PRE-HUNG UNIT W/ ADJ. THRES., WEATHER STRIP, JAMB SAVERS | 1    |
| REAR        | 2'-8"x8'-0"x1 3/4" (SEE ELEVATIONS)                                    | FIBERGLASS, PRE-HUNG | PRIVACY 4 DEADBOLT     | PRE-HUNG UNIT W/ ADJ. THRES., WEATHER STRIP, JAMB SAVERS | 1    |
| PORCH       | 2'-6"x8'-0"x1 3/4" (SEE ELEVATIONS)                                    | FIBERGLASS, PRE-HUNG | PRIVACY 4 DEADBOLT     | PRE-HUNG UNIT W/ ADJ. THRES., WEATHER STRIP, JAMB SAVERS | 1    |
| 2020P       | 2'-0"x8'-0"x1 3/8"   | MASONITE, POCKET     | PRIV. OR P&G PER PLANS | SOLID CORE, RAISED 2 PANEL                               | 1    |
| 4020        | (2) 2'-0"x6'-8"x1 3/8"   | MASONITE, PRE-HUNG   | PRIV. OR P&G PER PLANS | SOLID CORE, RAISED 2 PANEL                               |      |
| 5020        | (2) 2'-6"x6'-8"x1 3/8"   | MASONITE, PRE-HUNG   | PRIV. OR P&G PER PLANS | SOLID CORE, RAISED 2 PANEL                               |      |
| OFFICE      | (2) 2'-0"x8'-0"x1 3/8" AND (2) 1'-6"x8'-0" SIDELIGHTS (SEE INT. ELEV.) | MASONITE, PRE-HUNG   | PRIV. OR P&G PER PLANS | PAINT GRADE WOOD DOOR W/ FIXED SIDELIGHTS                |      |
| 2068        | 2'-0"x6'-8"x1 3/8"   | MASONITE, PRE-HUNG   | PRIV. OR P&G PER PLANS | SOLID CORE, RAISED 2 PANEL                               |      |
| 2068P       | 2'-0"x6'-8"x1 3/8"   | MASONITE, POCKET     | PRIV. OR P&G PER PLANS | SOLID CORE, RAISED 2 PANEL                               |      |
| 2468        | 2'-4"x6'-8"x1 3/8"   | MASONITE, PRE-HUNG   | PRIV. OR P&G PER PLANS | SOLID CORE, RAISED 2 PANEL                               |      |
| 2668        | 2'-6"x6'-8"x1 3/8"   | MASONITE, PRE-HUNG   | PRIV. OR P&G PER PLANS | SOLID CORE, RAISED 2 PANEL                               |      |
| 2868        | 2'-8"x6'-8"x1 3/8"   | MASONITE, PRE-HUNG   | PRIV. OR P&G PER PLANS | SOLID CORE, RAISED 2 PANEL                               |      |
| 21068P      | 2'-0"x6'-8"x1 3/8"   | MASONITE, POCKET     | PRIV. OR P&G PER PLANS | SOLID CORE, RAISED 2 PANEL                               |      |
| 3068        | 3'-0"x6'-8"x1 3/8"   | MASONITE, PRE-HUNG   | PRIV. OR P&G PER PLANS | SOLID CORE, RAISED 2 PANEL                               |      |

- NOTES:
1. ALL DOORS TO BE SOLID CORE
  2. BASEMENT AND SECOND FLOOR DOOR HEIGHT = 6'-8"
  3. FIRST FLOOR DOOR HEIGHT = 8'-0"
  4. ALL BEDROOM AND BATHROOM LOCKSETS TO BE PRIVACY, ALL OTHERS TO BE PASSAGE. EXTERIOR DOOR LOCKSETS PER HOMEOWNER SPECIFICATIONS.



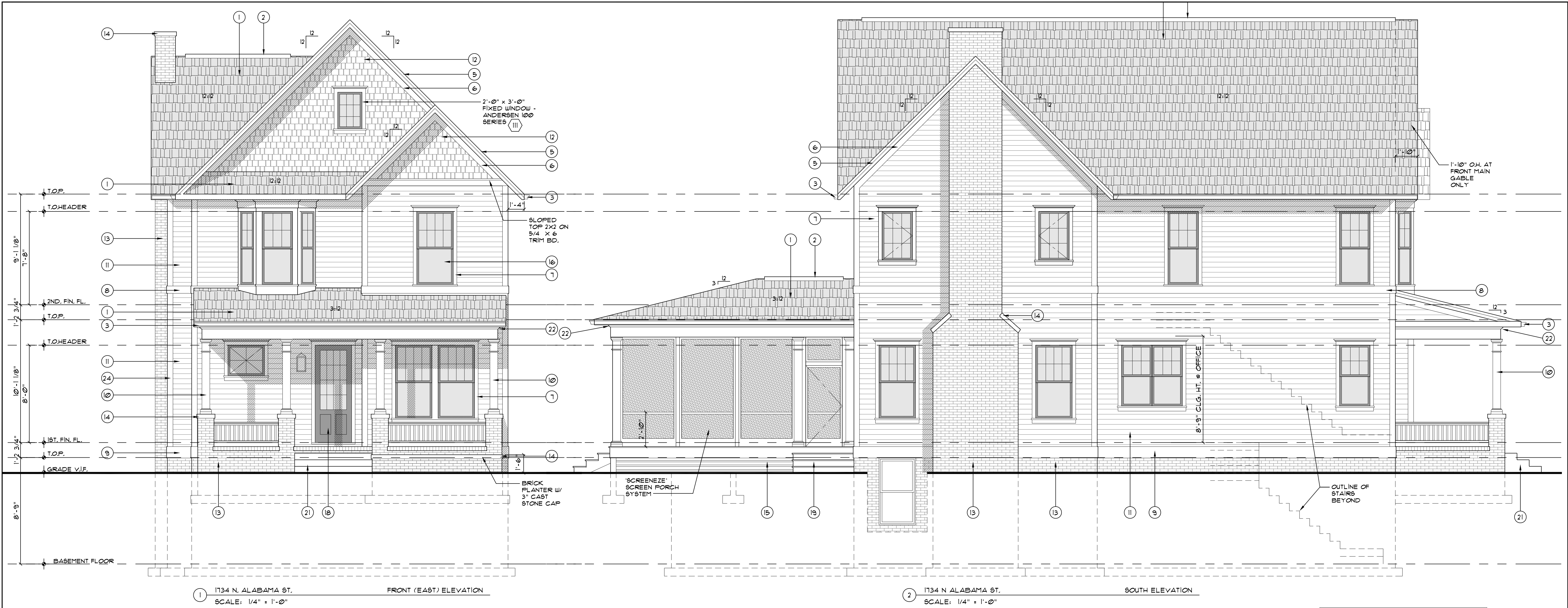
1 HOLMES RESIDENCE  
SCALE: 1/4" = 1'-0"

FIRST FLOOR PLAN  
FINISH SQ. FOOTAGE: 1351 SF (MEASURED TO OUTSIDE WALLS, EXCLUDES PORCHES)

2 HOLMES RESIDENCE  
SCALE: 1/4" = 1'-0"

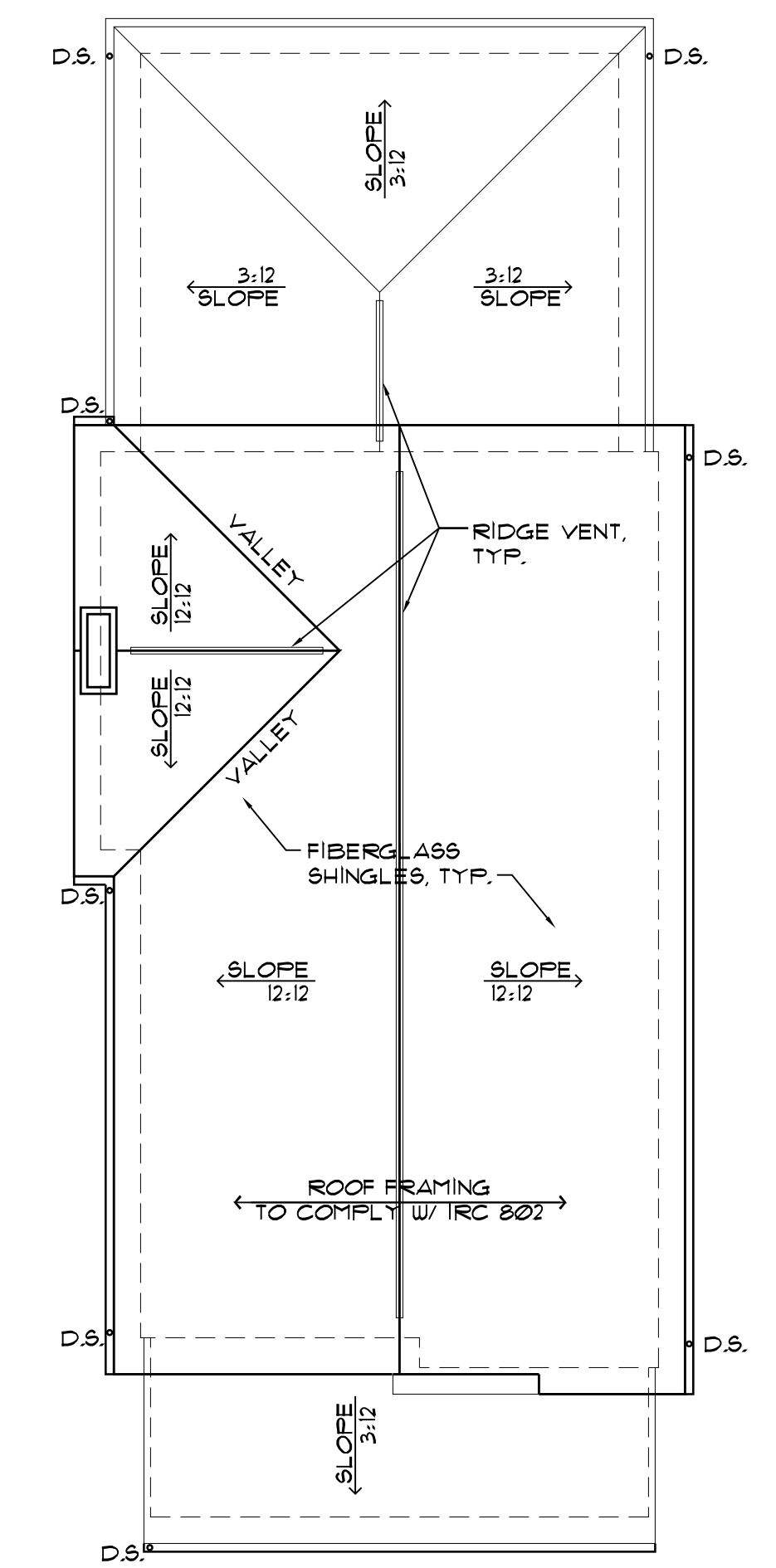
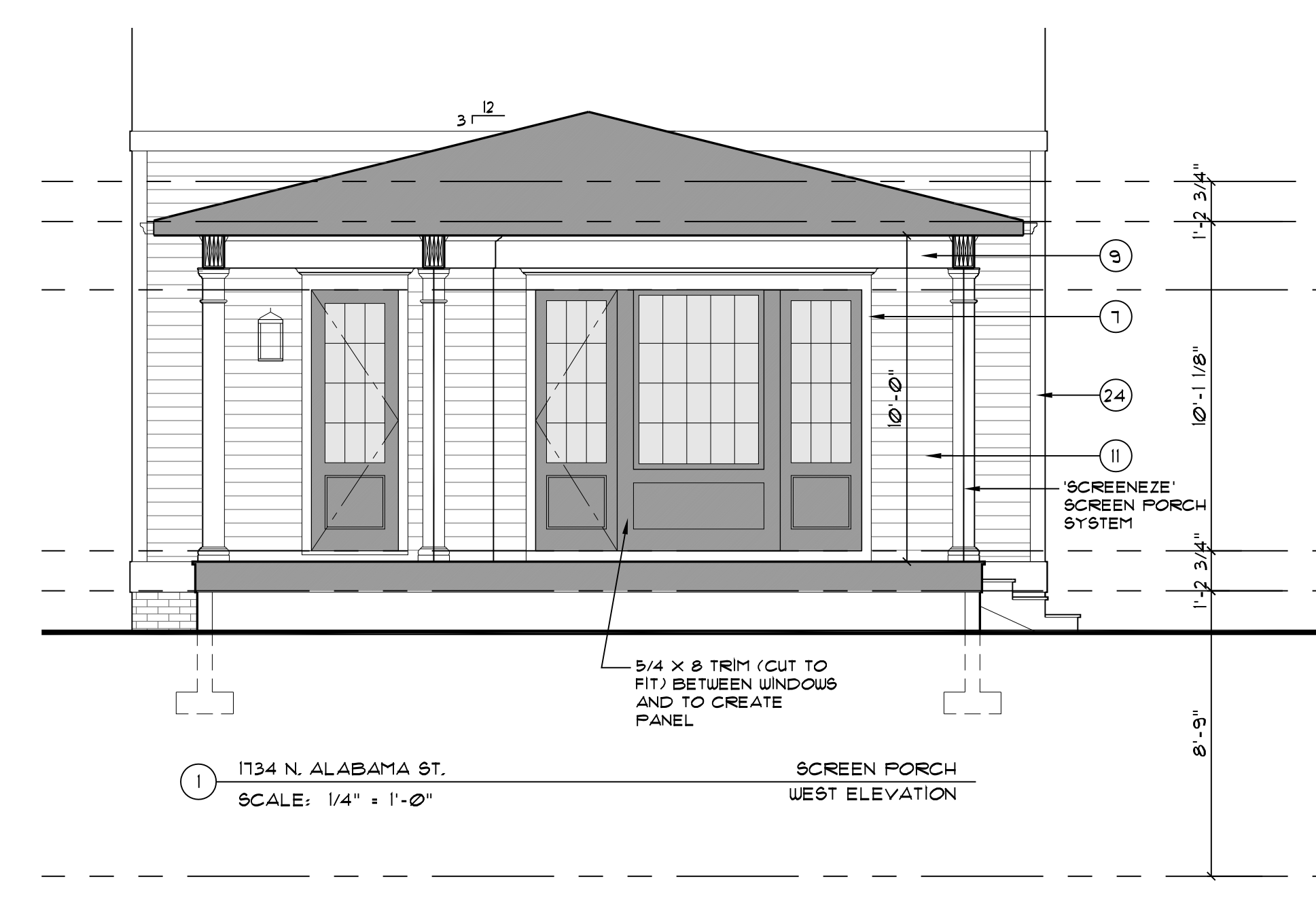
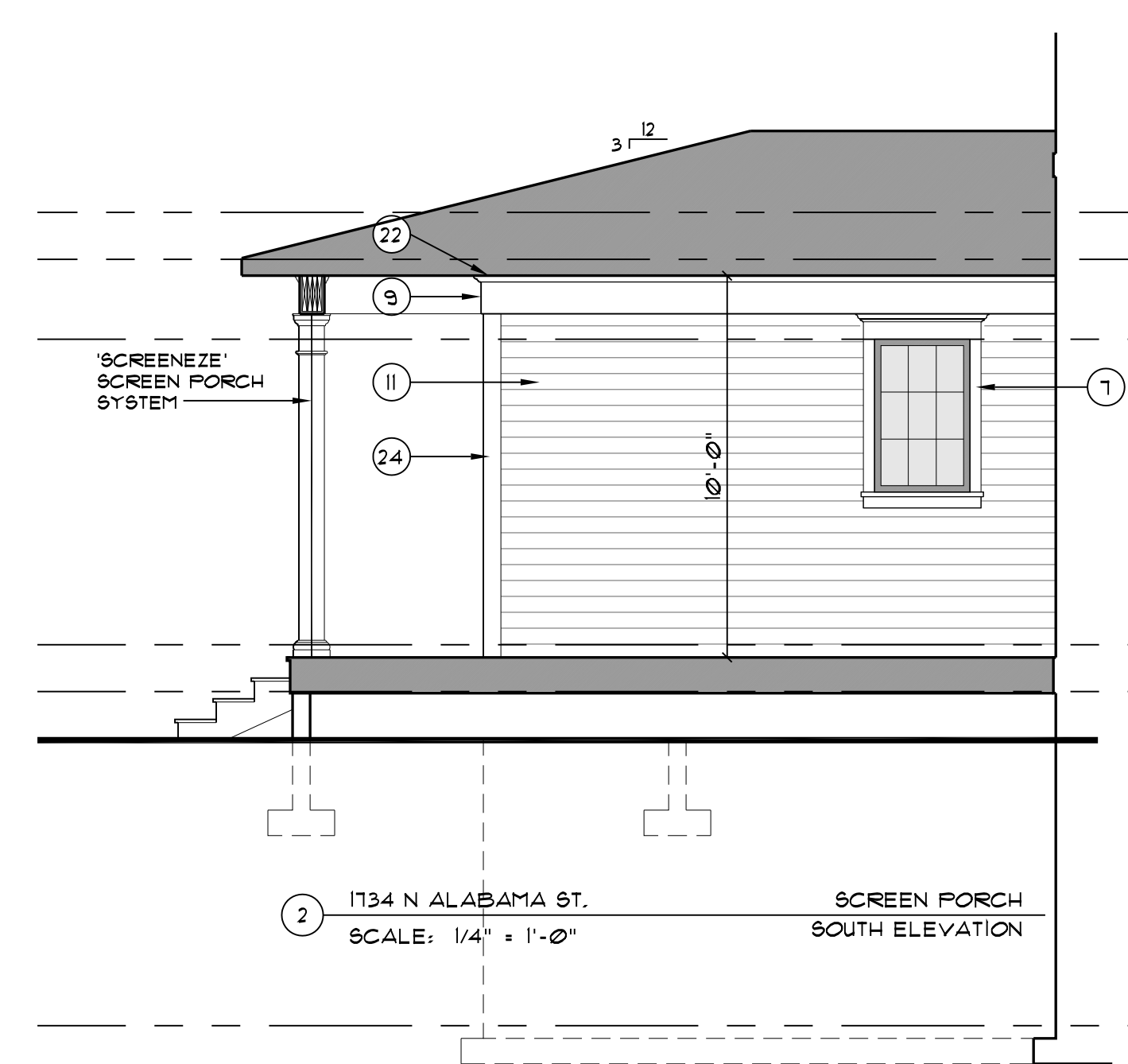
SECOND FLOOR PLAN  
FINISH SQ. FOOTAGE: 1223 SF (MEASURED TO OUTSIDE WALLS)



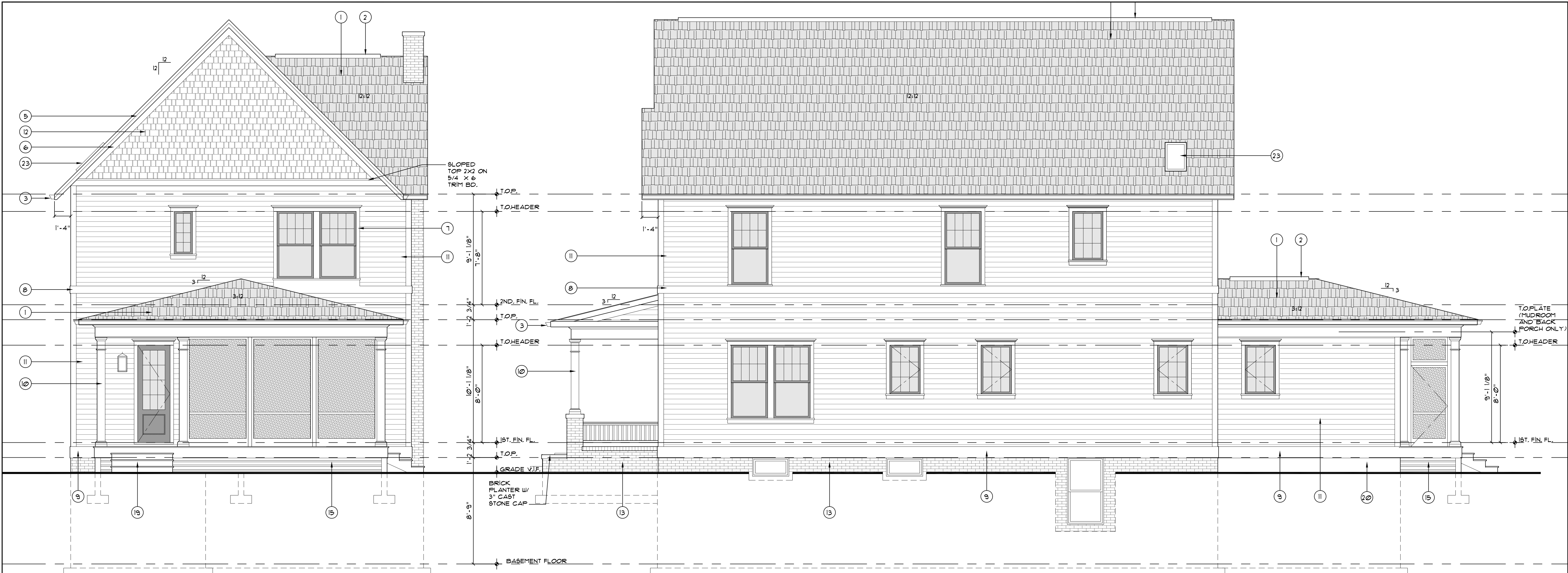


**EXTERIOR MATERIALS KEY**

- 1 3-DIMENSIONAL FIBERGLASS ROOF SHINGLES
- 2 RIDGE VENT
- 3 ALUMINUM GUTTER
- 4 ALUMINUM DOWNSPOUT
- 5 RAKE BOARDS: 1X3 ON 1X6 (SMOOTH)
- 6 SUB-RAKE BOARD: 5/4 X 6 (SMOOTH)
- 7 TYPICAL WINDOW AND DOOR DETAIL: 5/4X6 SMARTSIDE CASING (SMOOTH) W/ AZEK RAMS CROWN (AZM-6934) TO WRAP T/TRIM // WINDOW SILL : 2X2 ABOVE 5/4 X4 APRON
- 8 5/4X8 SMARTSIDE TRIM BOARD (SMOOTH)
- 9 5/4X12 SMARTSIDE TRIM BOARD (SMOOTH)
- 10 8" SQ. PREFAB TUSCAN COLUMN
- 11 FIBERCEMENT BOARD SIDING, 5" EXPOSURE (SMOOTH) - METAL CAPS @ CORNERS
- 12 FIBERCEMENT STRAIGHT-CUT SHINGLE SIDING
- 13 STANDARD BRICK VENEER
- 14 CAST STONE CAP
- 15 BACK PORCH SKIRTBOARD, PAINTED; 1X6 SMARTSIDE TRIM (SMOOTH) AT CORNER POSTS, 1X4 SMARTSIDE HORIZONTAL TRIM BOARDS AND 1/2" GAP BETWEEN BOARDS
- 16 ANDERSEN 100 SERIES WINDOWS
- 17 VELUX SKYLIGHT C01 V9E
- 18 PAINT GRADE FIBERGLASS EXTERIOR DOOR
- 19 COMPOSITE DECKING STEPS W/ PAINTED RISERS
- 20 CONCRETE FOUNDATION
- 21 CONCRETE STEPS
- 22 AZEK RAMS CROWN
- 23 VELUX SKYLIGHT
- 24 5/4 X 6 CORNERBOARDS (SMOOTH)





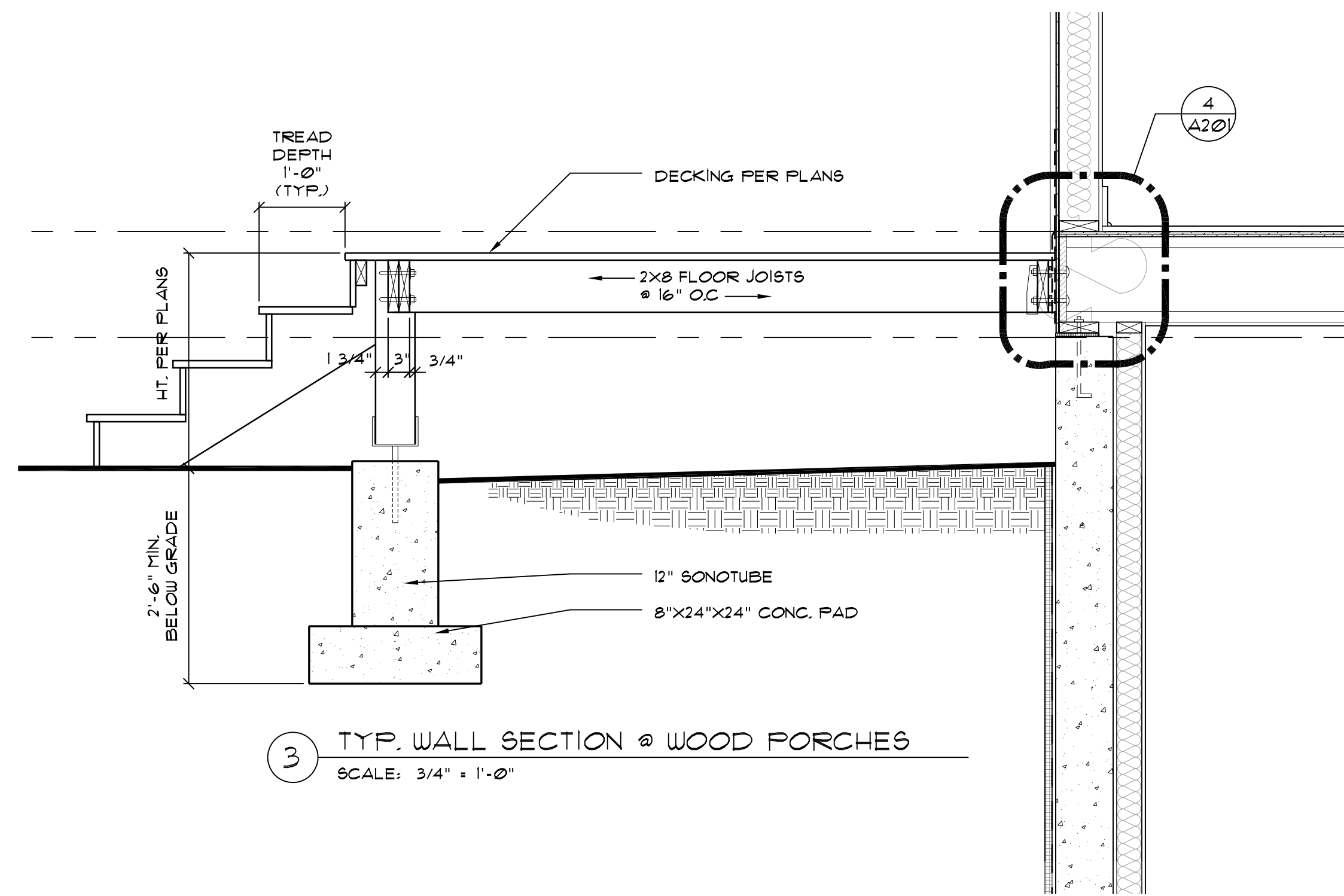


1 1734 N. ALABAMA ST.  
SCALE: 1/4" = 1'-0"

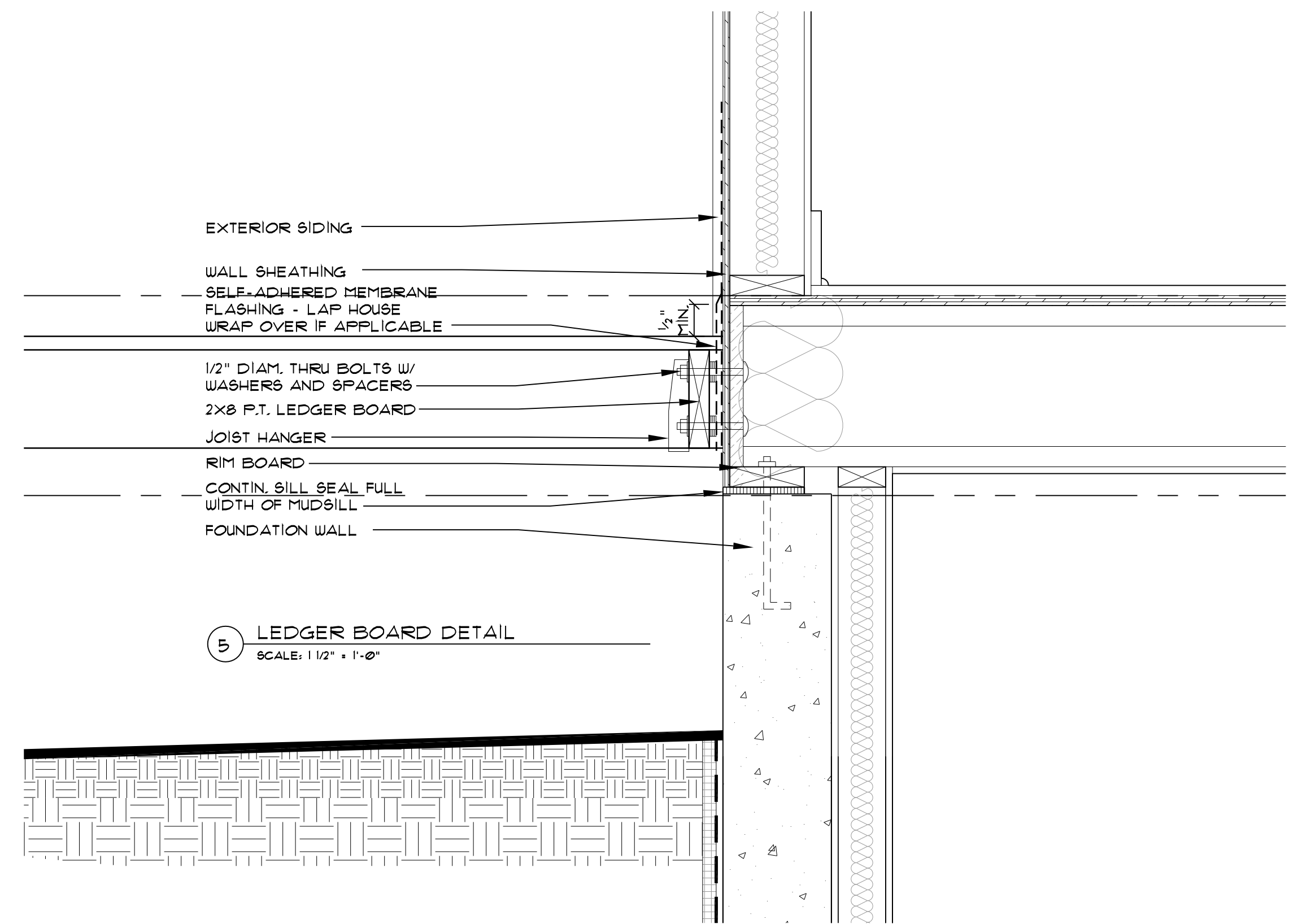
2 1734 N ALABAMA ST.  
SCALE: 1/4" = 1'-0"

**EXTERIOR MATERIALS KEY**

- 1 3-DIMENSIONAL FIBERGLASS ROOF SHINGLES
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- 15 BACK PORCH SKIRTBOARD, PAINTED; 1X6 SMARTSIDE TRIM (SMOOTH) AT CORNER POSTS, 1X4 SMARTSIDE HORIZONTAL TRIM BOARDS AND 1/2" GAP BETWEEN BOARDS
- 16 ANDERSEN 100 SERIES WINDOWS
- 17 VELUX SKYLIGHT C01 V9E
- 18 PAINT GRADE FIBERGLASS EXTERIOR DOOR
- 19 COMPOSITE DECKING STEPS W/ PAINTED RISERS
- 20 CONCRETE FOUNDATION
- 21 CONCRETE STEPS
- 22 AZEK RAMS CROWN
- 23 VELUX SKYLIGHT
- 24 5/4 X 6 CORNERBOARDS (SMOOTH)



3 TYP. WALL SECTION @ WOOD PORCHES  
SCALE: 3/4" = 1'-0"



5 LEDGER BOARD DETAIL  
SCALE: 1 1/2" = 1'-0"

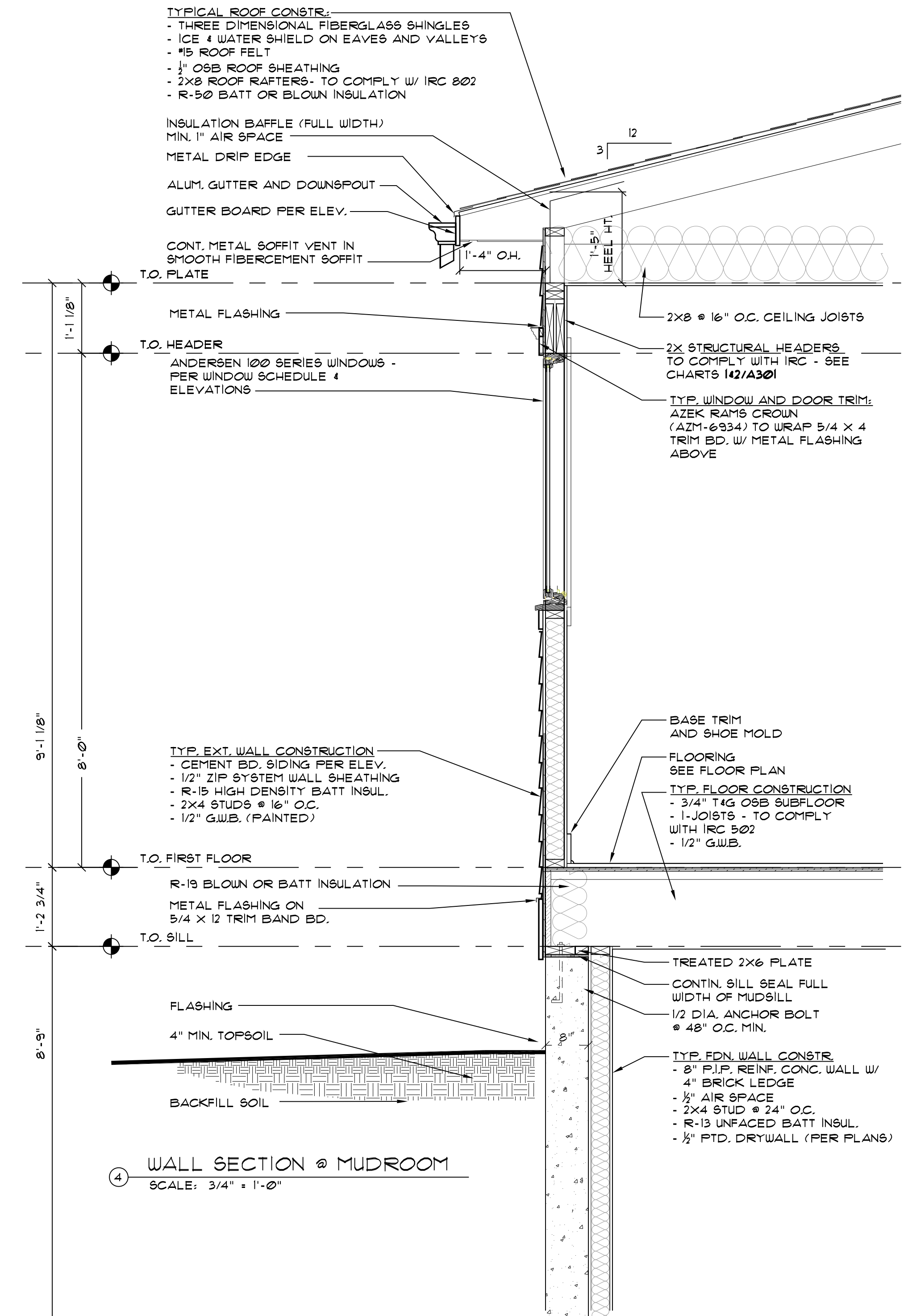
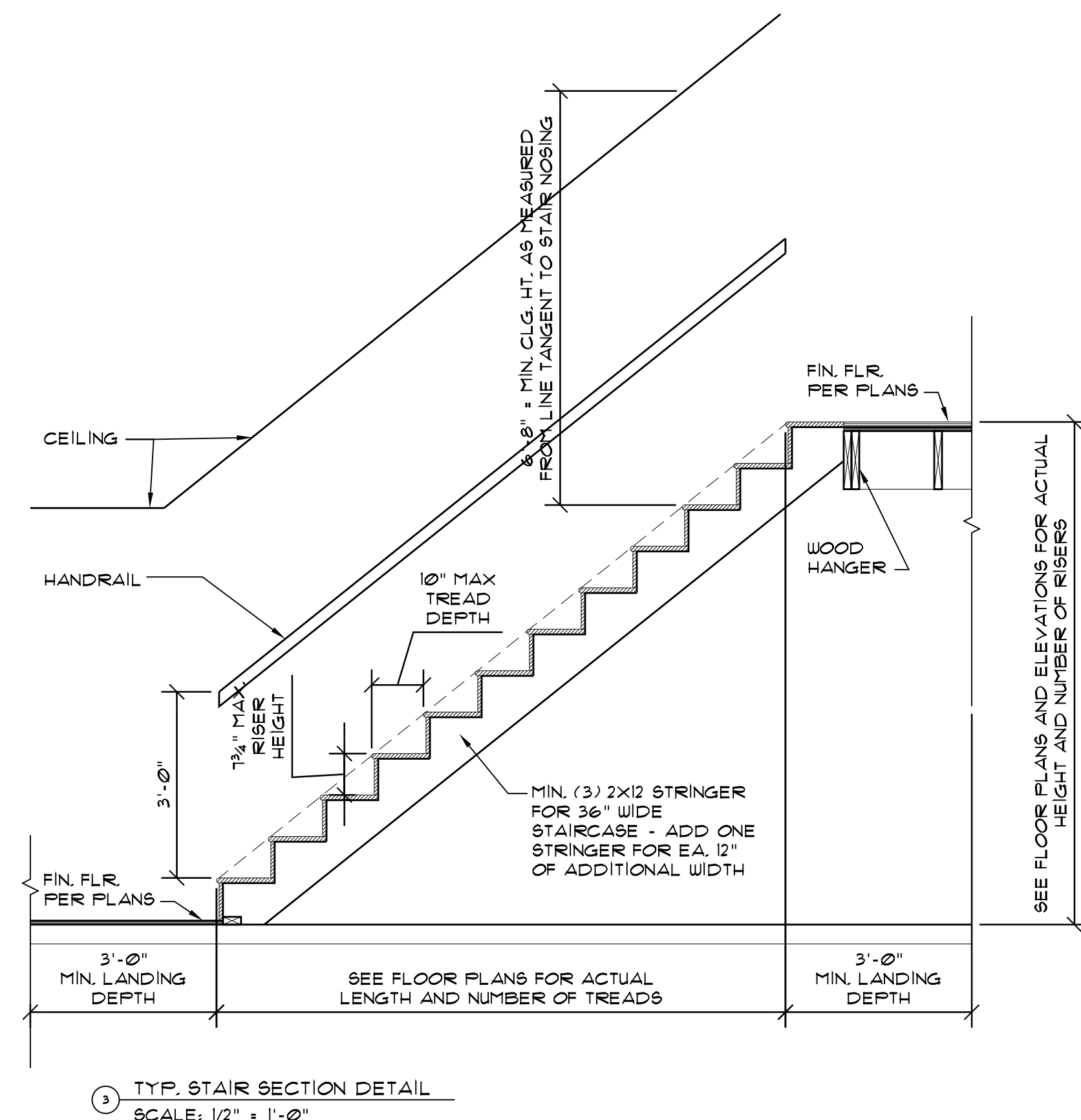
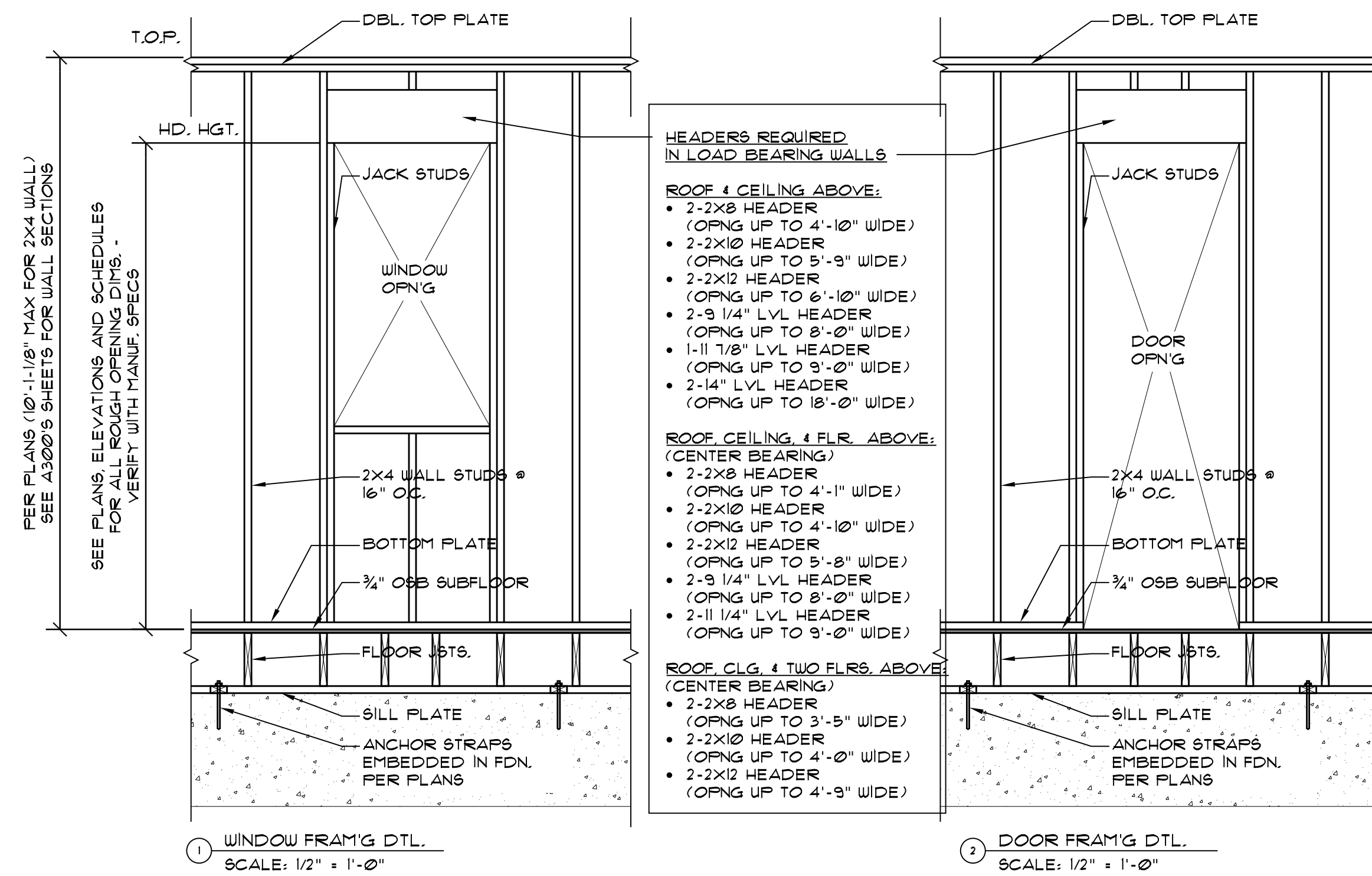




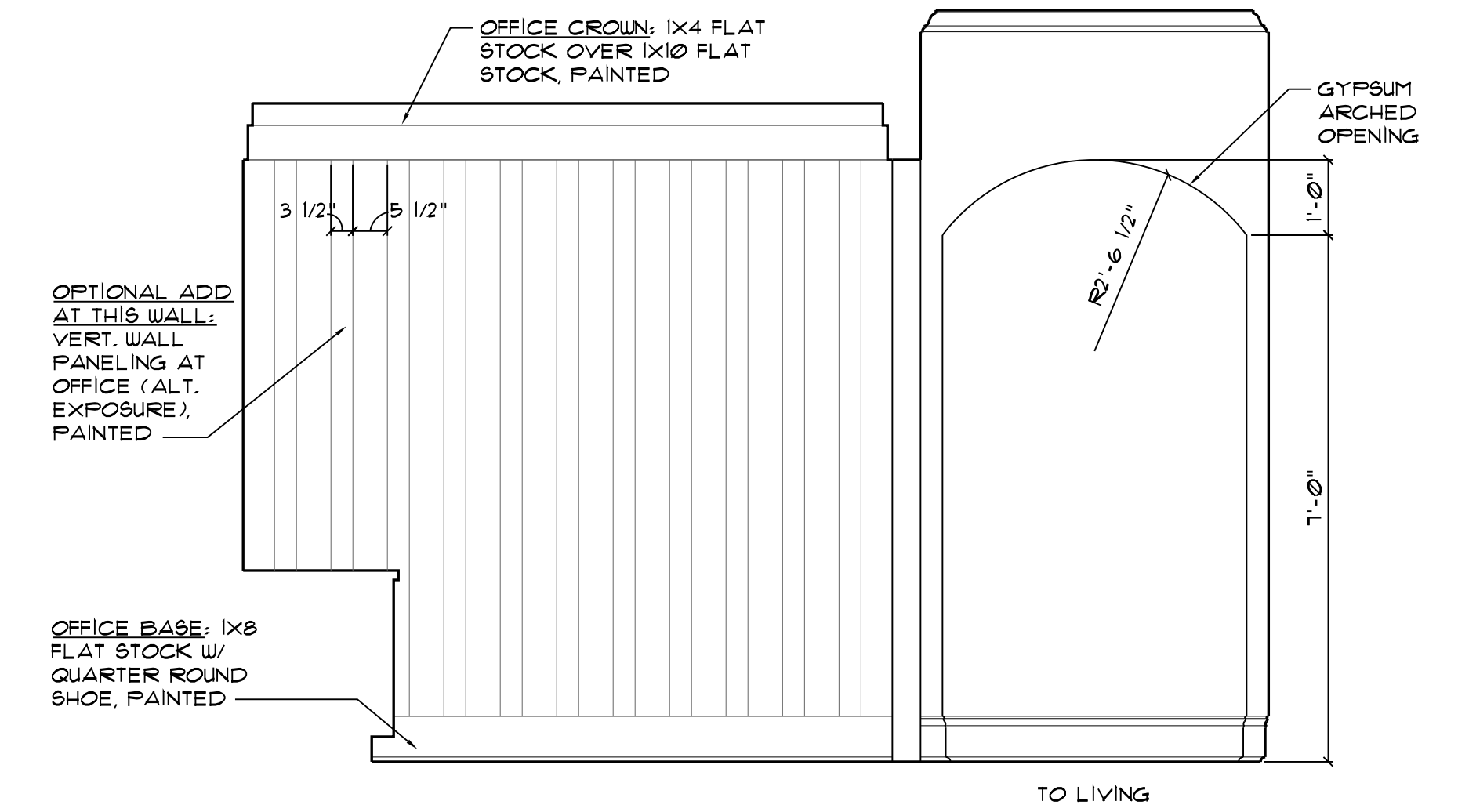
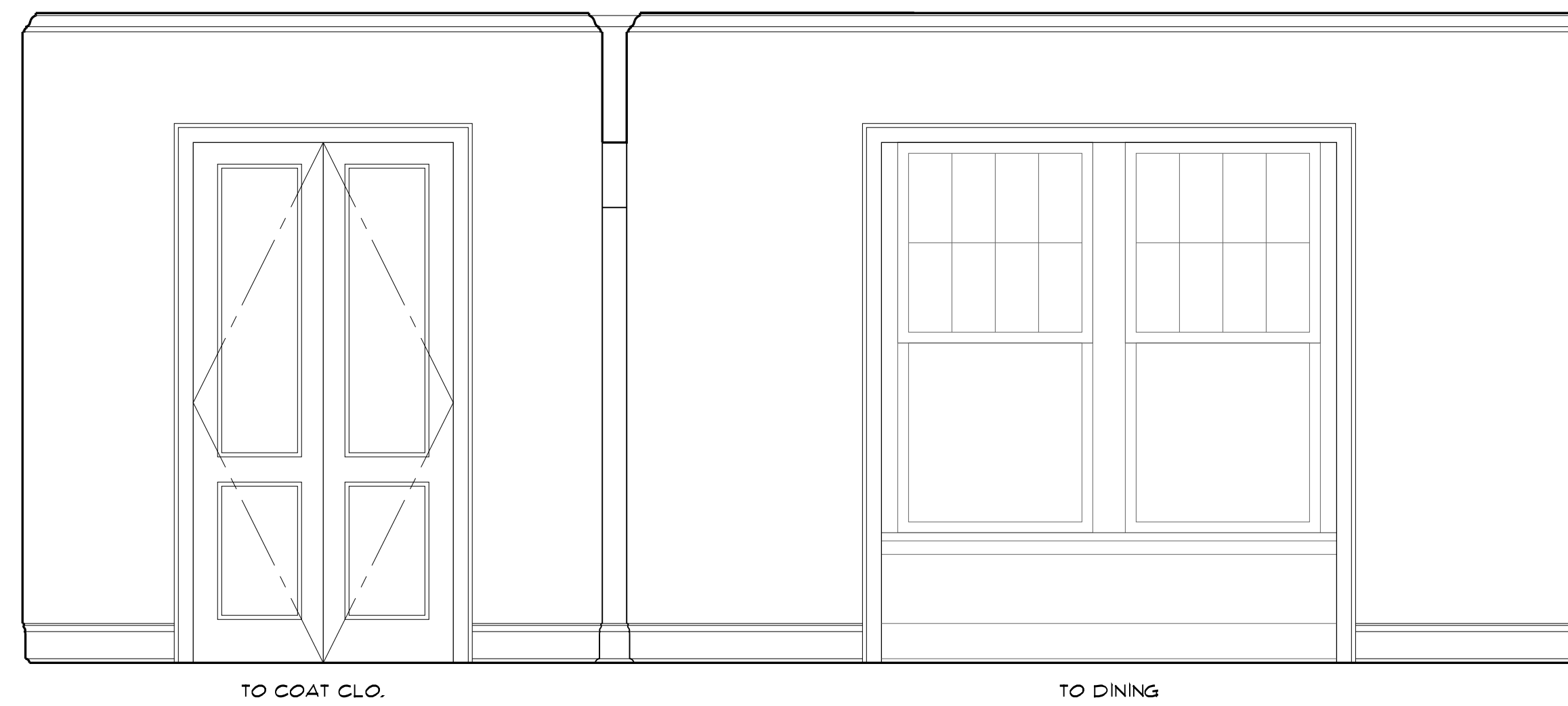
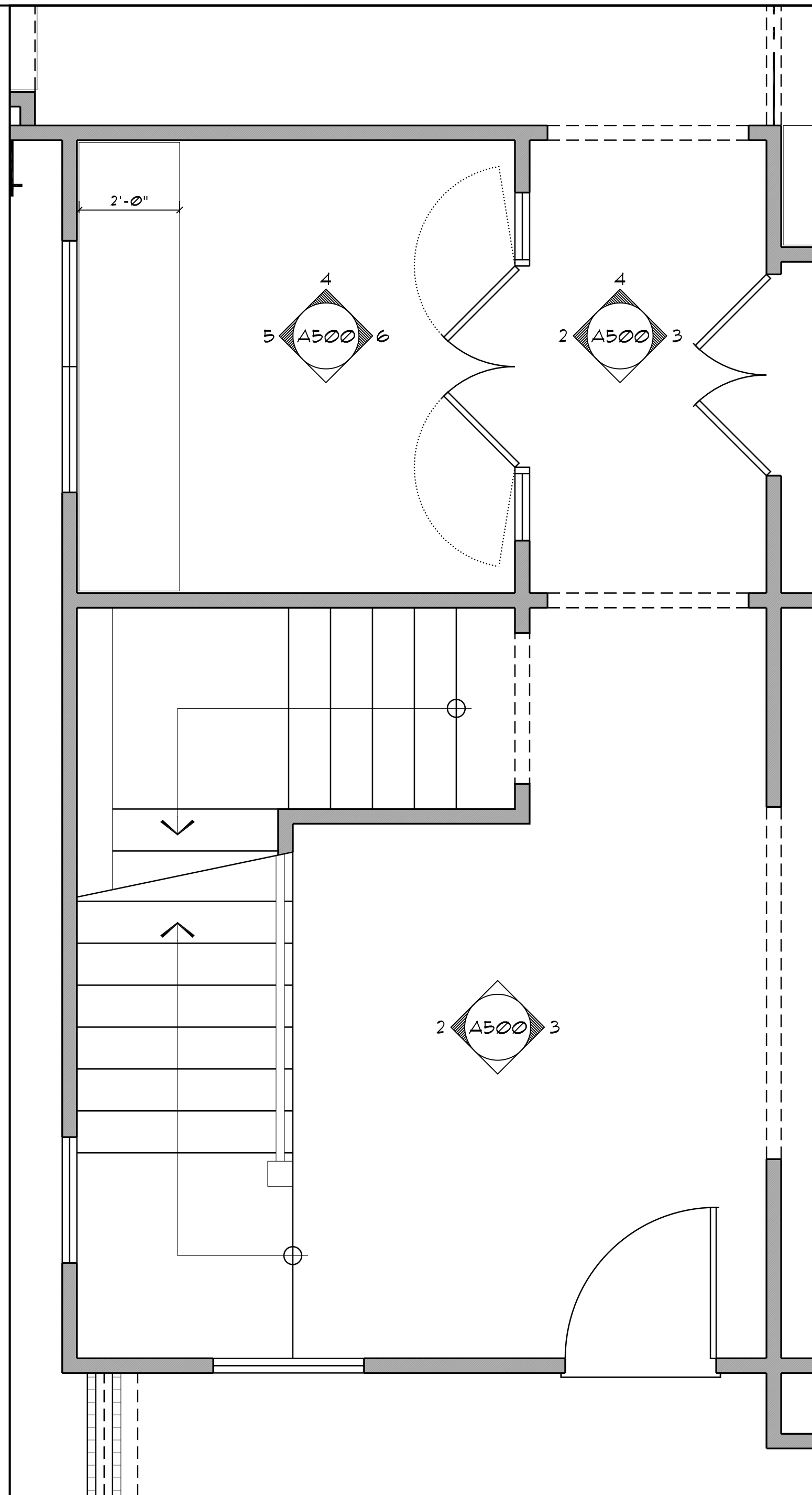


| TABLE R602.3(5) - WD. STUD SIZE, HT. & SPACING |                                      |   |  |                                      |                          |
|--|--------------------------------------|---|--|--------------------------------------|--------------------------|
| STUD SIZE (INCHES)                             | LOAD BEARING WALLS                   |   |  | NON-LOAD BEARING WALLS               |                          |
|  | LATERALLY UNSUPPORTED STUD HT. (FT.) | MAXIMUM SPACING WHERE SUPPORTING A ROOF-CEILING ASSEMBLY OR HABITABLE ATTIC ASSEMBLY, ONLY (INCHES) | MAXIMUM SPACING WHERE SUPPORTING ONE FLOOR PLUS A ROOF-CEILING ASSEMBLY OR HABITABLE ATTIC ASSEMBLY, ONLY (INCHES) | LATERALLY UNSUPPORTED STUD HT. (FT.) | MAXIMUM SPACING (INCHES) |
| 2x4  | 10                                   | 24  | 16   | 14                                   | 24                       |
| 2x6  | 10                                   | 24  | 24   | 20                                   | 24                       |

NOTE:  
A HABITABLE ATTIC ASSEMBLY SUPPORTED BY 2x4 STUDS IS LIMITED TO A ROOF SPAN OF 32 FEET. WHERE THE ROOF SPAN EXCEEDS 32 FEET, THE WALL STUDS SHALL BE INCREASED TO 2x6 OR THE STUDS SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.

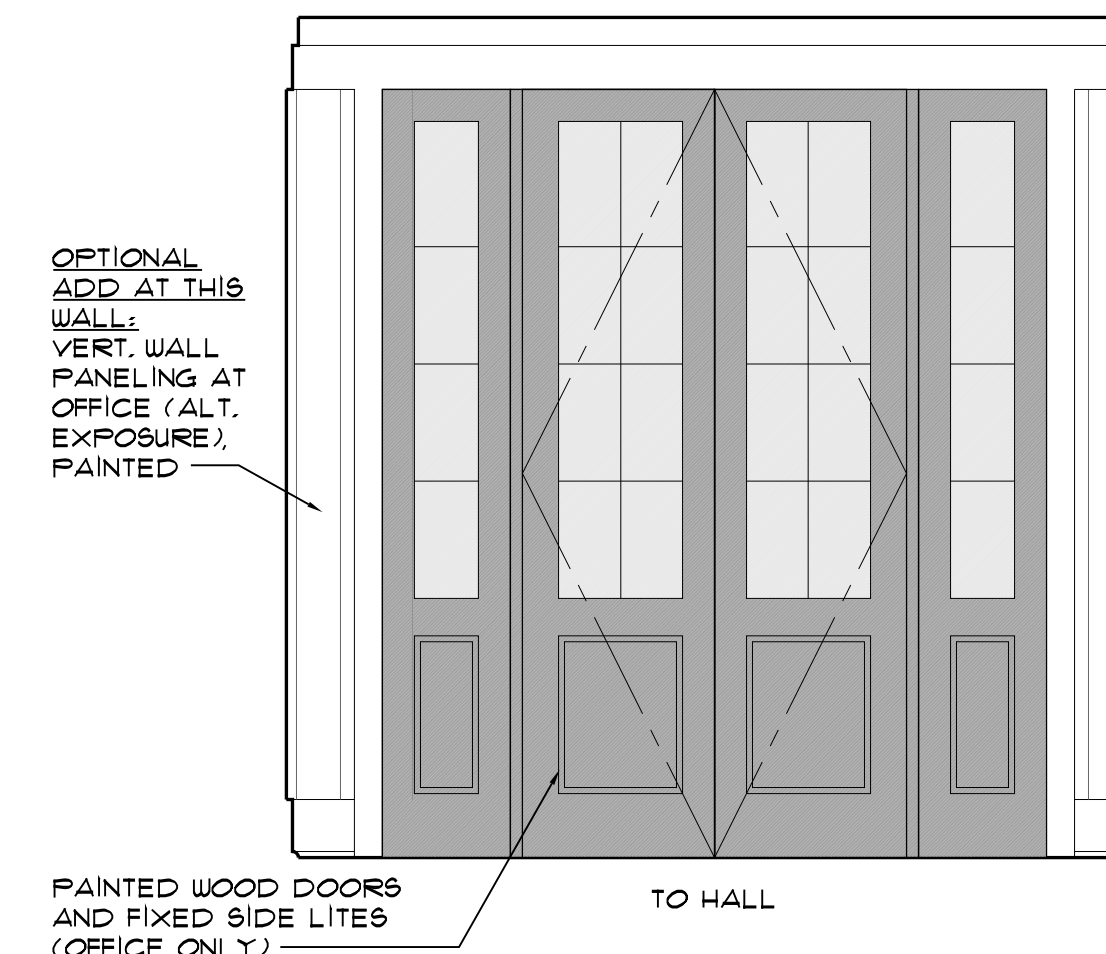
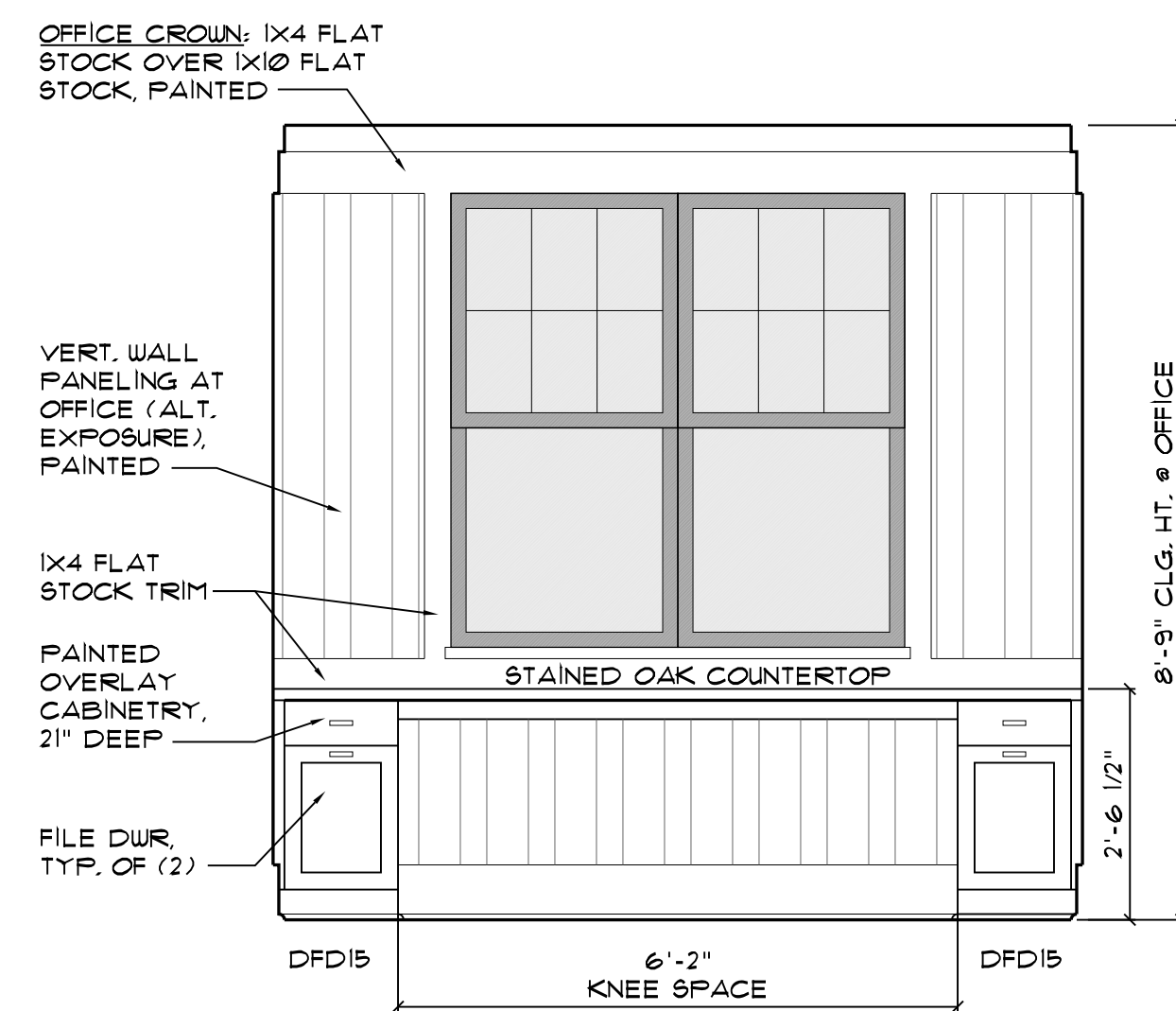




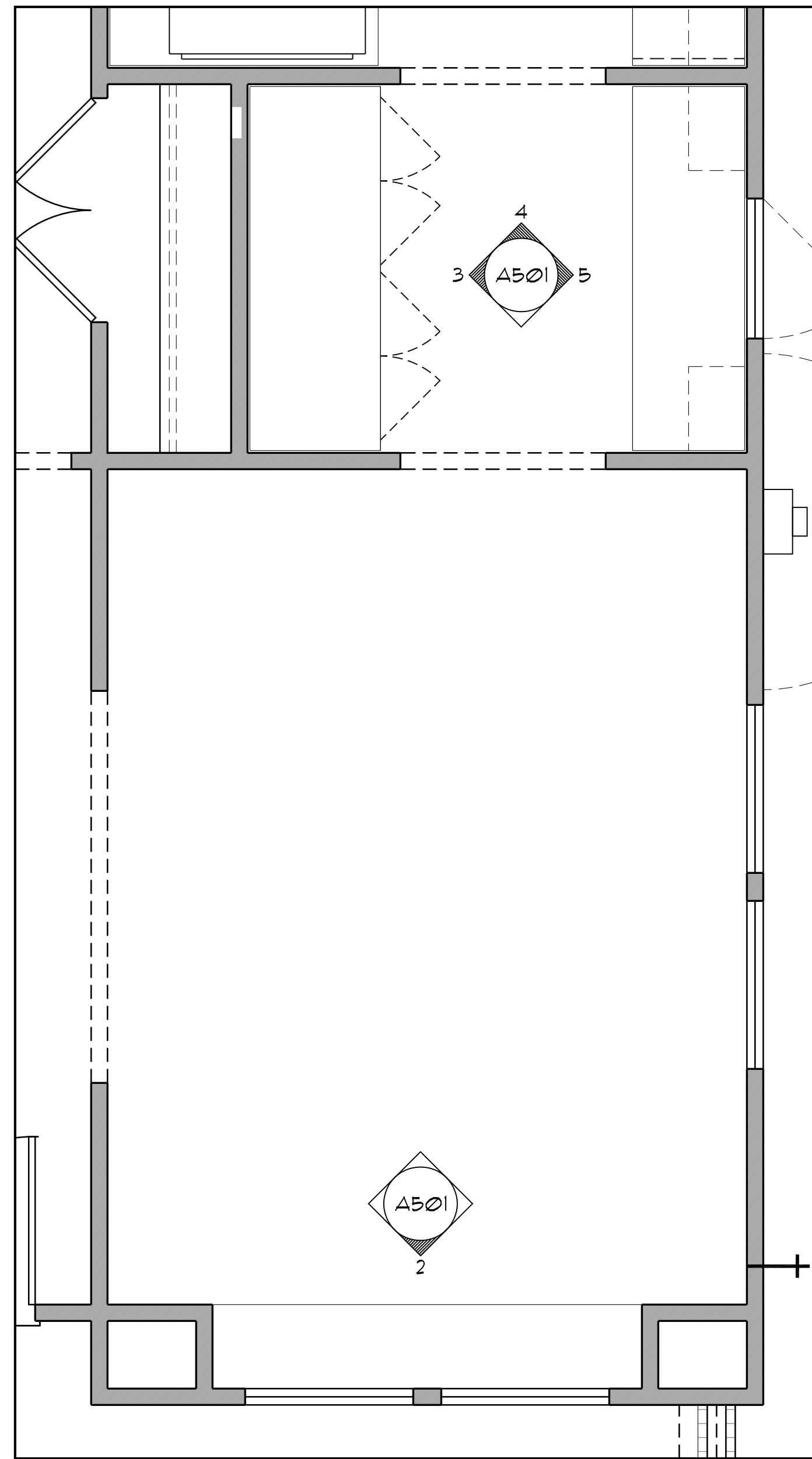


| TRIM SCHEDULE - KOETTER STOCK PIECES |                    |                              |                 |
|--------------------------------------|--------------------|------------------------------|-----------------|
| FLOOR                                | CROWN              | CASING                       | BASE            |
| BASEMENT                             | N/A                | KOETTER 2412-EX6-CA          | KOETTER 18168-B |
| FIRST                                | KOETTER 20136-B-CR | KOETTER 24112-EX6-CA         | KOETTER 18232-B |
| SECOND                               | KOETTER 20136-B-CR | KOETTER 24112-EX6-CA         | KOETTER 18168-B |
| SPECIALTY PIECES:                    |                    |                              |                 |
| FIREPLACE MANTLE COVE                |                    | KOETTER 24104-ITC-CR         |                 |
| NEWEL POST                           |                    | KOETTER K-4091 -- CUT TO FIT |                 |
| HANDRAIL                             |                    | KOETTER K-6010-ST            |                 |

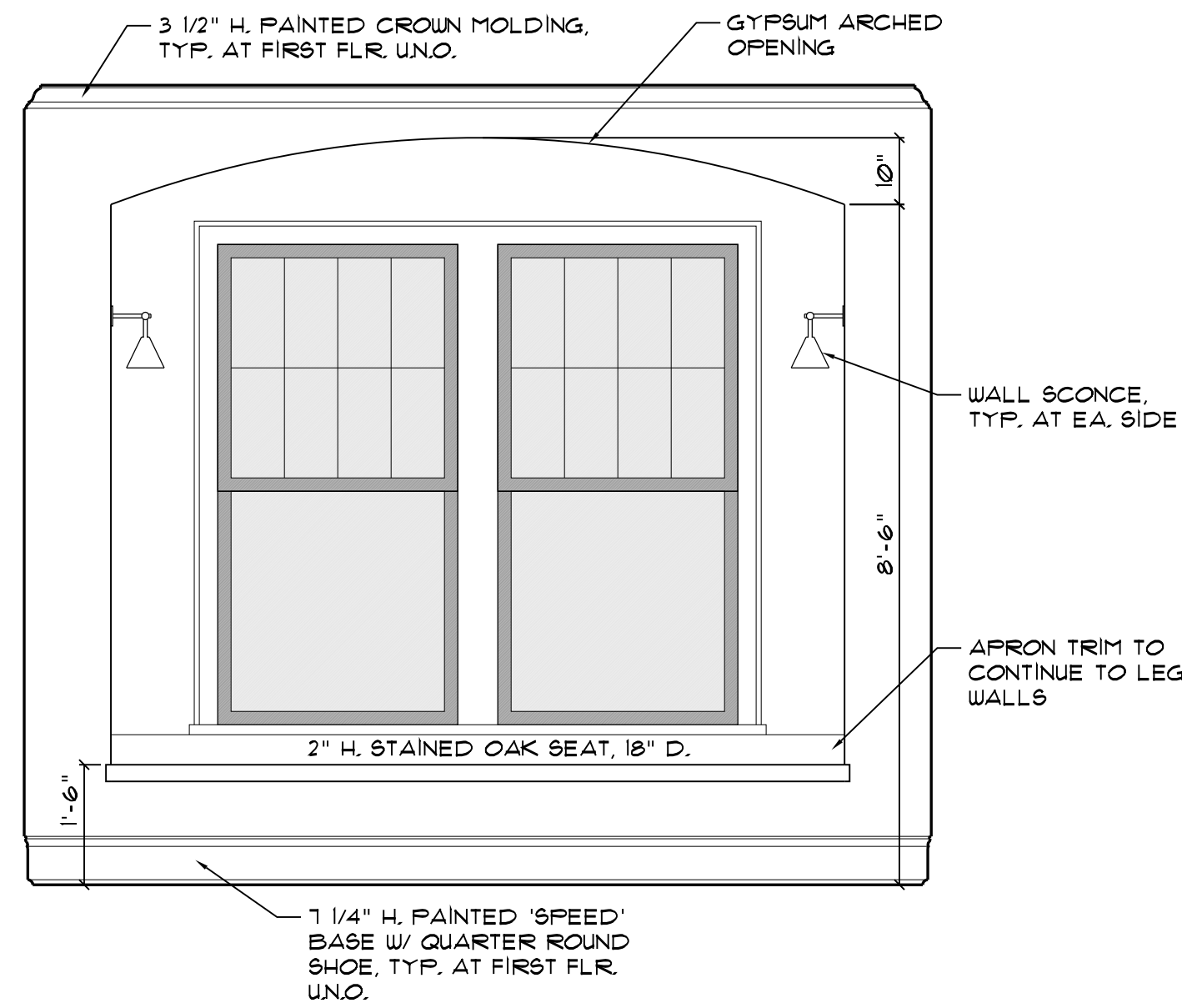
REFER TO INTERIOR ELEVATIONS FOR TRIM DETAILS



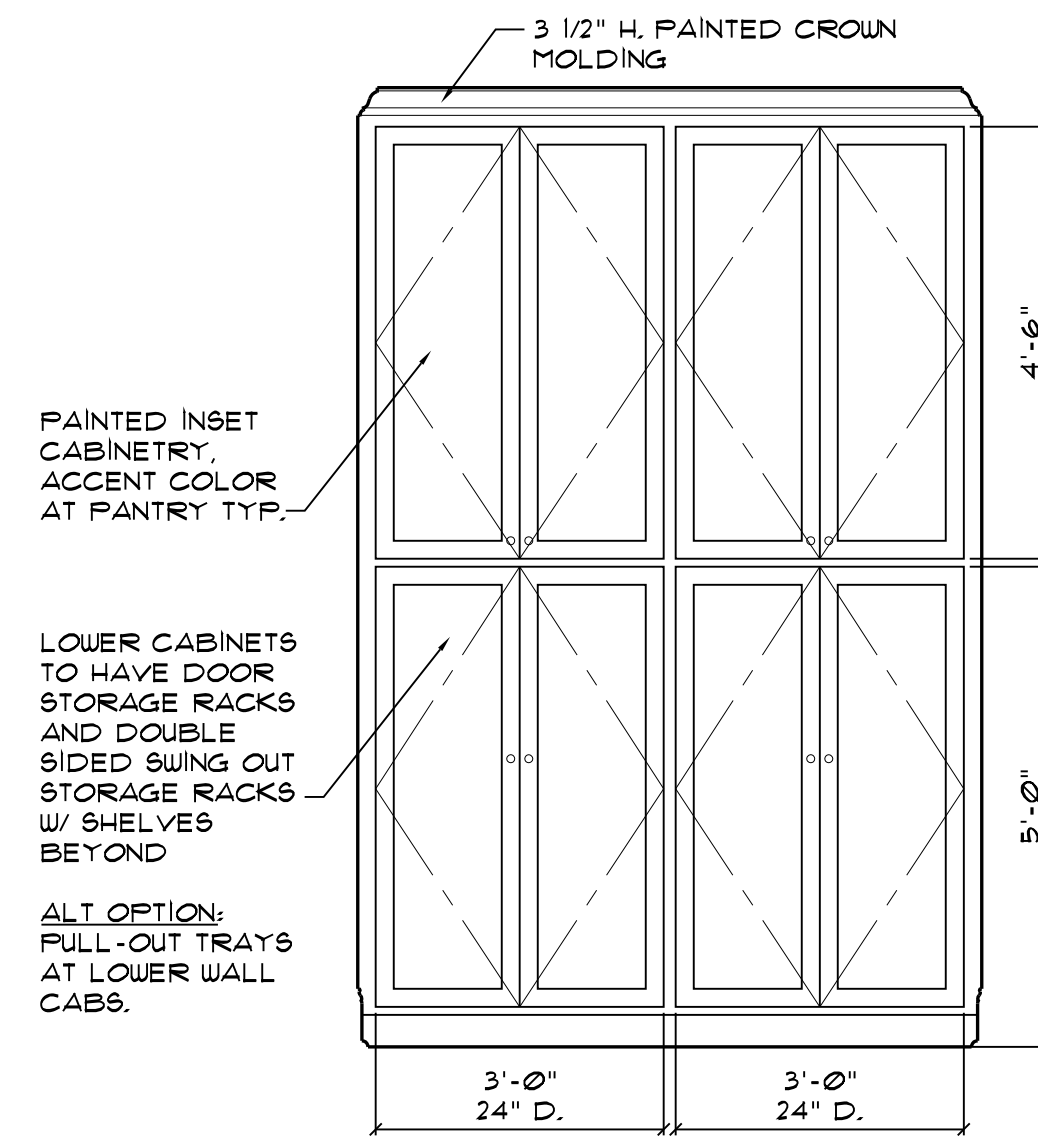




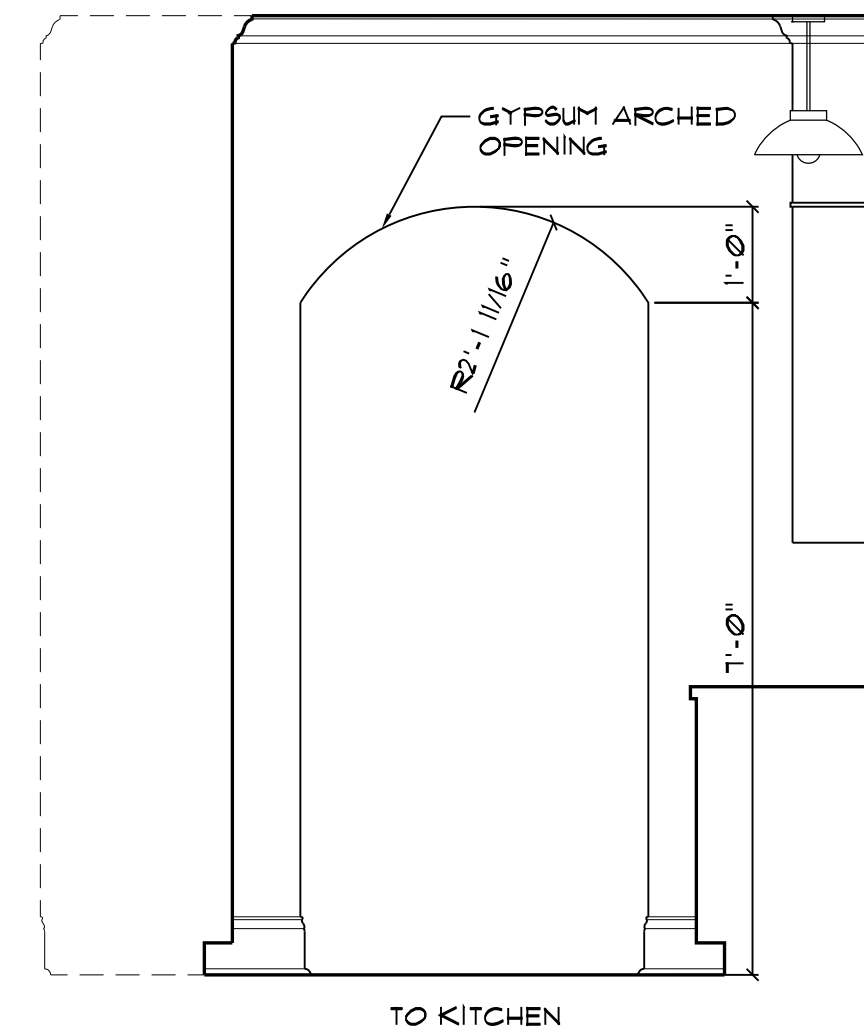
1 DINING ROOM AND BUTLER'S PANTRY PLAN  
SCALE: 1/2" = 1'-0"



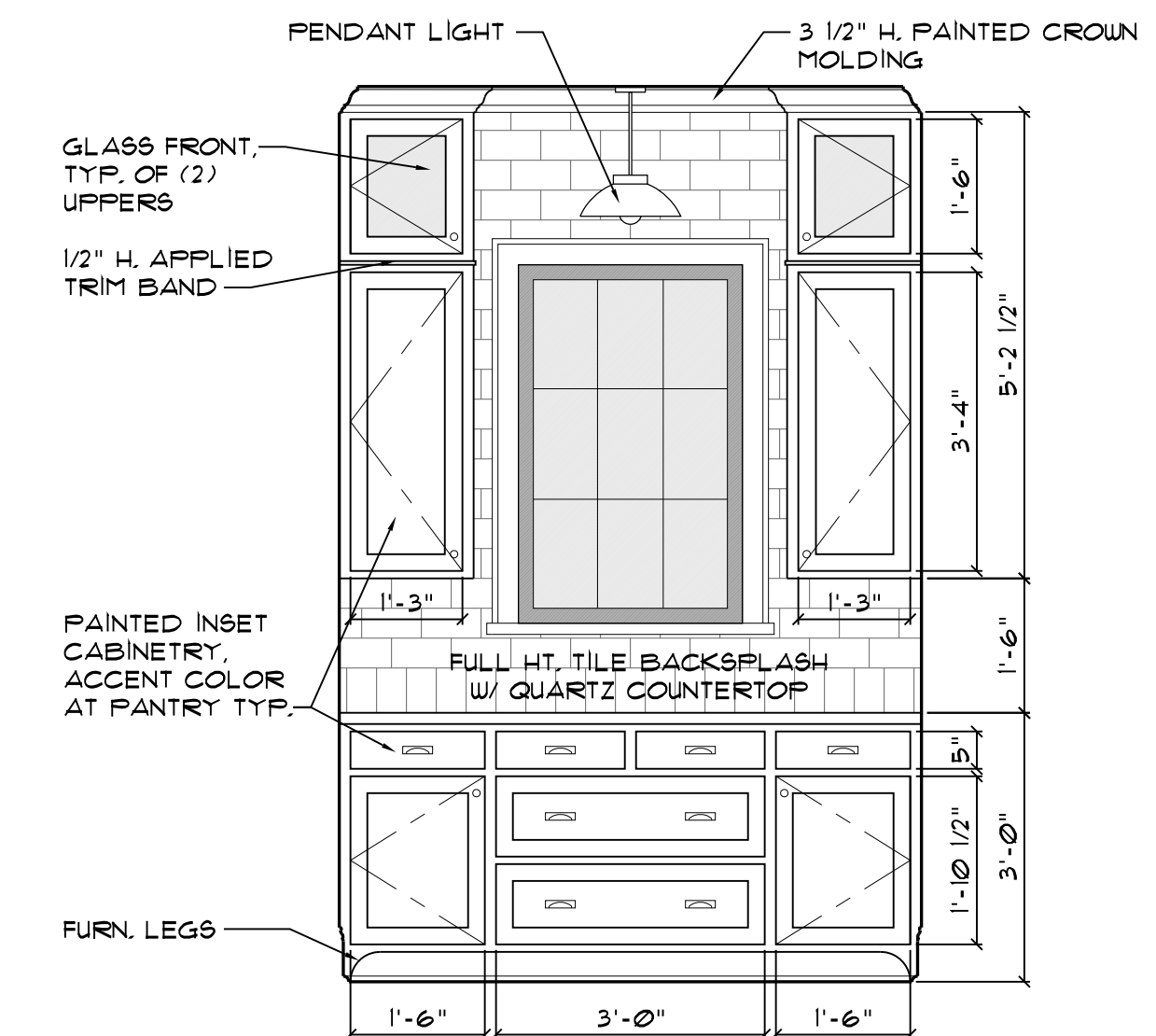
2 DINING  
SCALE: 1/2" = 1'-0"



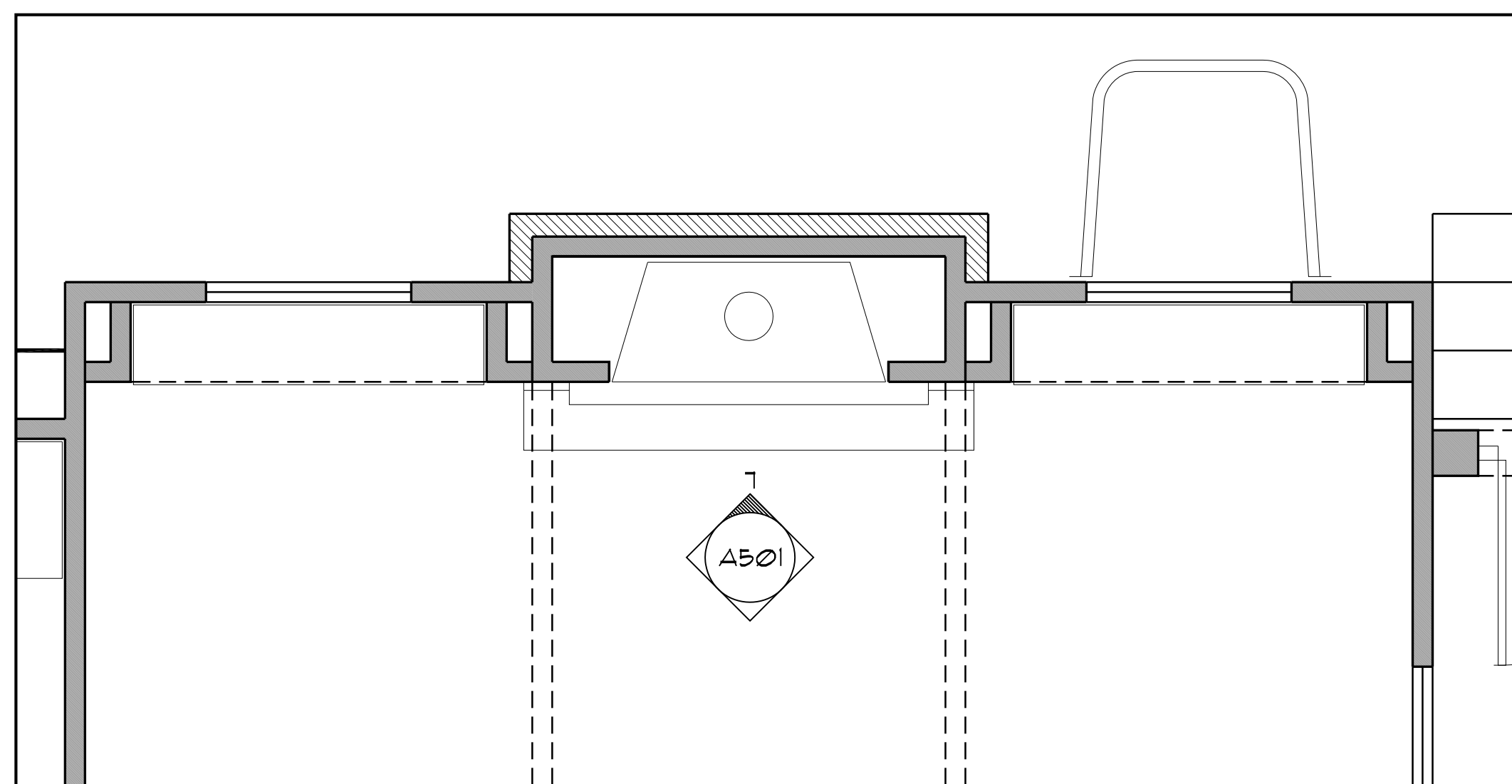
3 PANTRY  
SCALE: 1/2" = 1'-0"



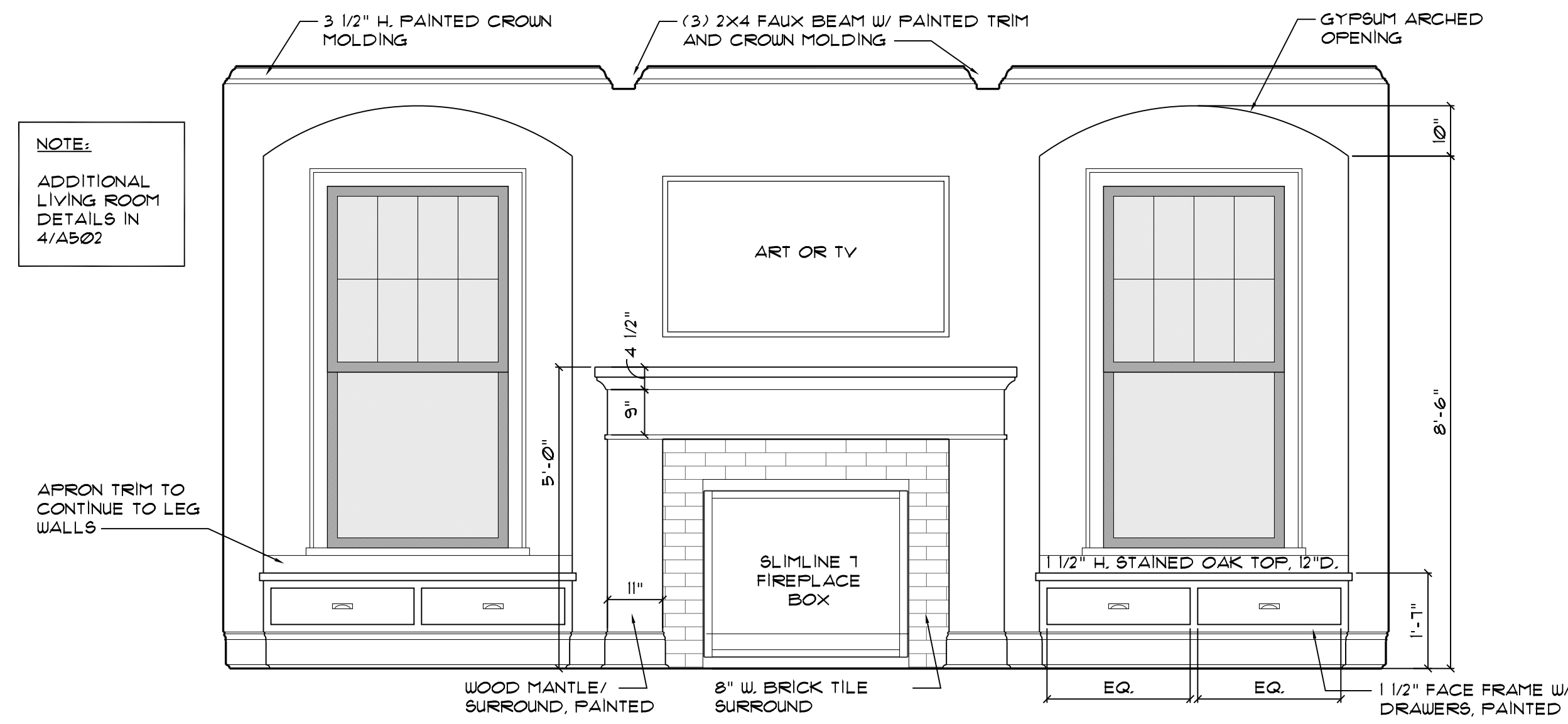
4 PANTRY  
SCALE: 1/2" = 1'-0"



5 PANTRY  
SCALE: 1/2" = 1'-0"



6 LIVING ROOM/ FIREPLACE PLAN  
SCALE: 1/2" = 1'-0"

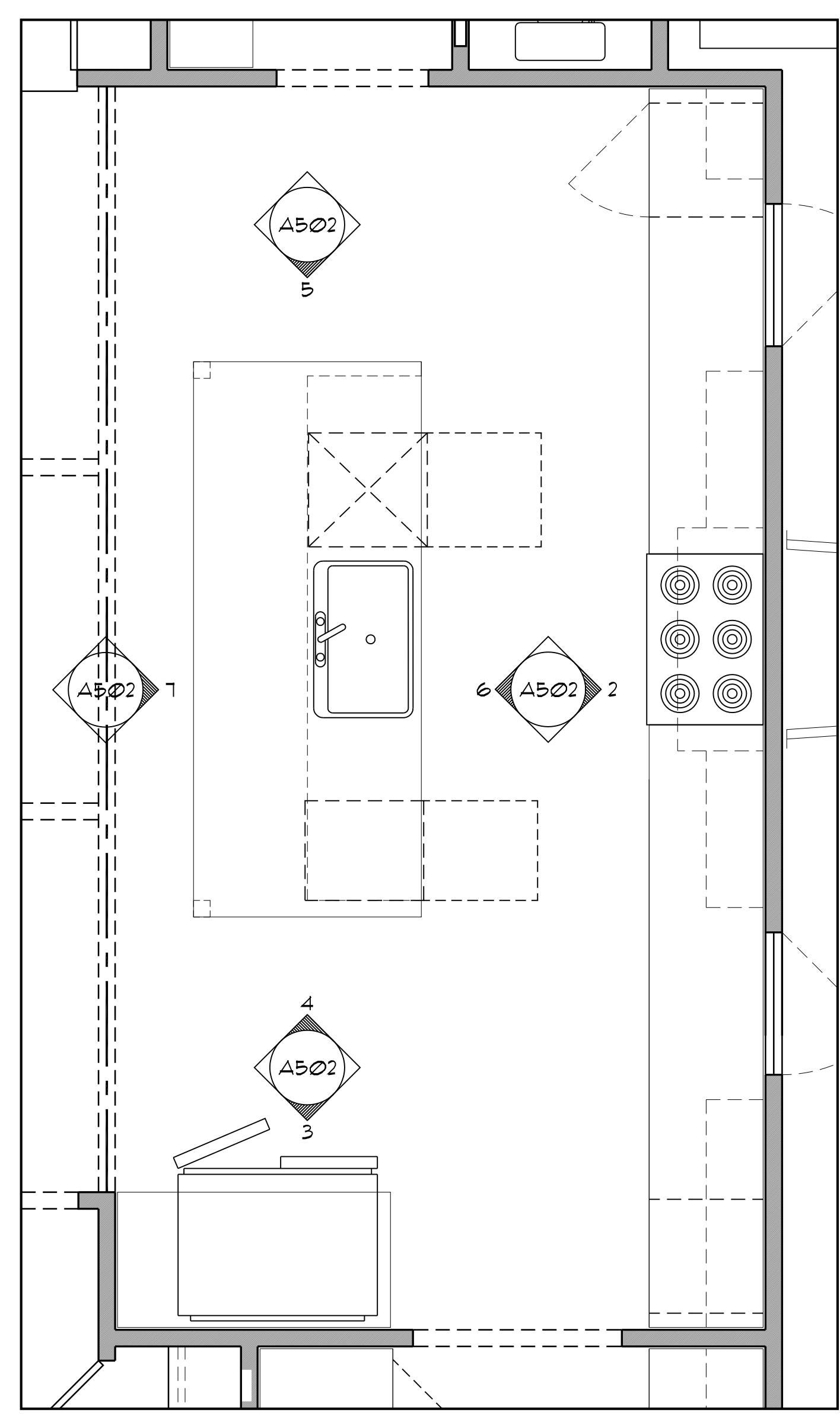


7 LIVING  
SCALE: 1/2" = 1'-0"

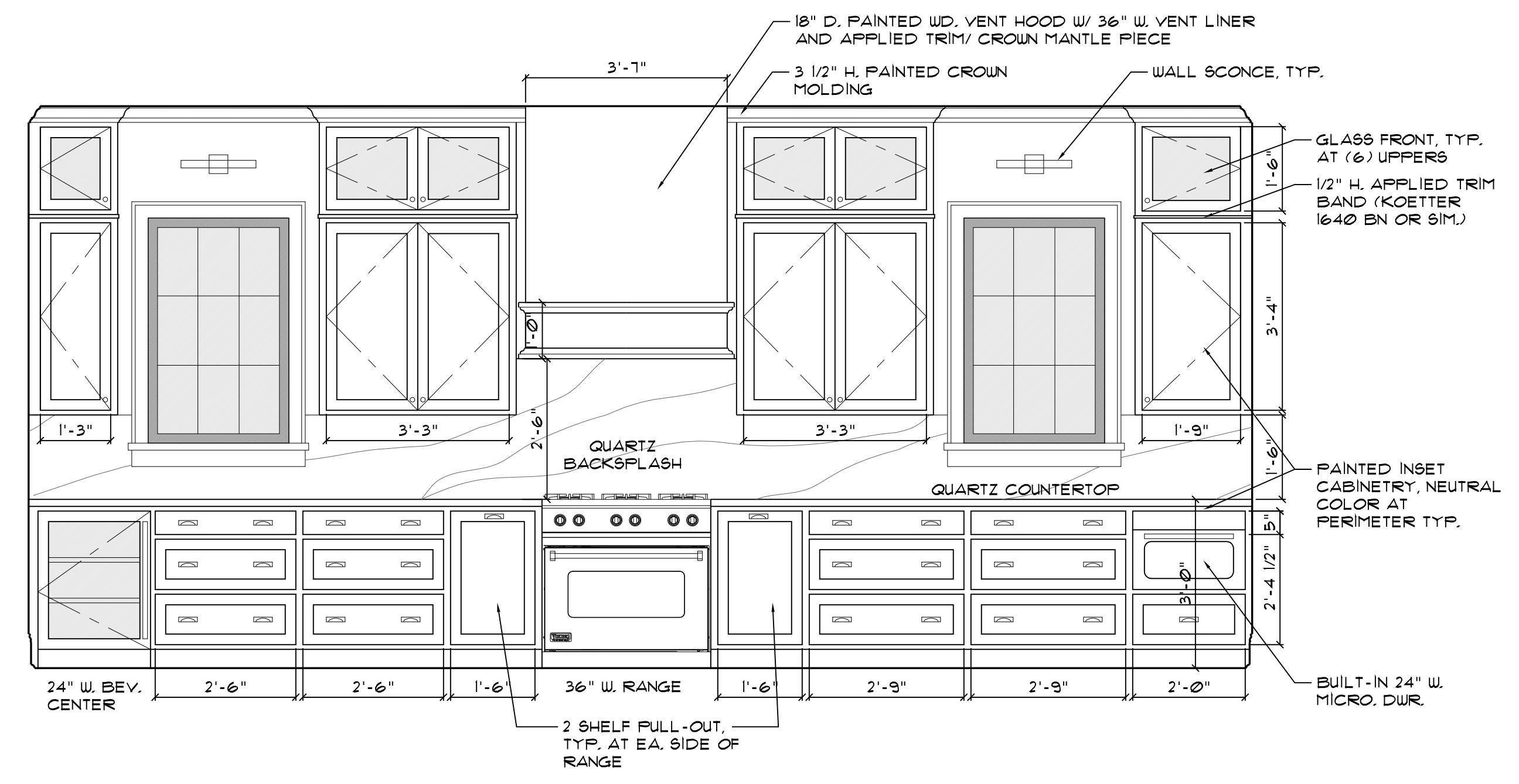


REVISIONS

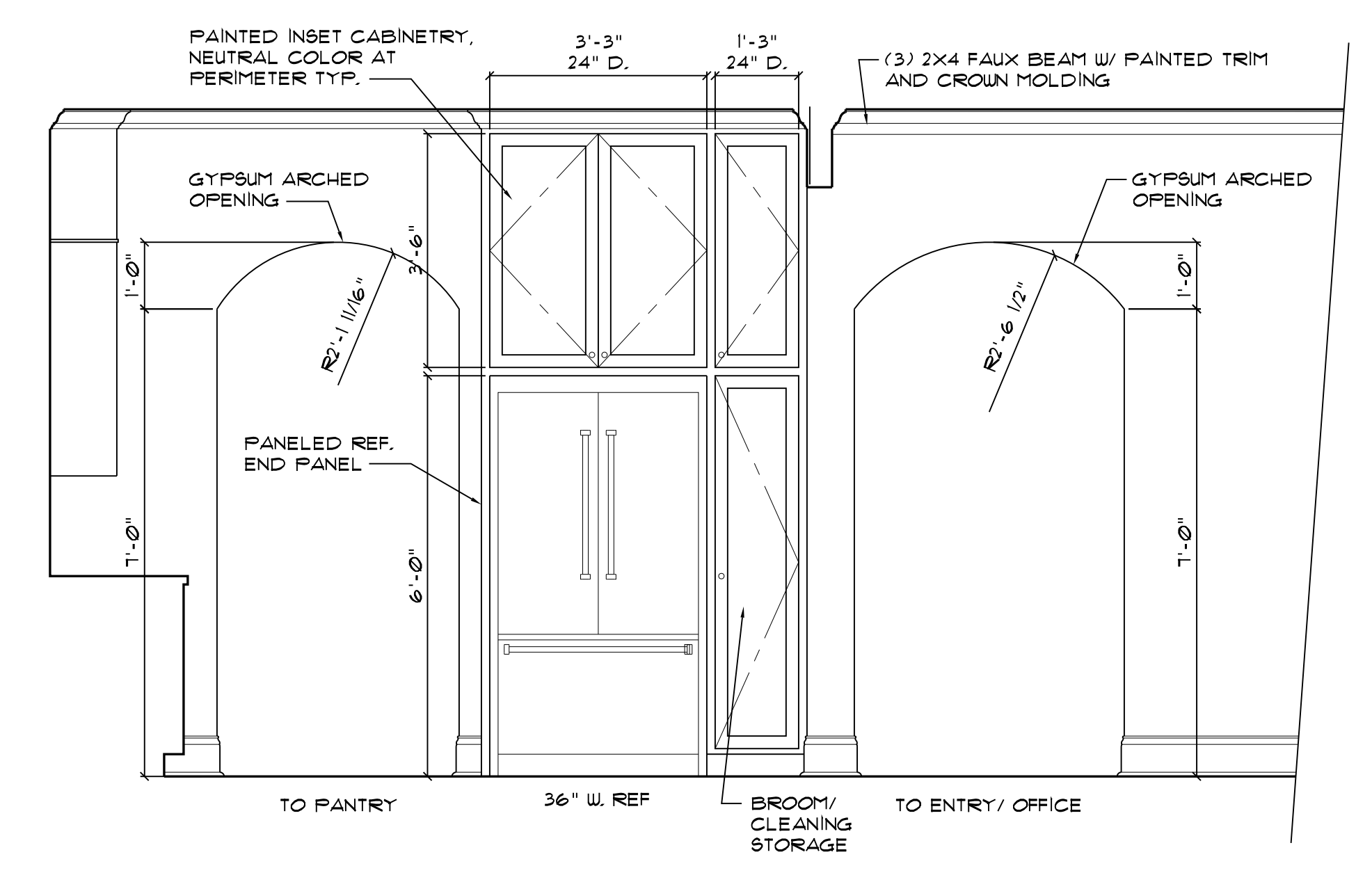
1734 N ALABAMA STREET  
INTERIOR ELEVATIONS



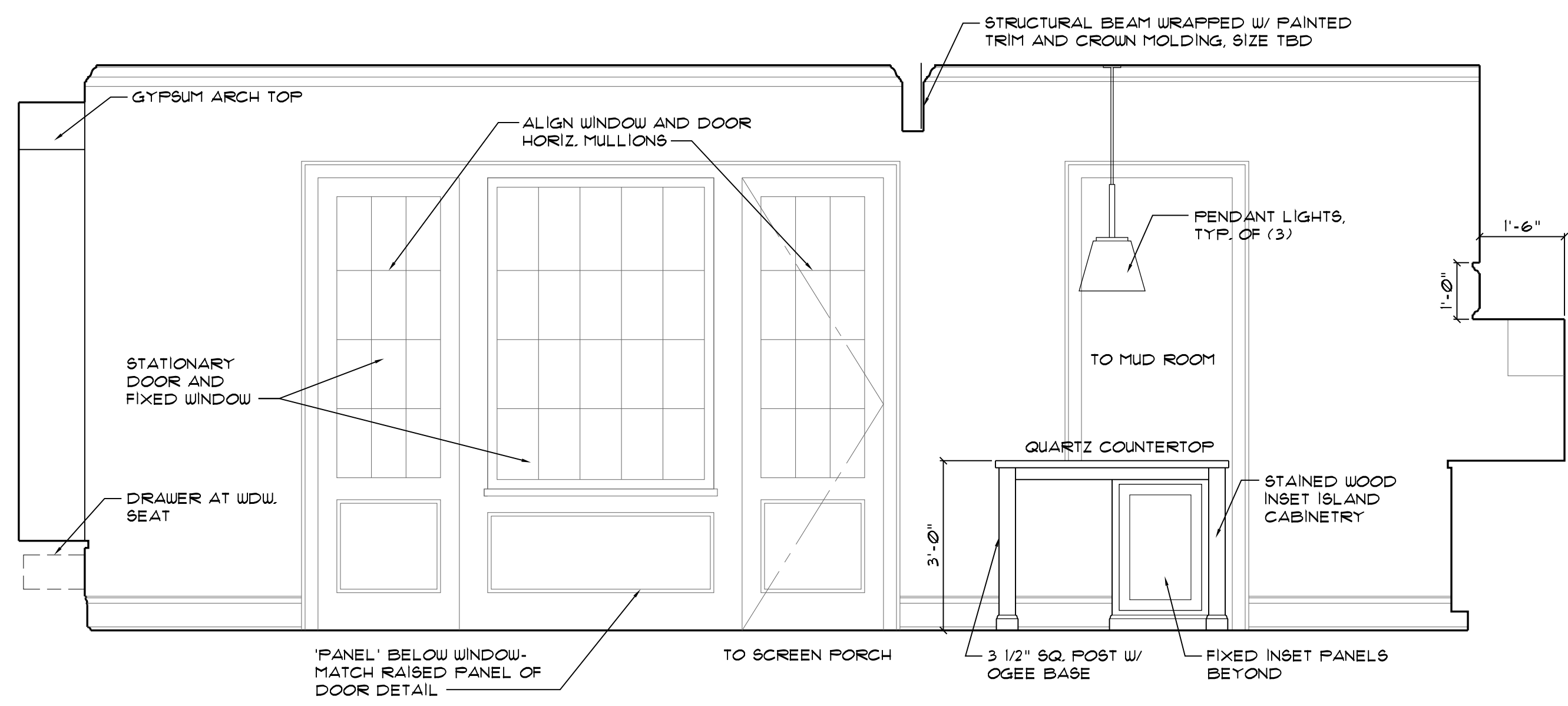
1 KITCHEN PLAN  
SCALE: 1/2" = 1'-0"



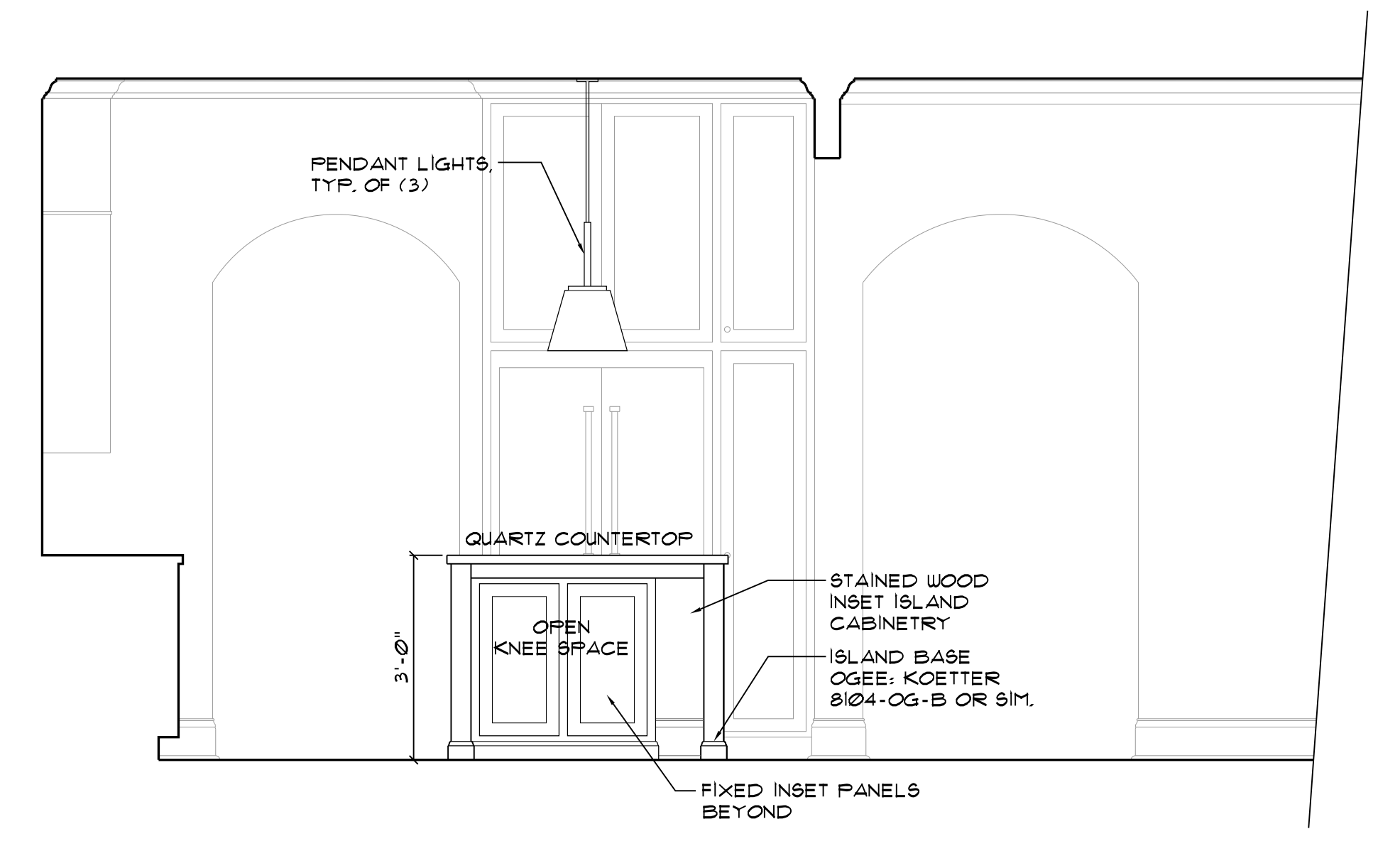
2 KITCHEN  
SCALE: 1/2" = 1'-0"



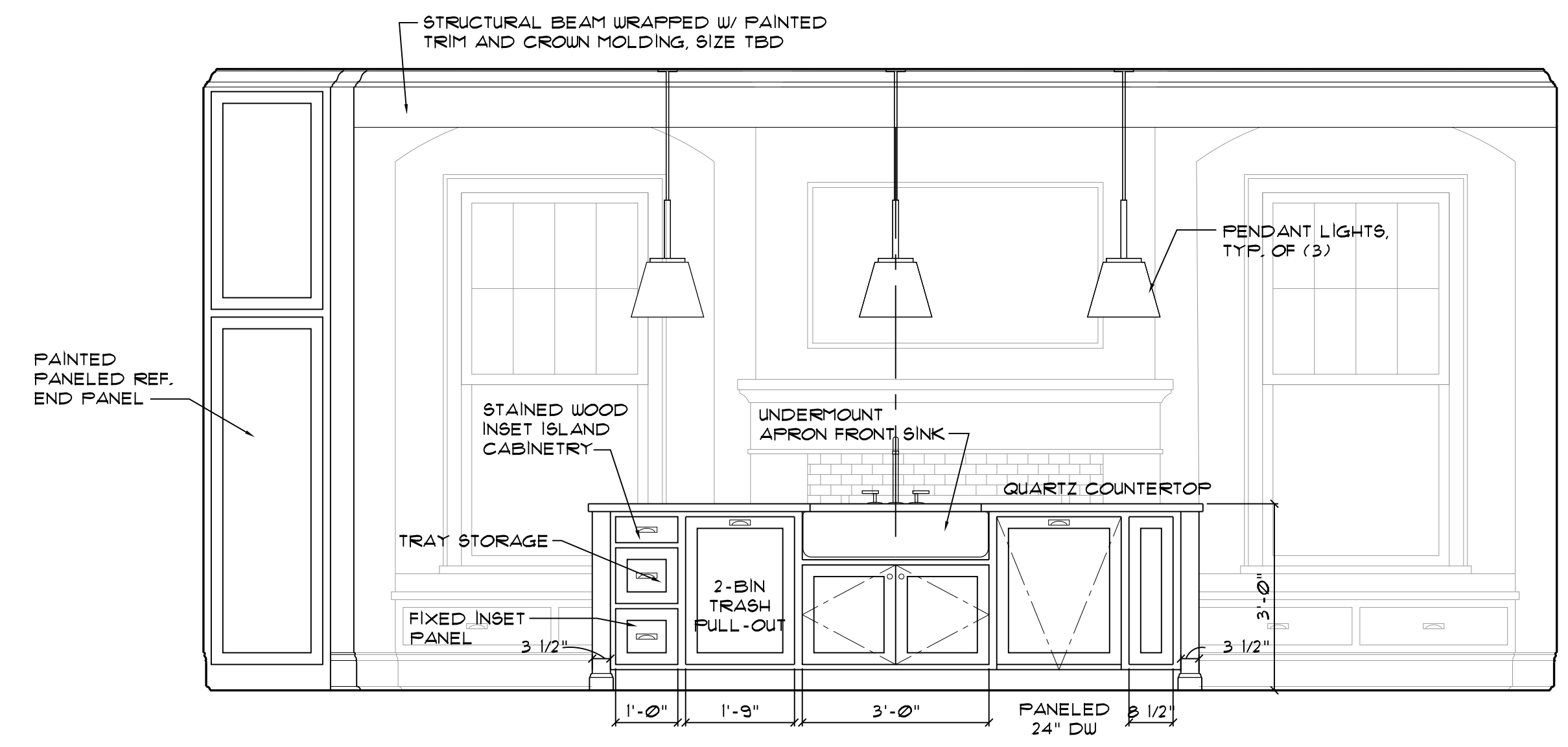
3 KITCHEN  
SCALE: 1/2" = 1'-0"



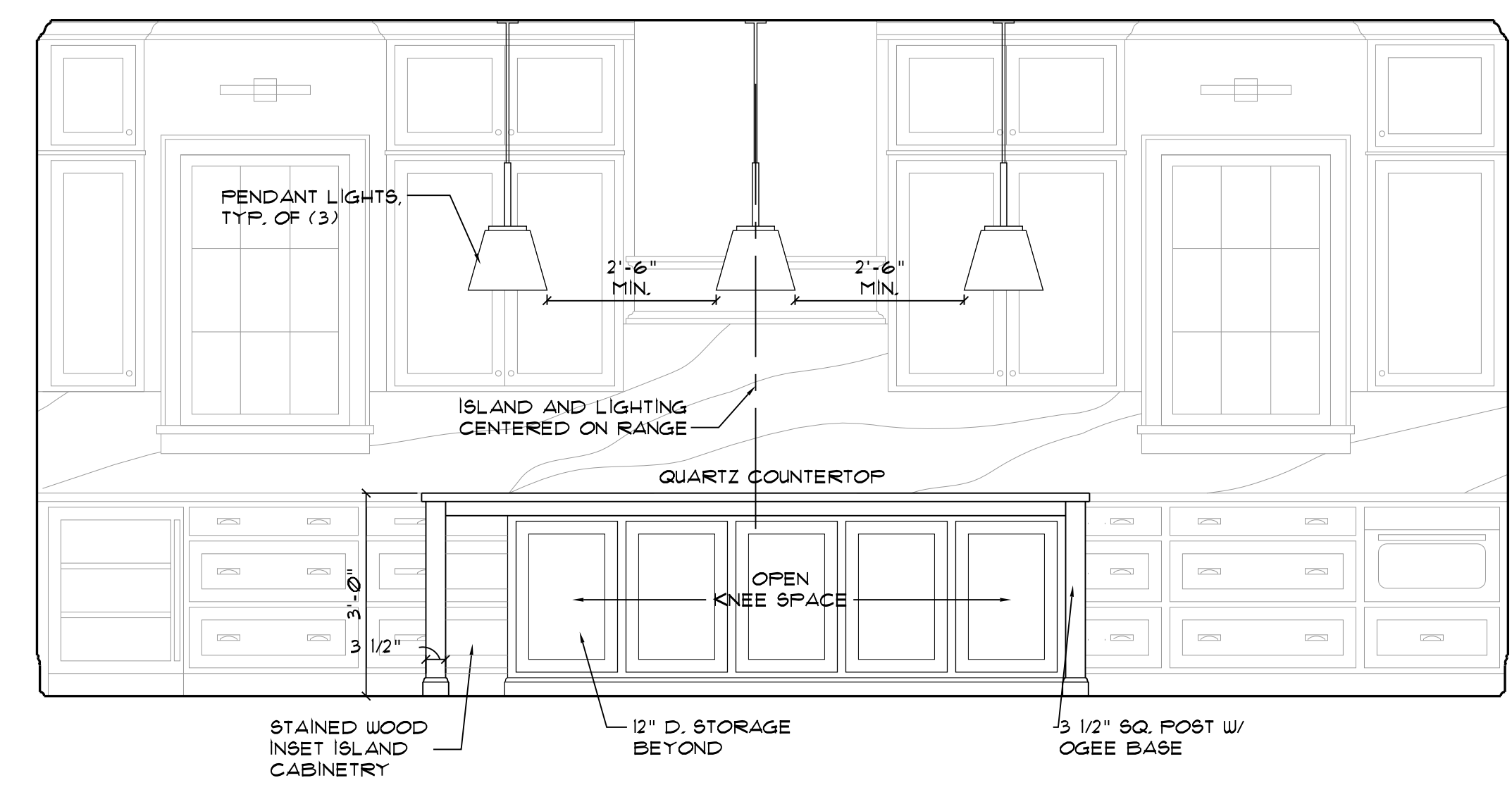
4 KITCHEN  
SCALE: 1/2" = 1'-0"



5 KITCHEN ISLAND  
SCALE: 1/2" = 1'-0"

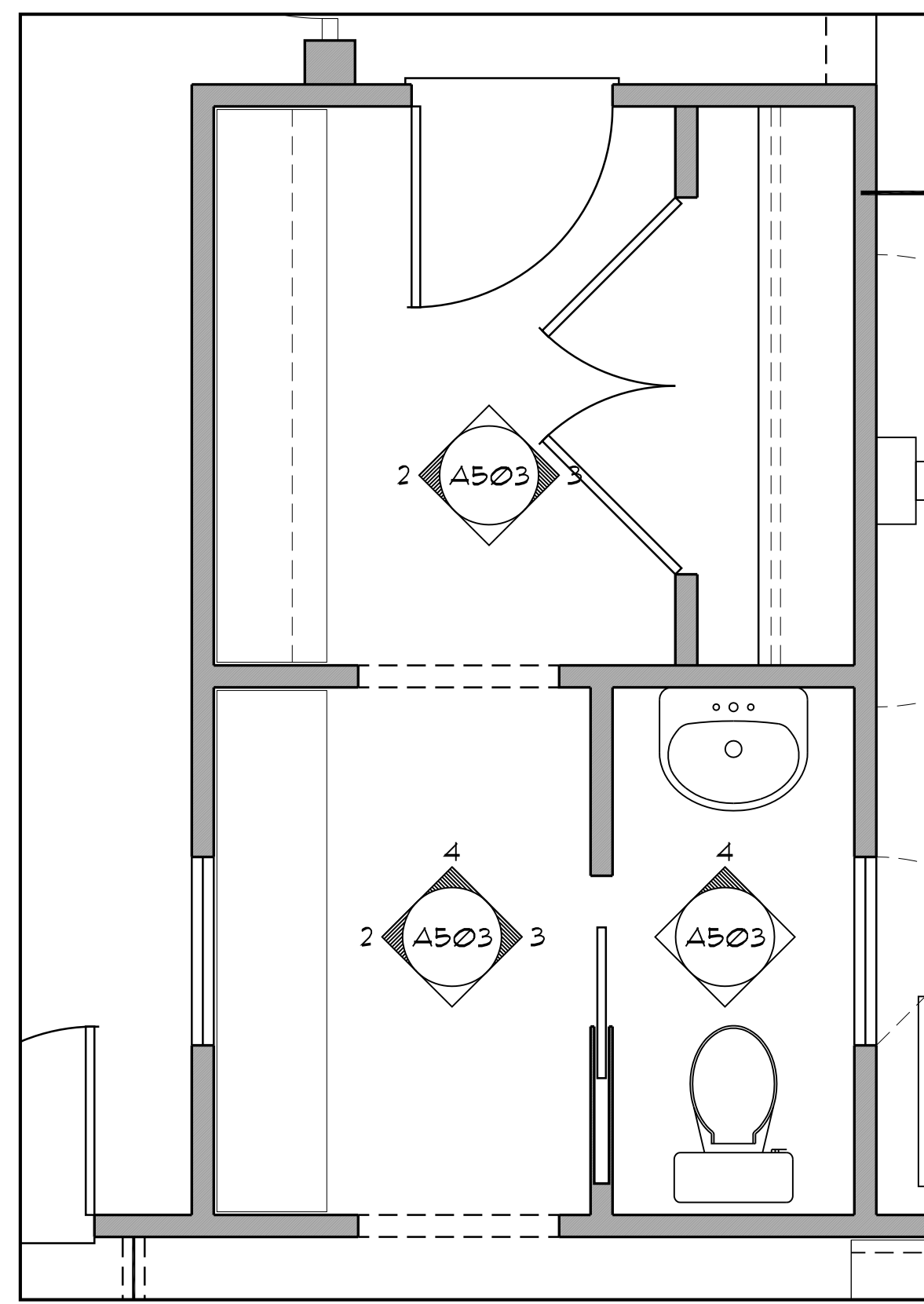


6 KITCHEN ISLAND  
SCALE: 1/2" = 1'-0"

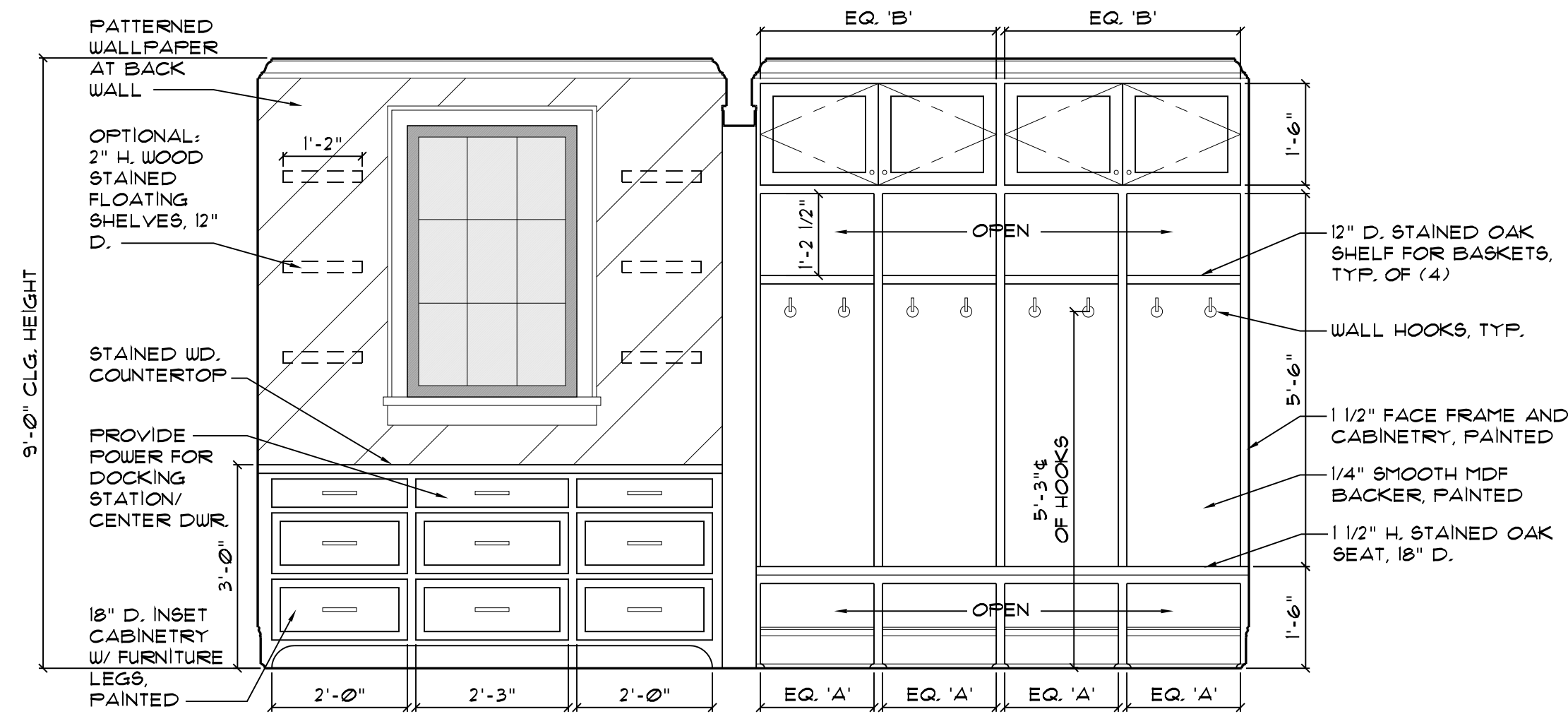


7 KITCHEN ISLAND  
SCALE: 1/2" = 1'-0"

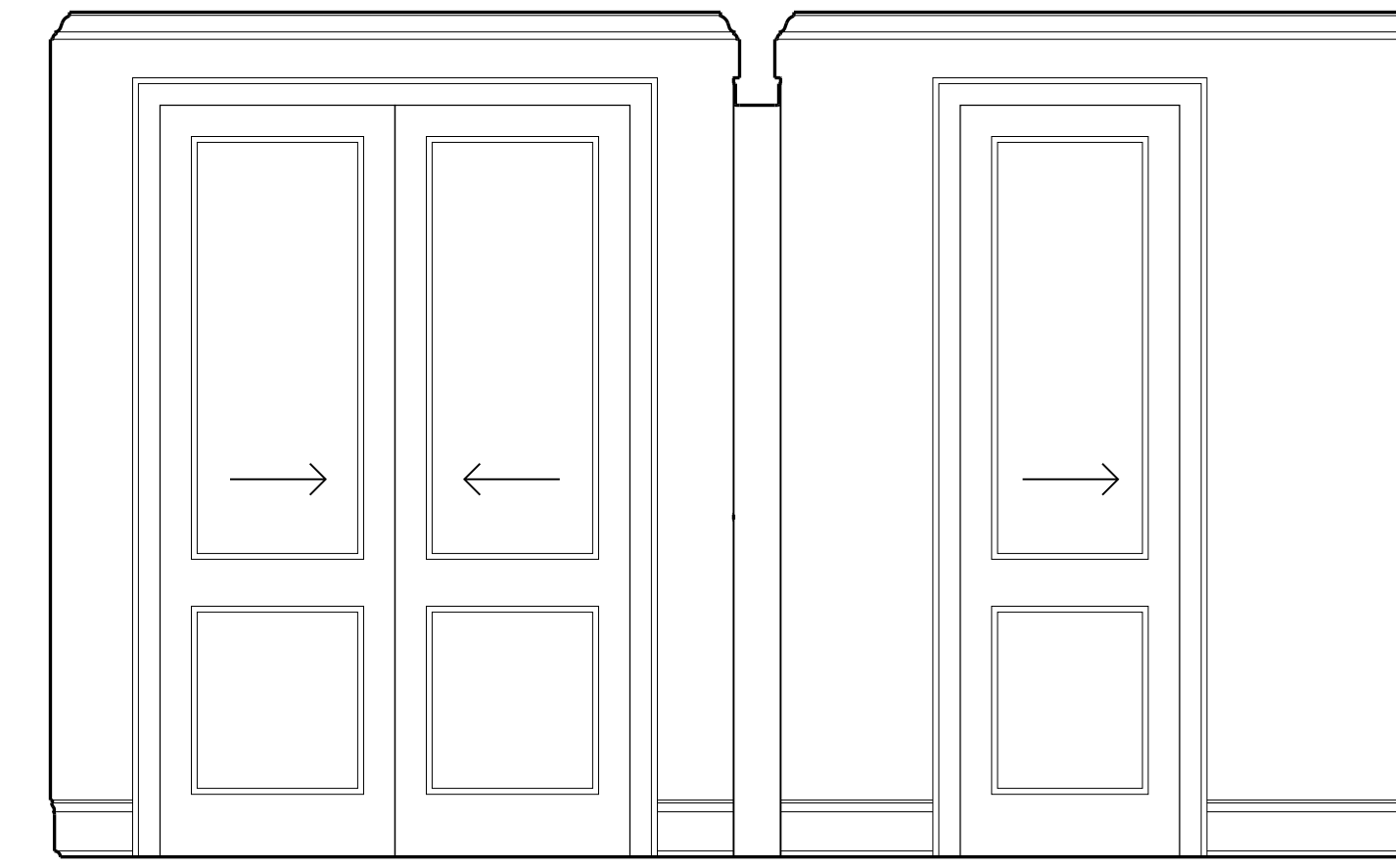




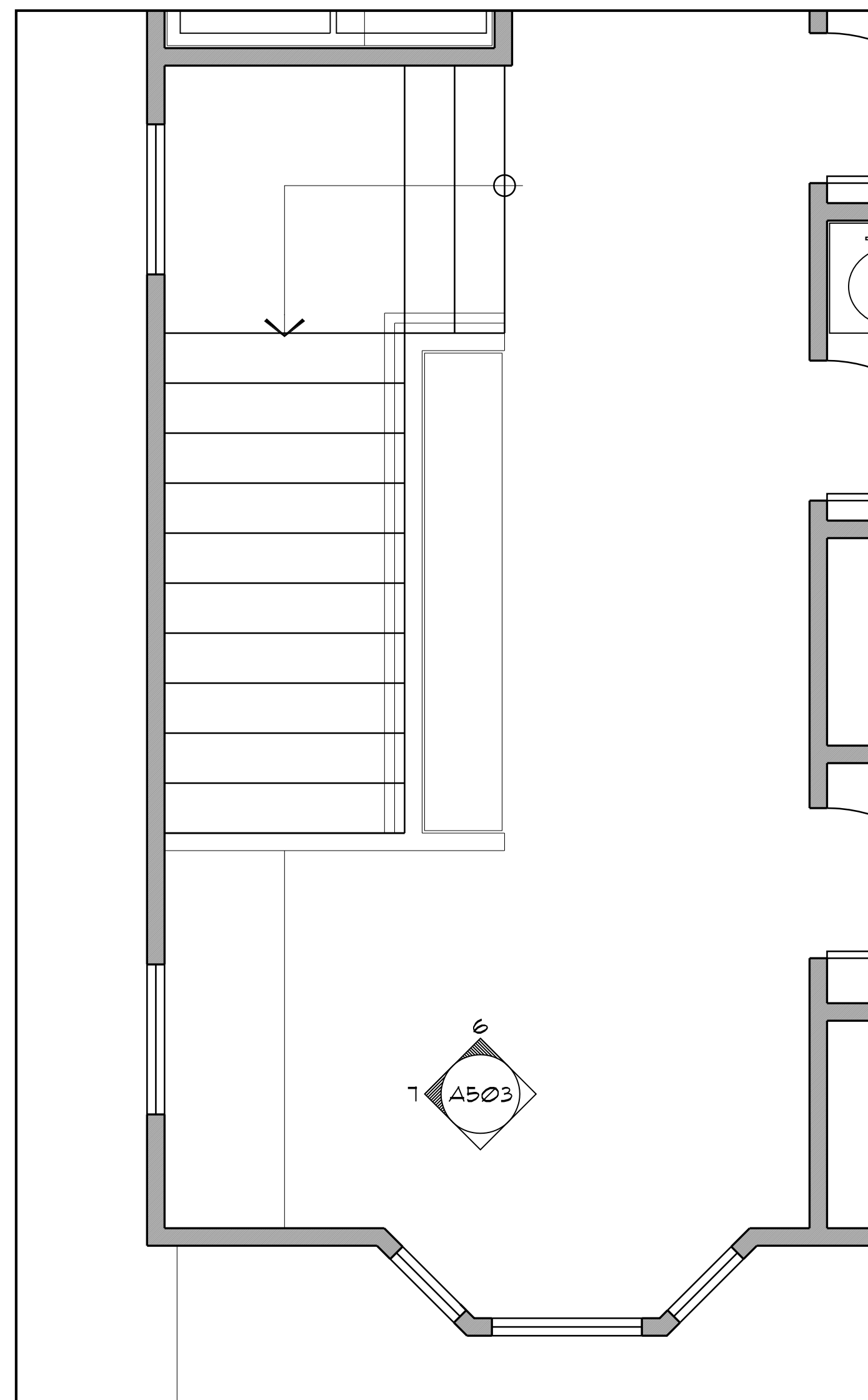
1 MUDROOM/ POWDER ROOM PLAN  
SCALE: 1/2" = 1'-0"



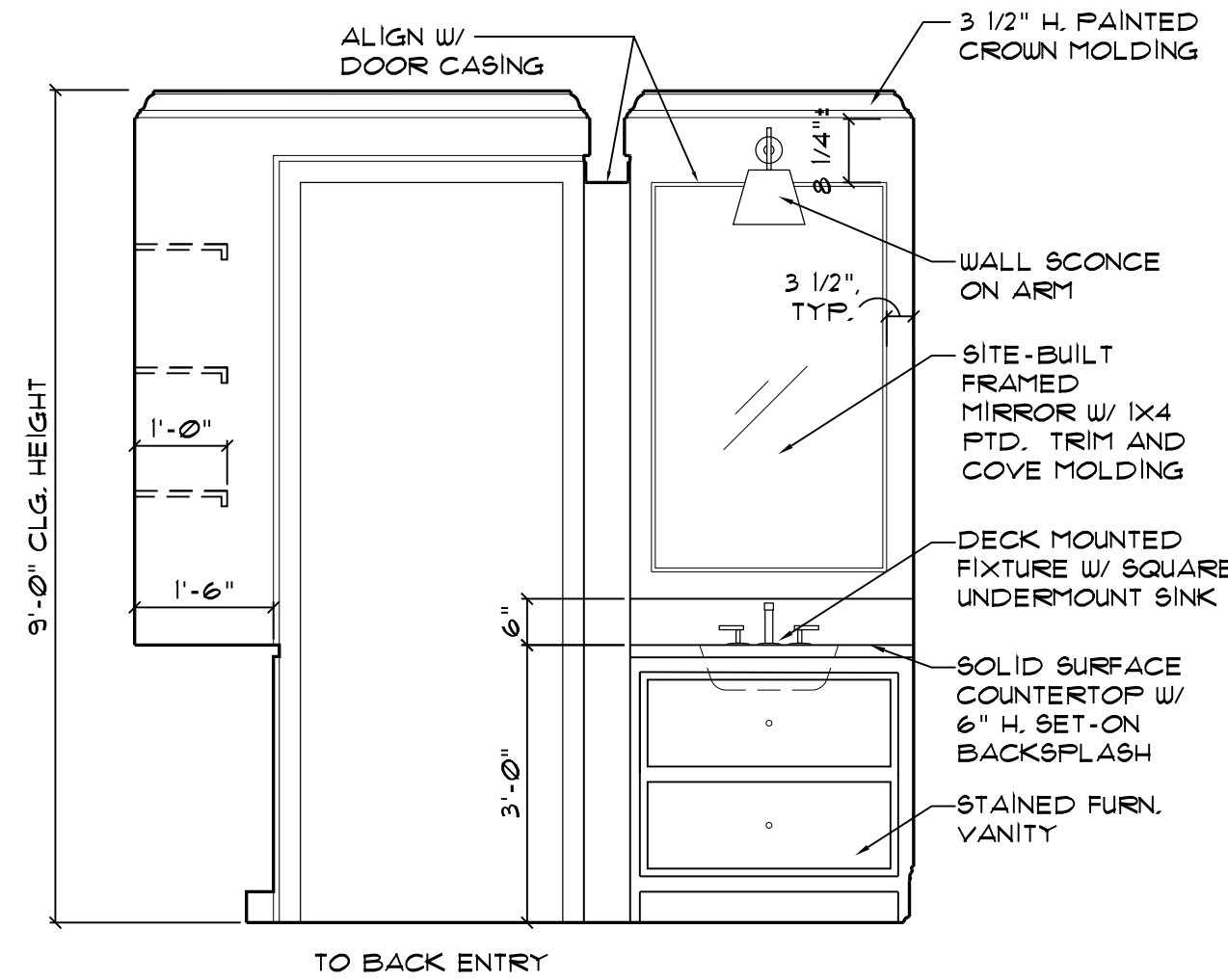
2 MUD ROOM  
SCALE: 1/2" = 1'-0"



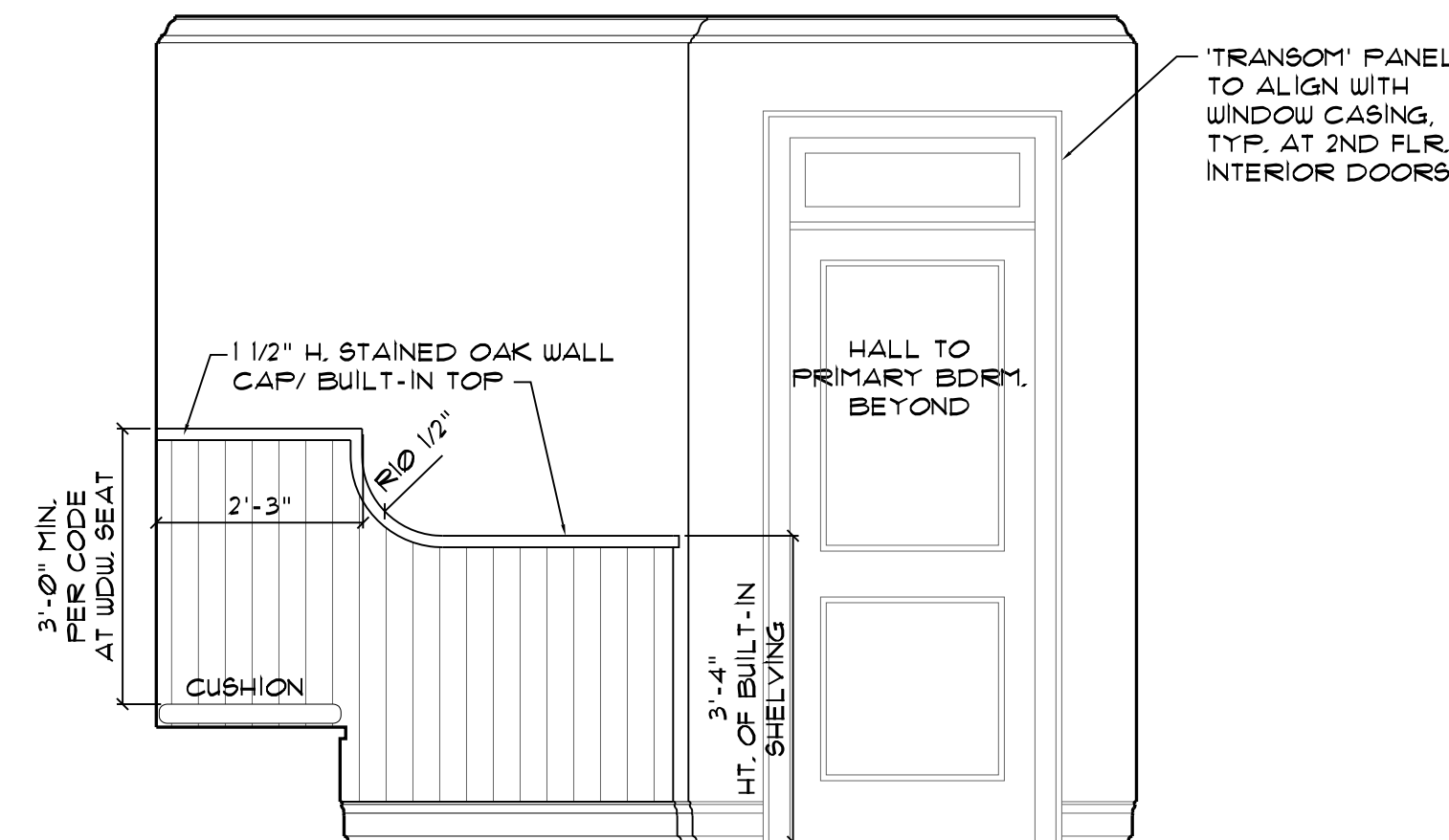
3 MUD ROOM  
SCALE: 1/2" = 1'-0"



5 READING NOOK PLAN  
SCALE: 1/2" = 1'-0"

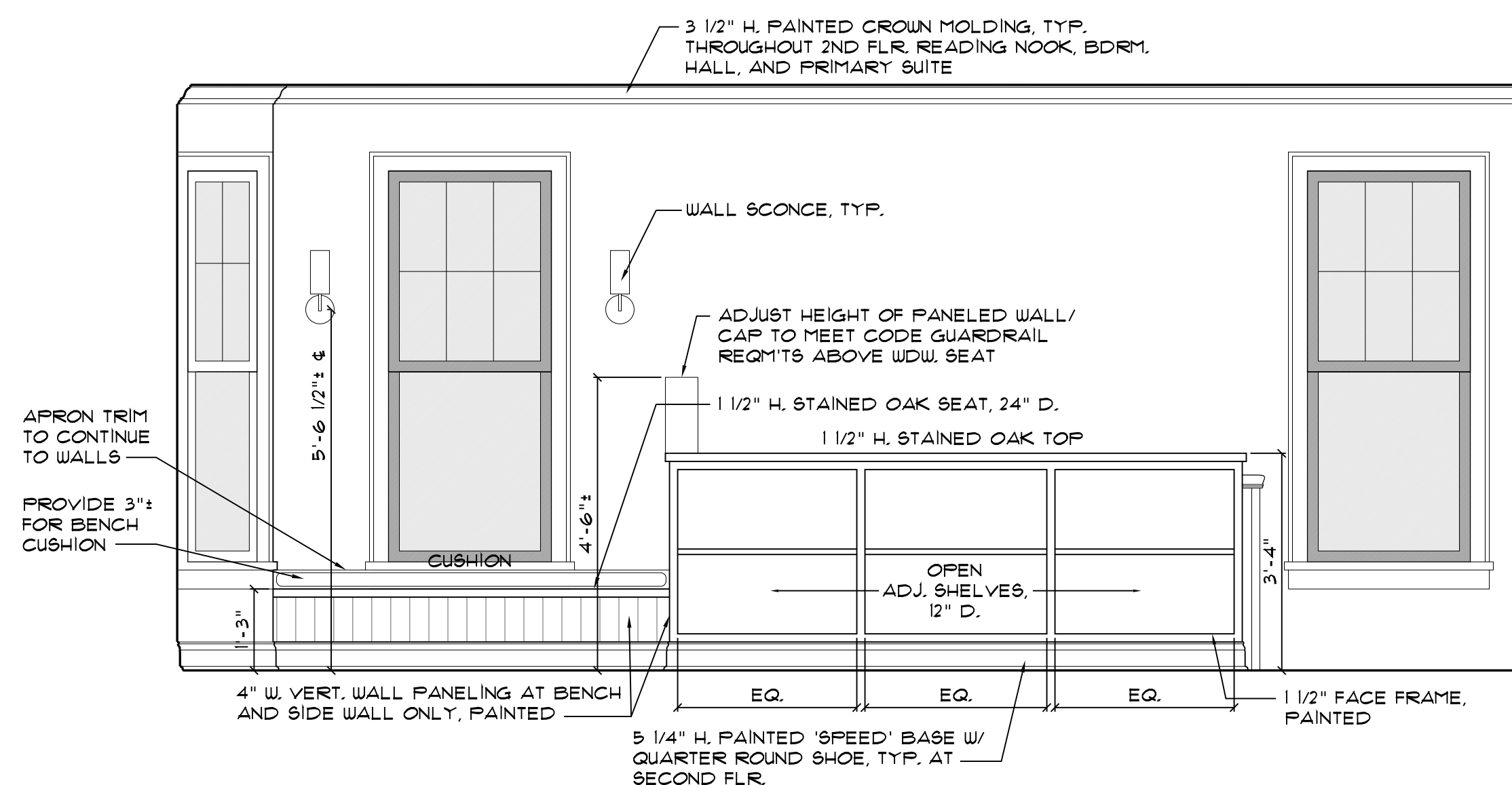


4 MUD ROOM / POWDER  
SCALE: 1/2" = 1'-0"



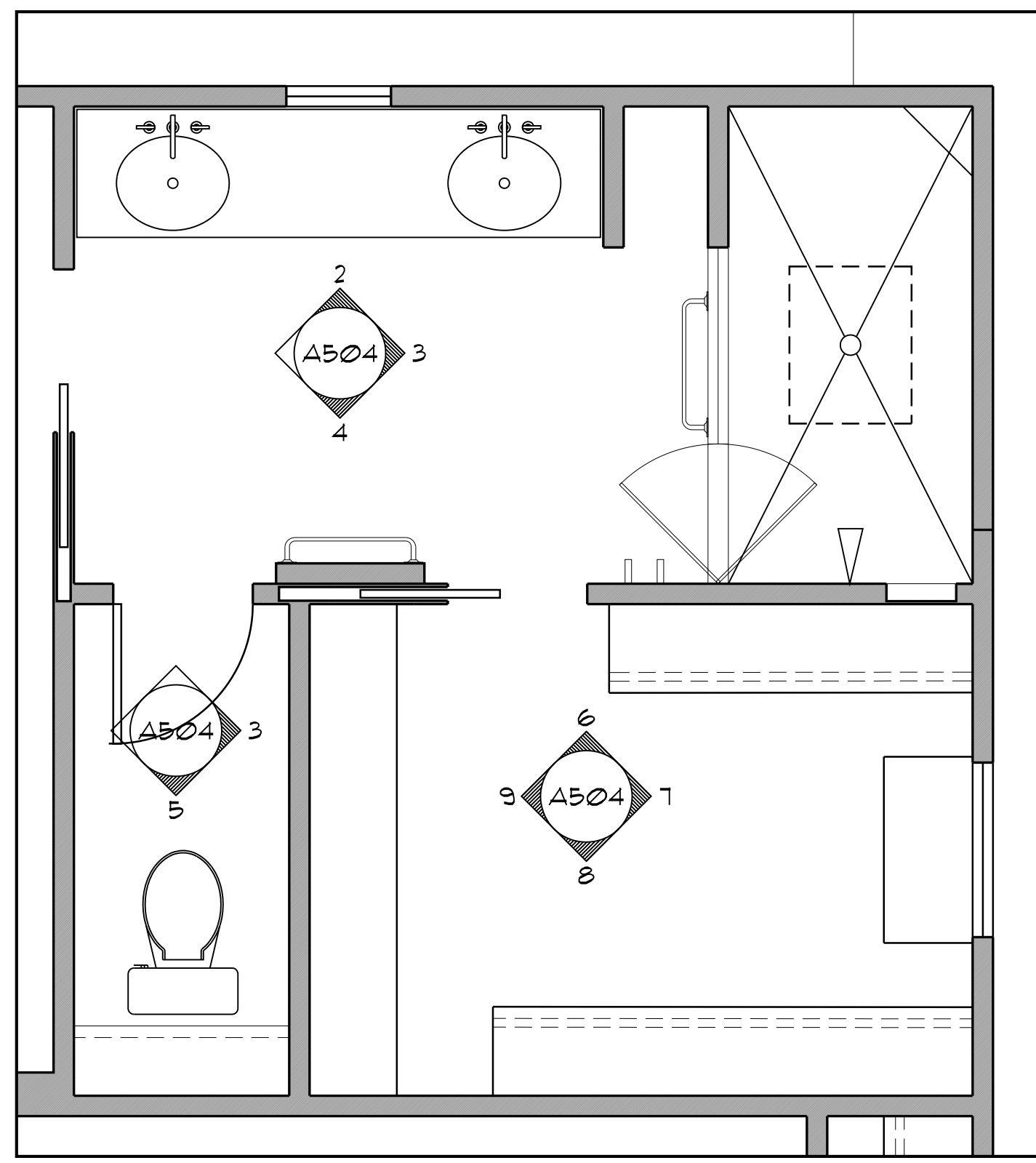
6 READING NOOK / BEDROOM HALL  
SCALE: 1/2" = 1'-0"

NOTE:  
TRANSOM PANEL TO OCCUR AT SECOND FLOOR DOORS ONLY -- DO NOT INSTALL INSIDE STRIP CLOSETS OR AT HALL BATH W.C. DOOR

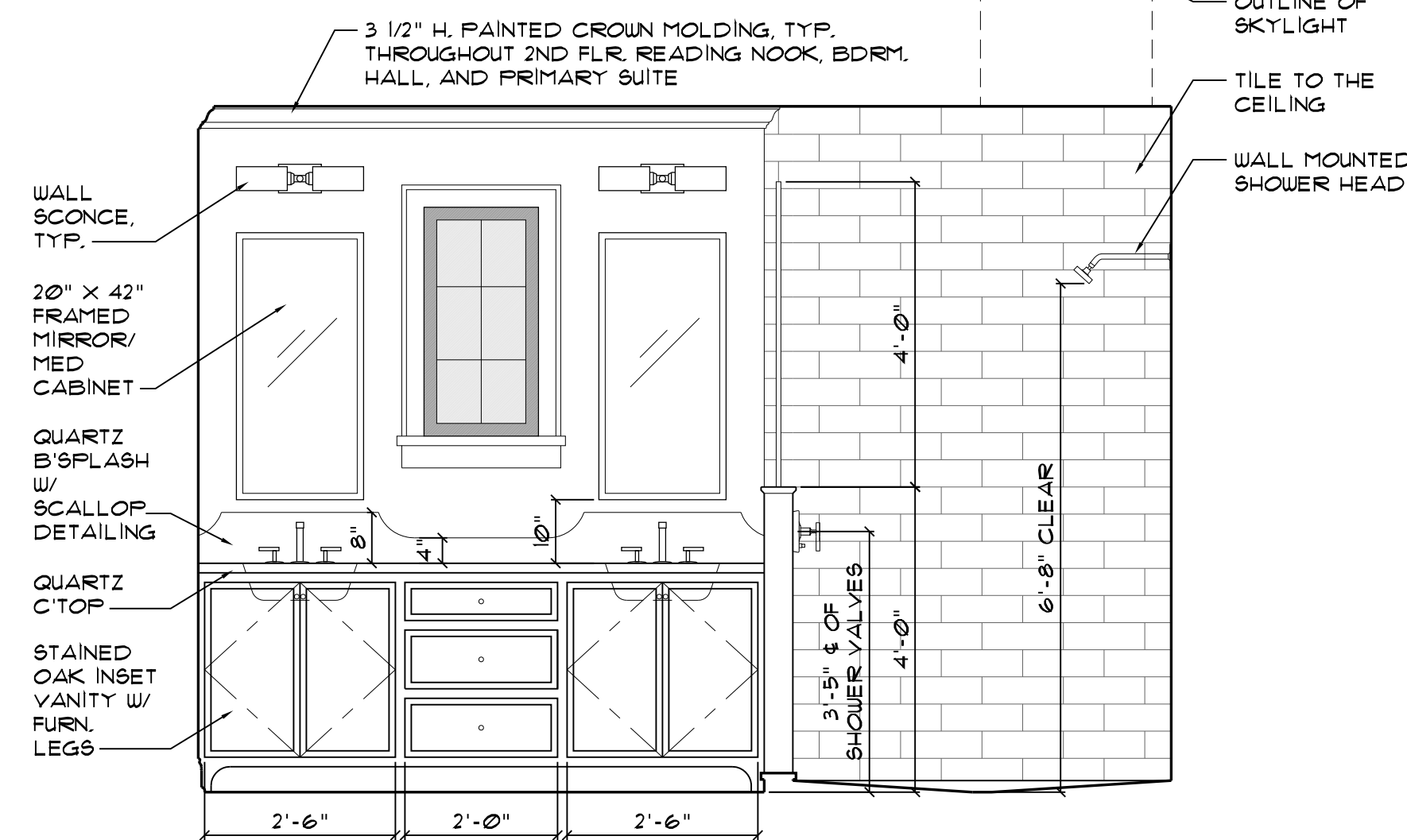


7 READING NOOK / BEDROOM HALL  
SCALE: 1/2" = 1'-0"

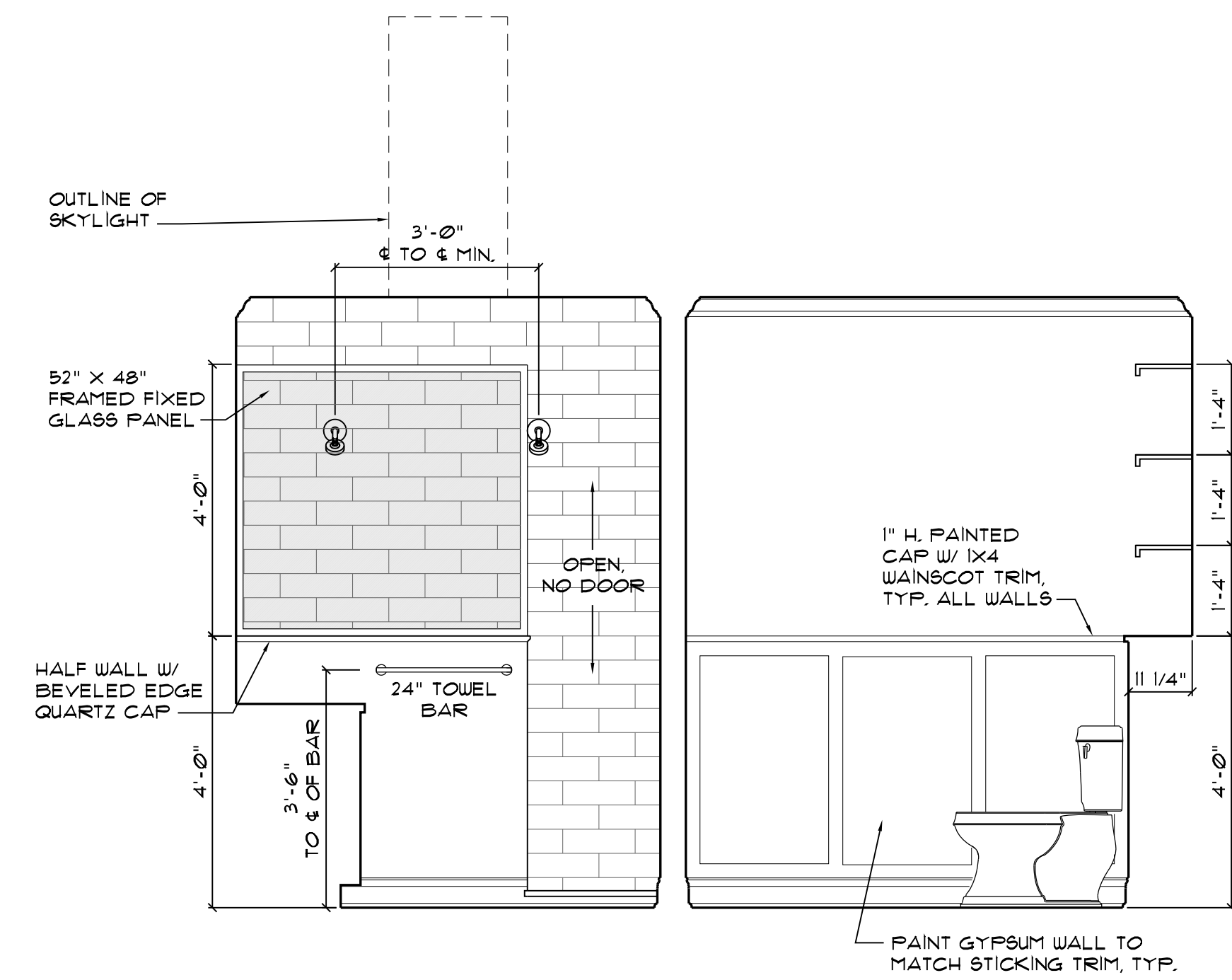




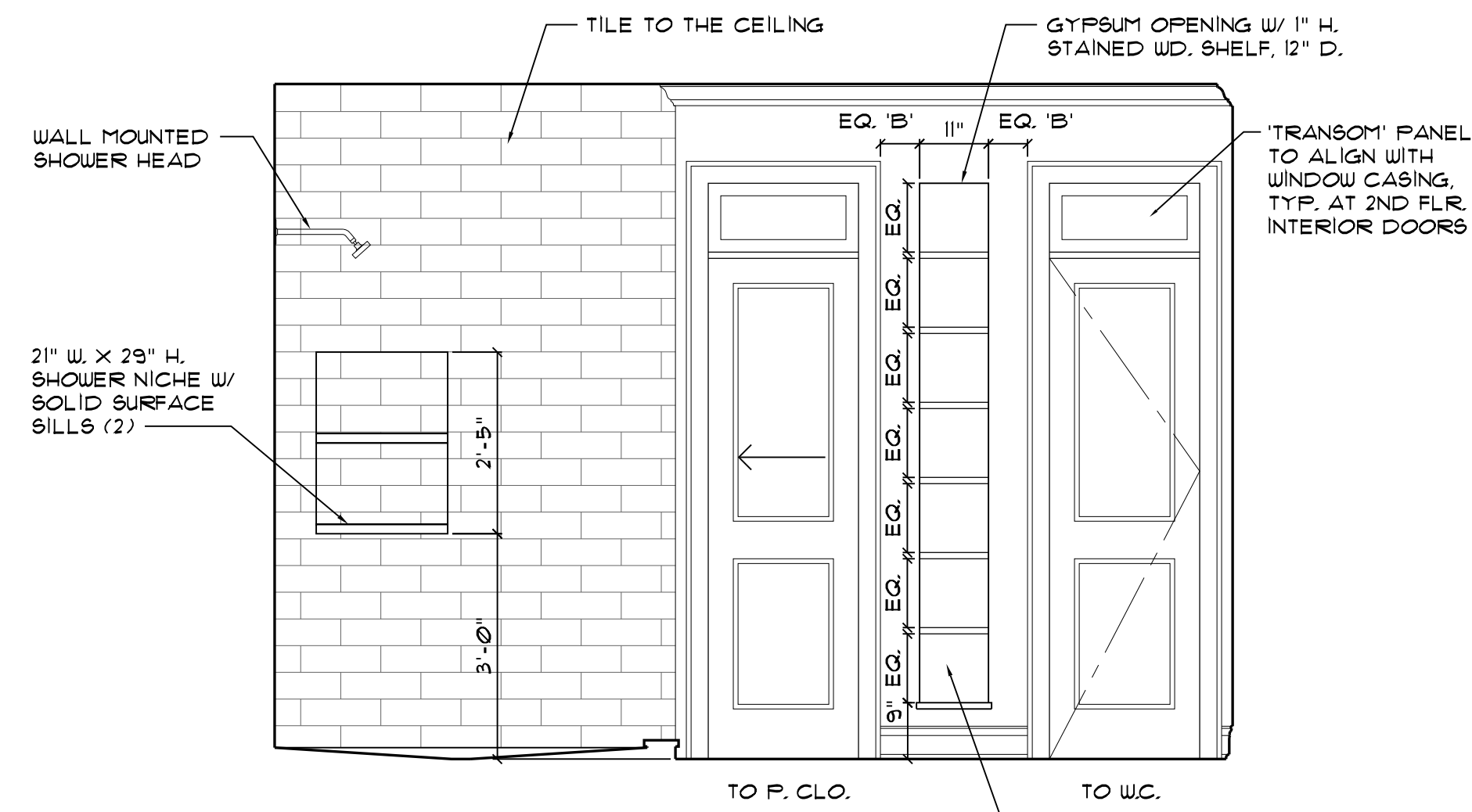
1 PRIMARY BATH AND CLOSET PLAN  
SCALE: 1/2" = 1'-0"



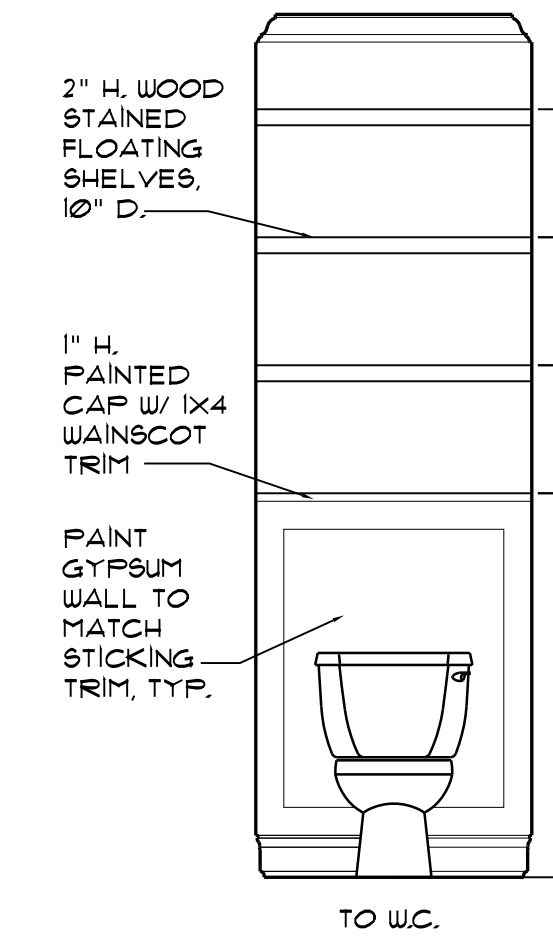
2 PRIMARY BATH  
SCALE: 1/2" = 1'-0"



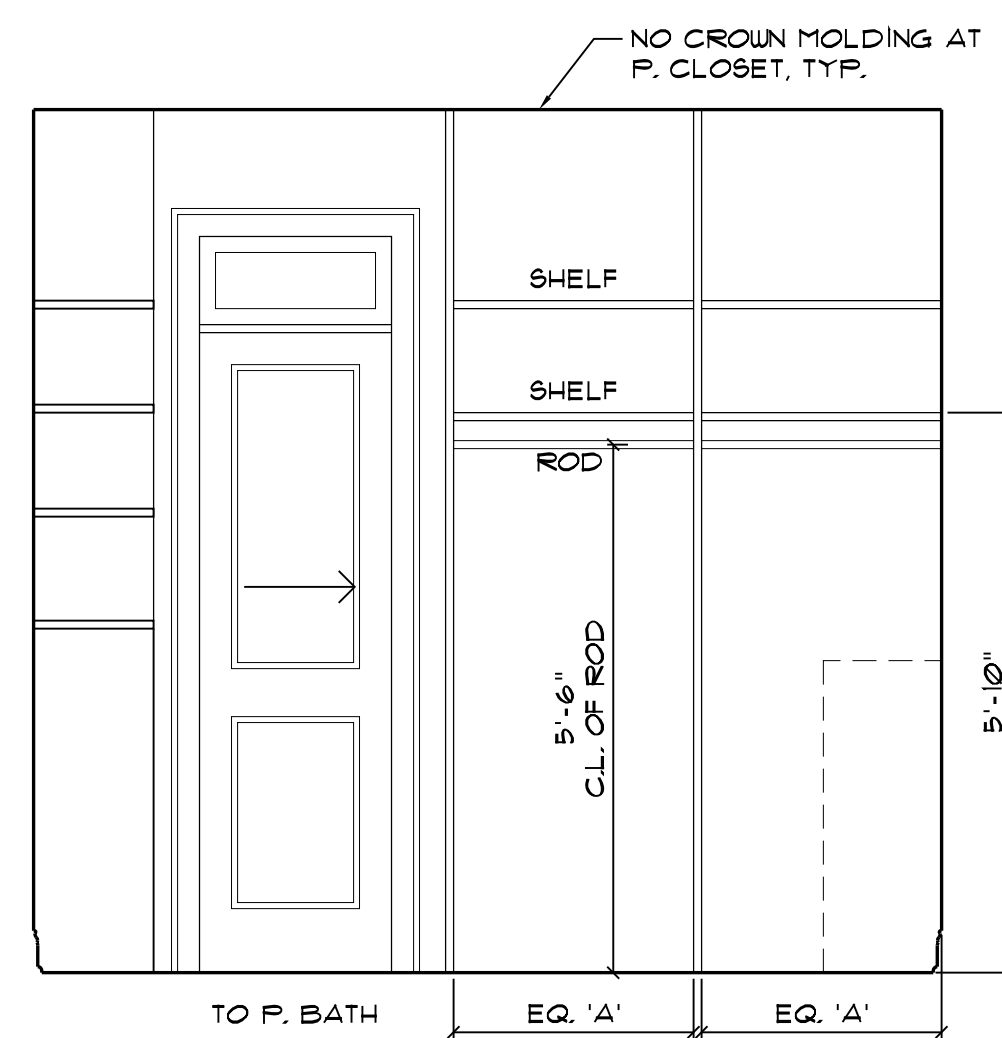
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SCALE: 1/2" = 1'-0"



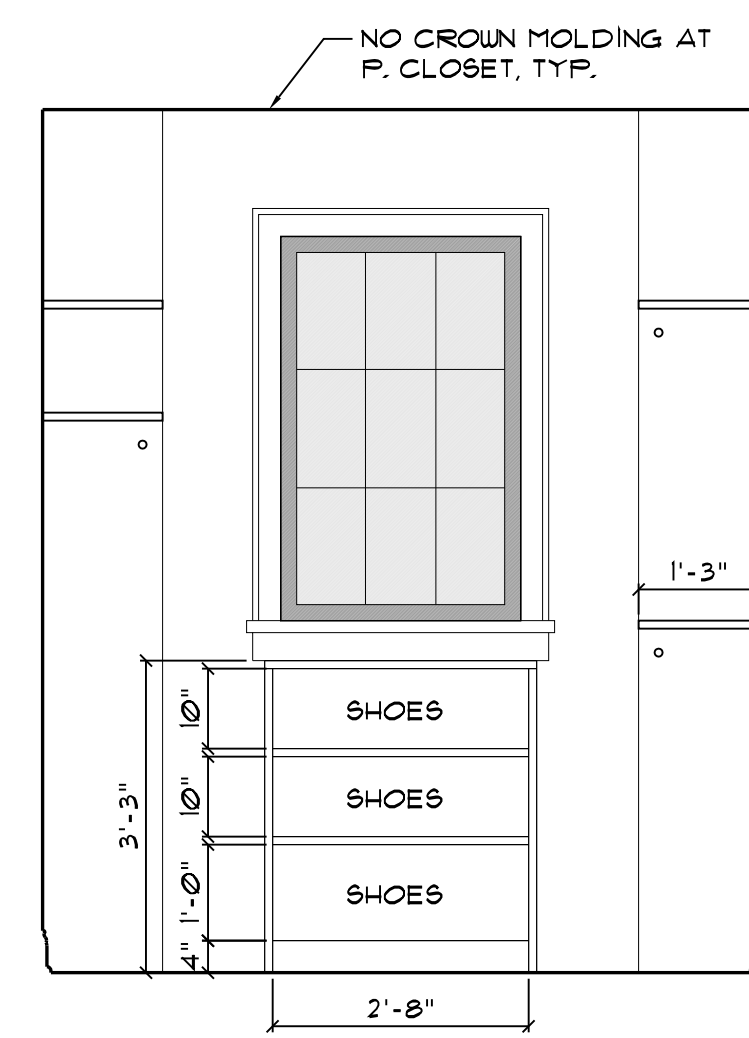
4 PRIMARY BATH  
SCALE: 1/2" = 1'-0"



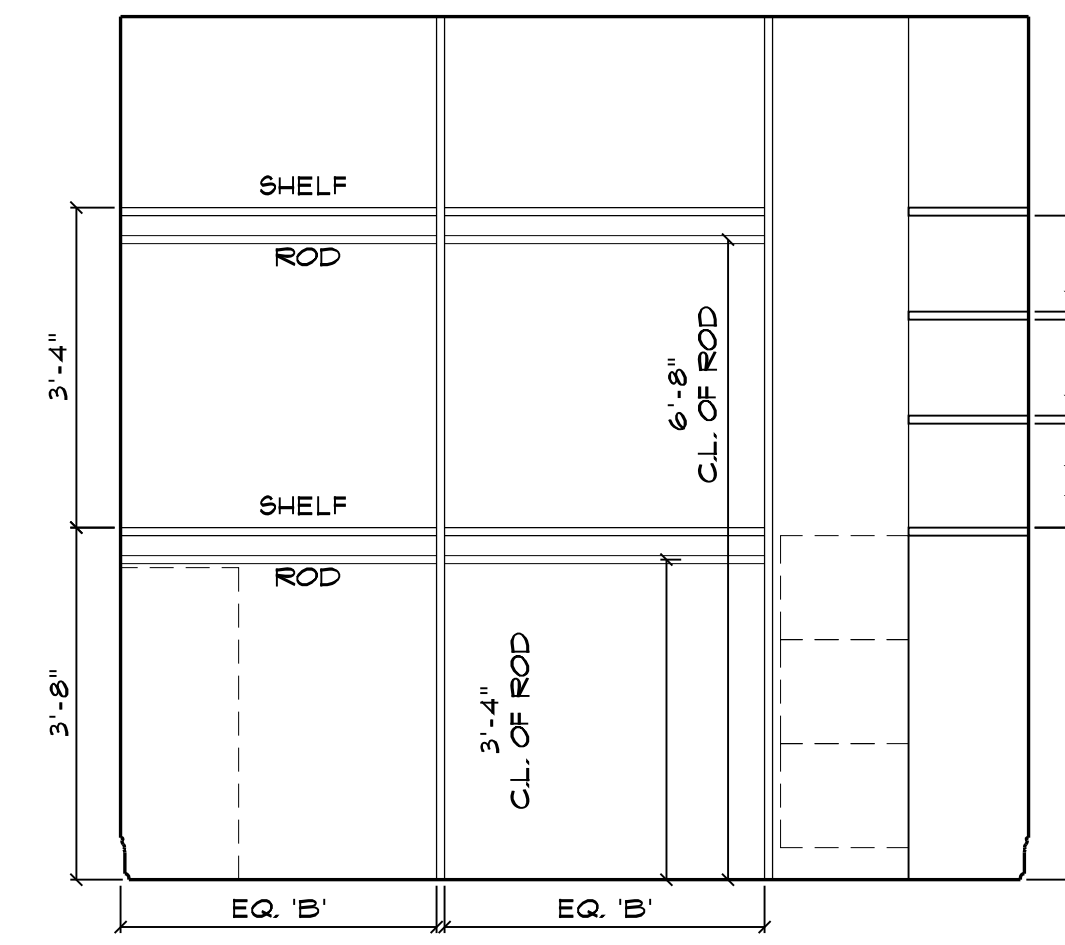
5 PRIMARY BATH (WC)  
SCALE: 1/2" = 1'-0"



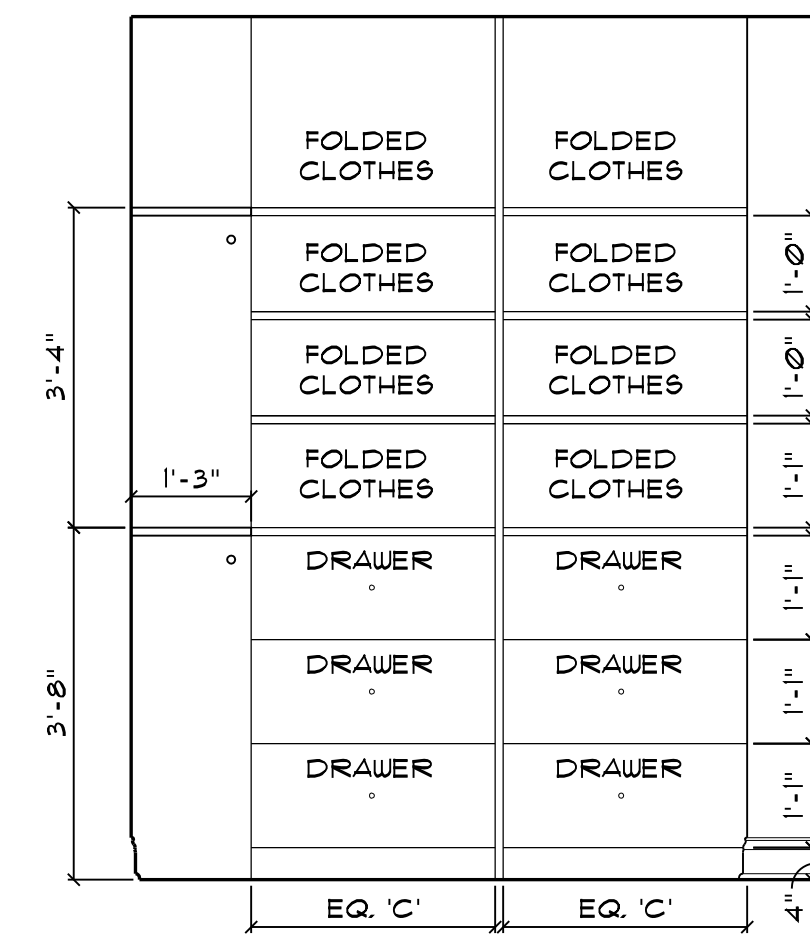
6 PRIMARY CLOSET  
SCALE: 1/2" = 1'-0"



7 PRIMARY CLOSET  
SCALE: 1/2" = 1'-0"

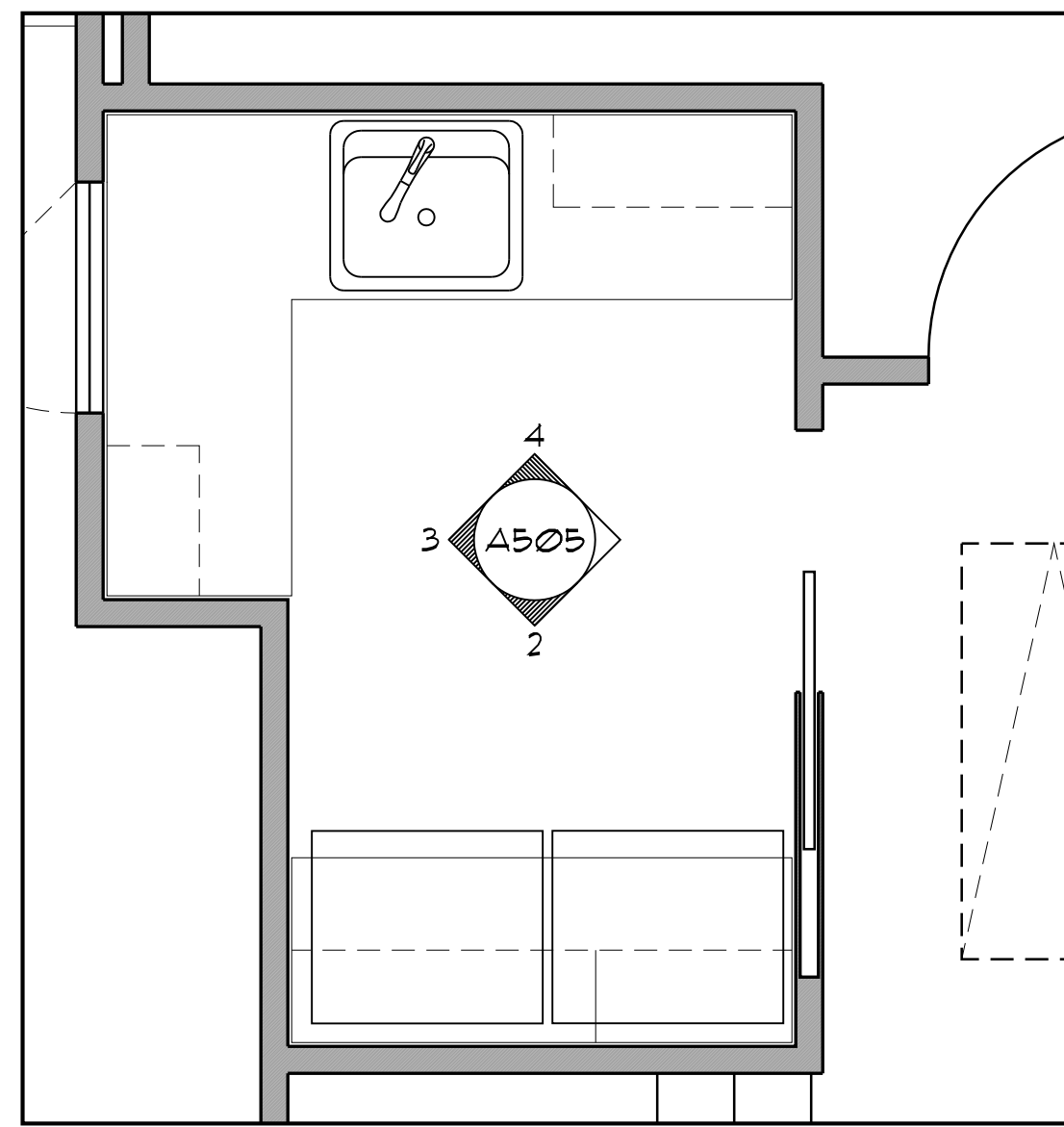


8 PRIMARY CLOSET  
SCALE: 1/2" = 1'-0"

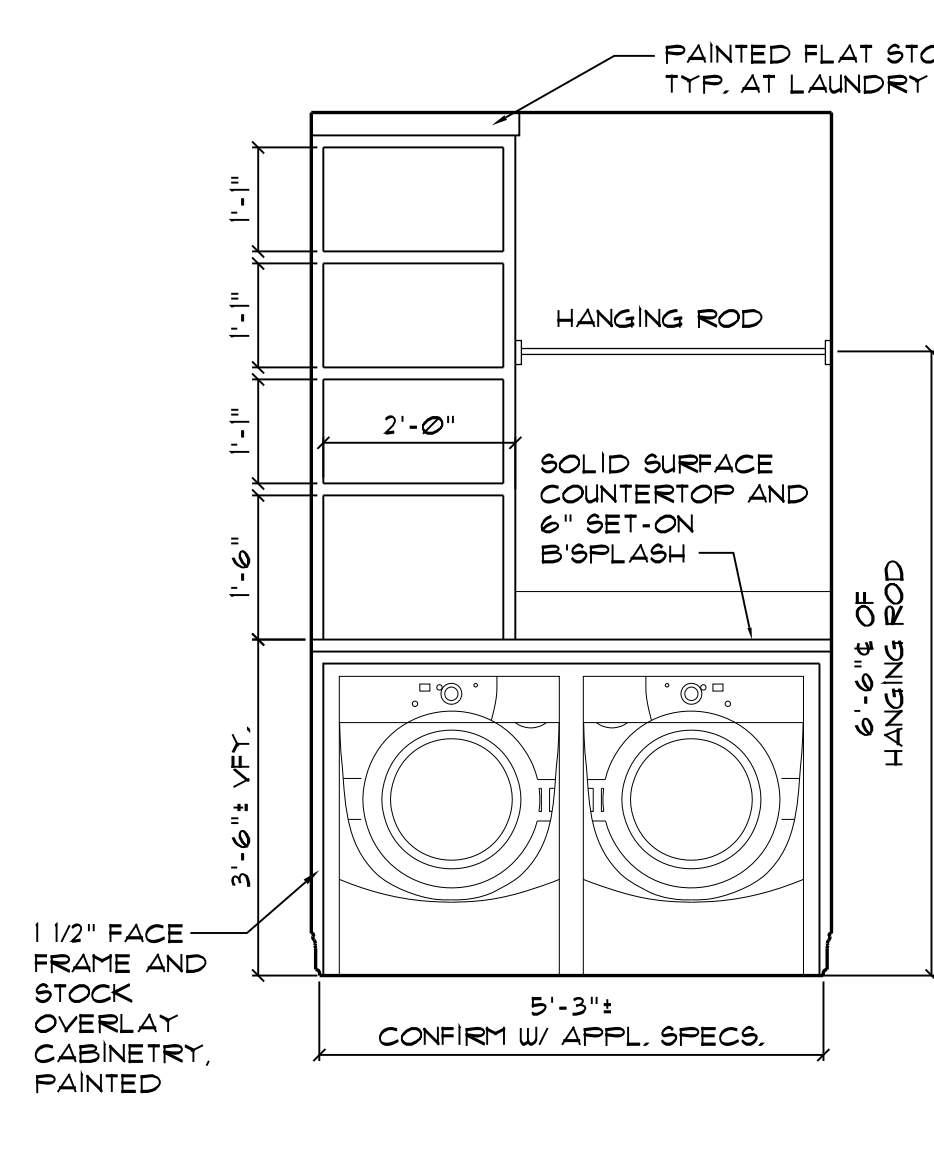


9 PRIMARY CLOSET  
SCALE: 1/2" = 1'-0"

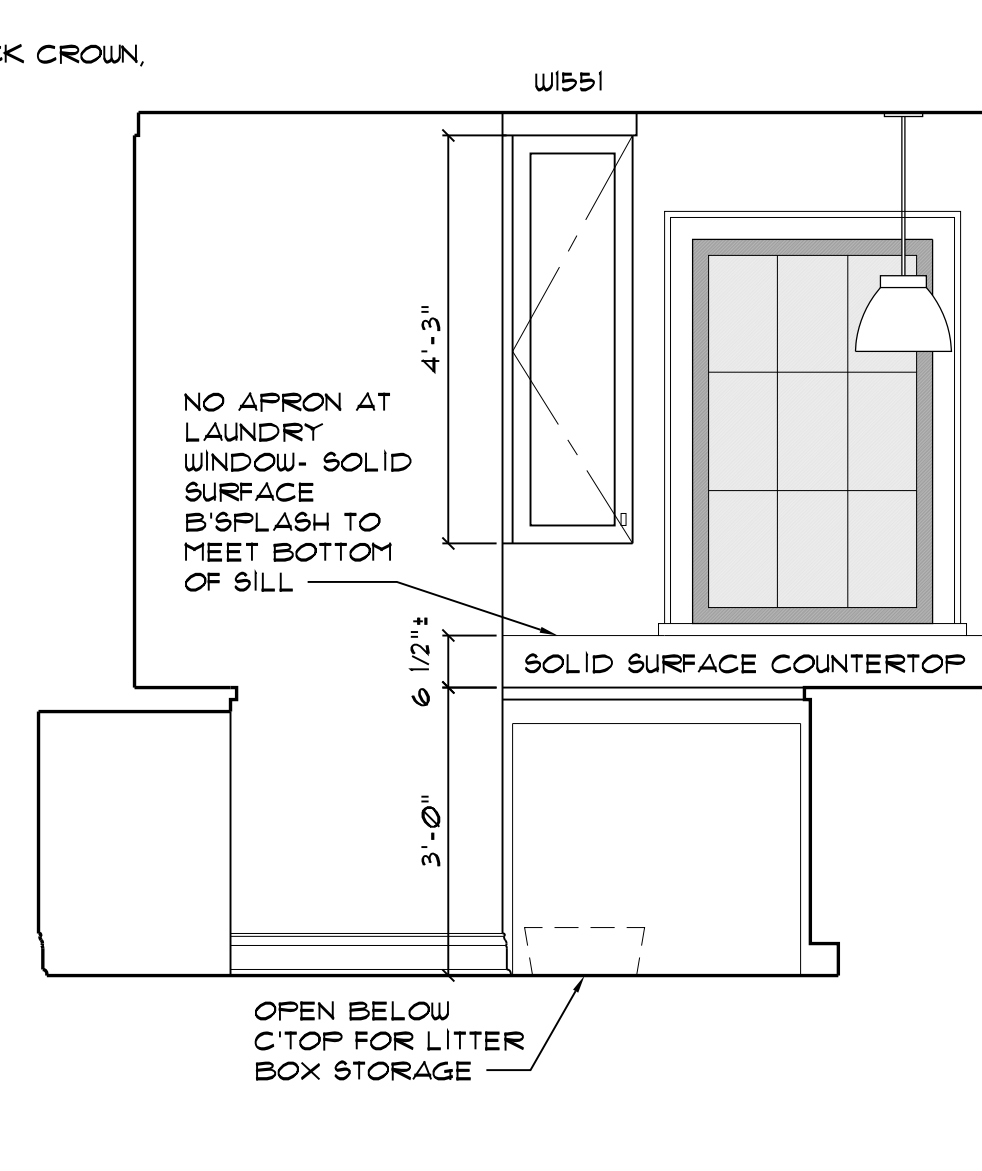




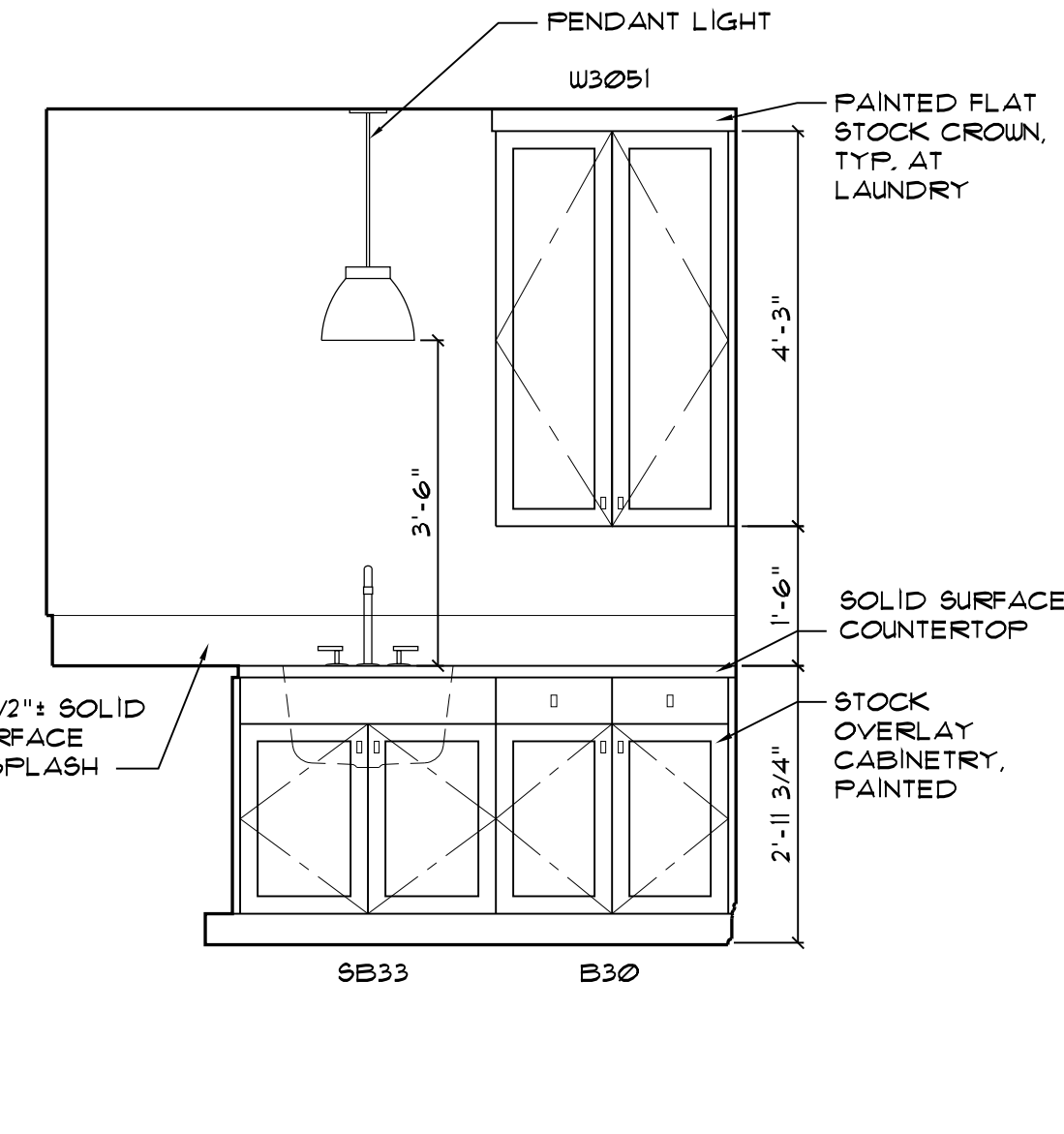
1 LAUNDRY ROOM PLAN  
SCALE: 1/2" = 1'-0"



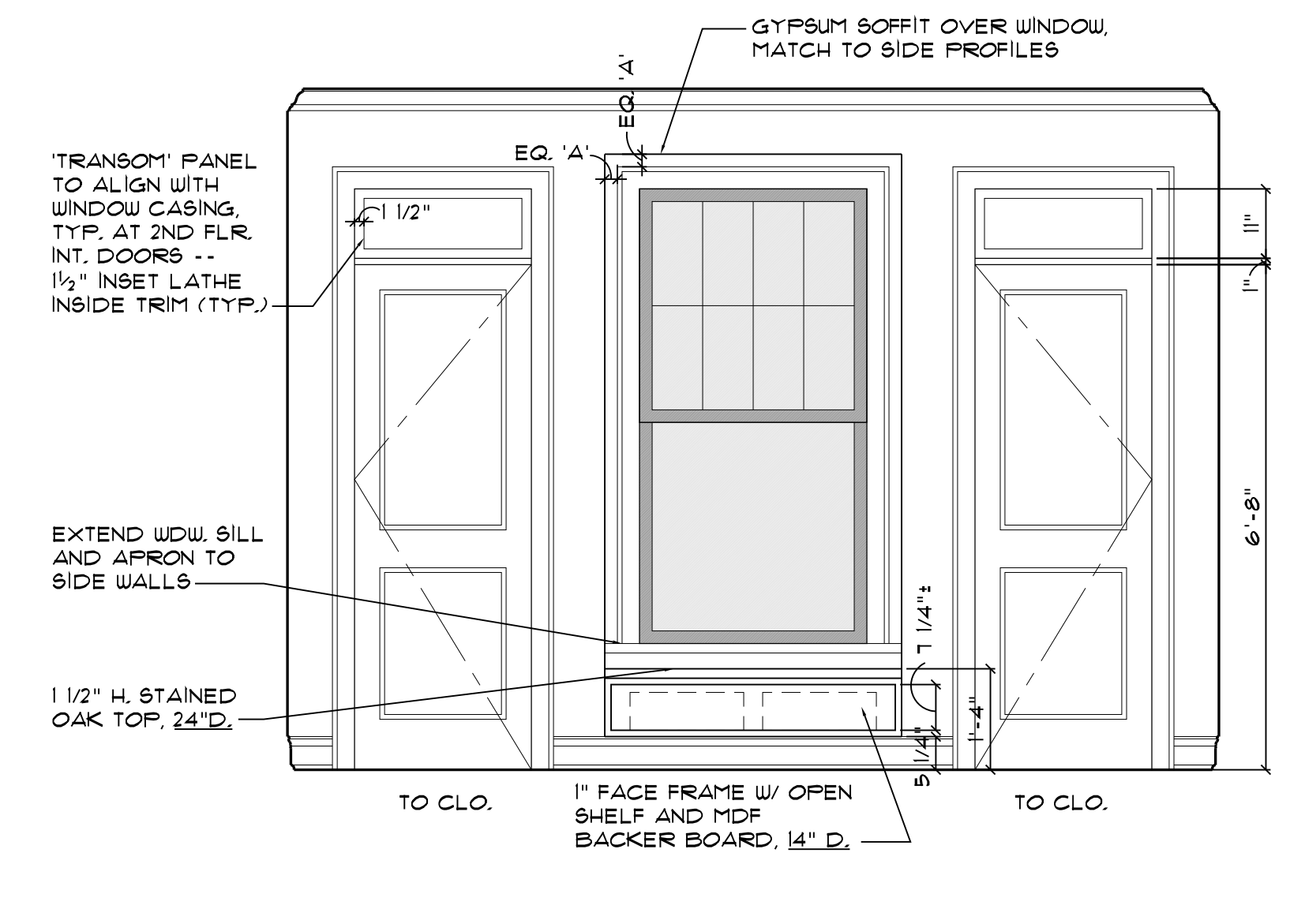
2 LAUNDRY  
SCALE: 1/2" = 1'-0"



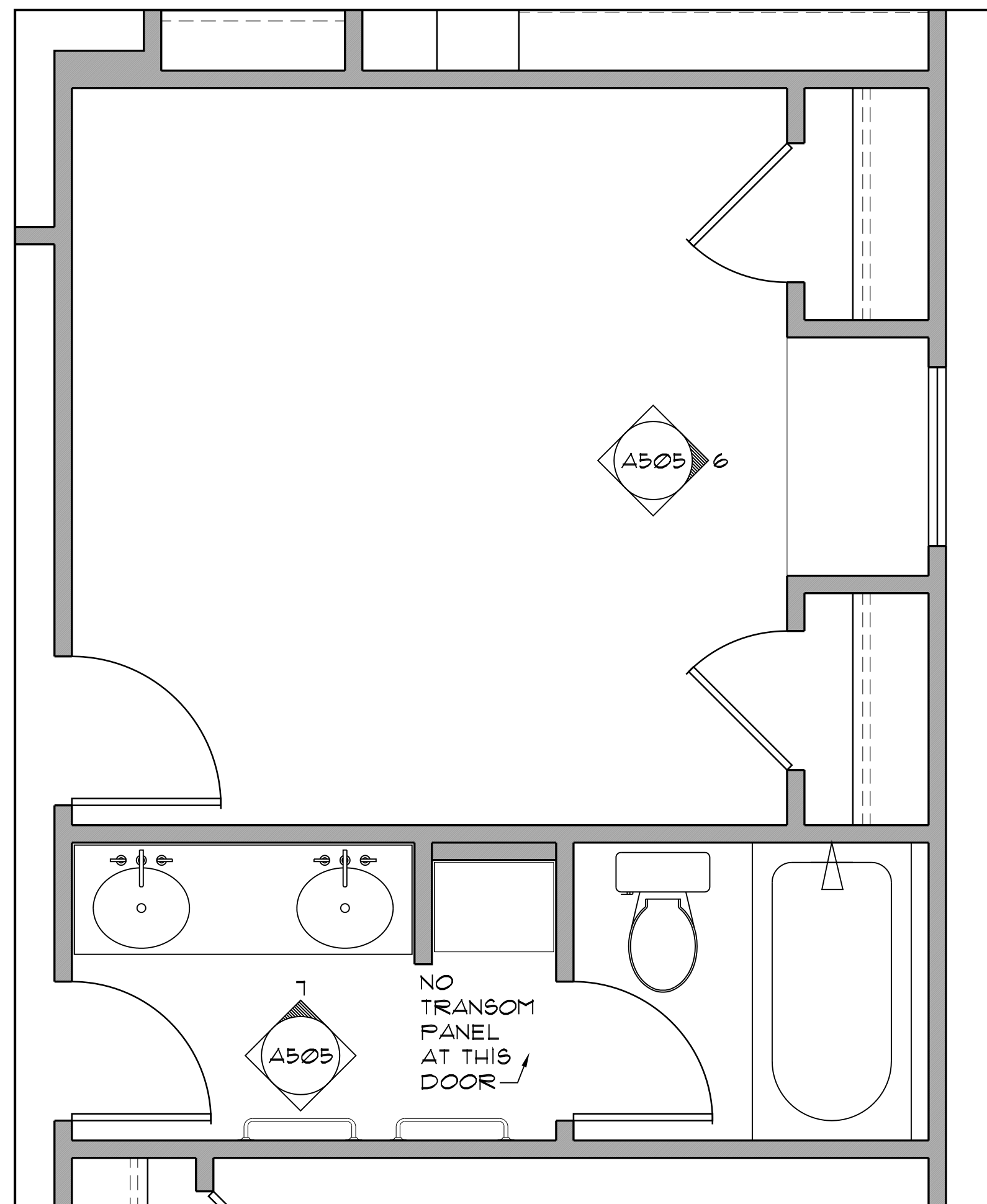
3 LAUNDRY  
SCALE: 1/2" = 1'-0"



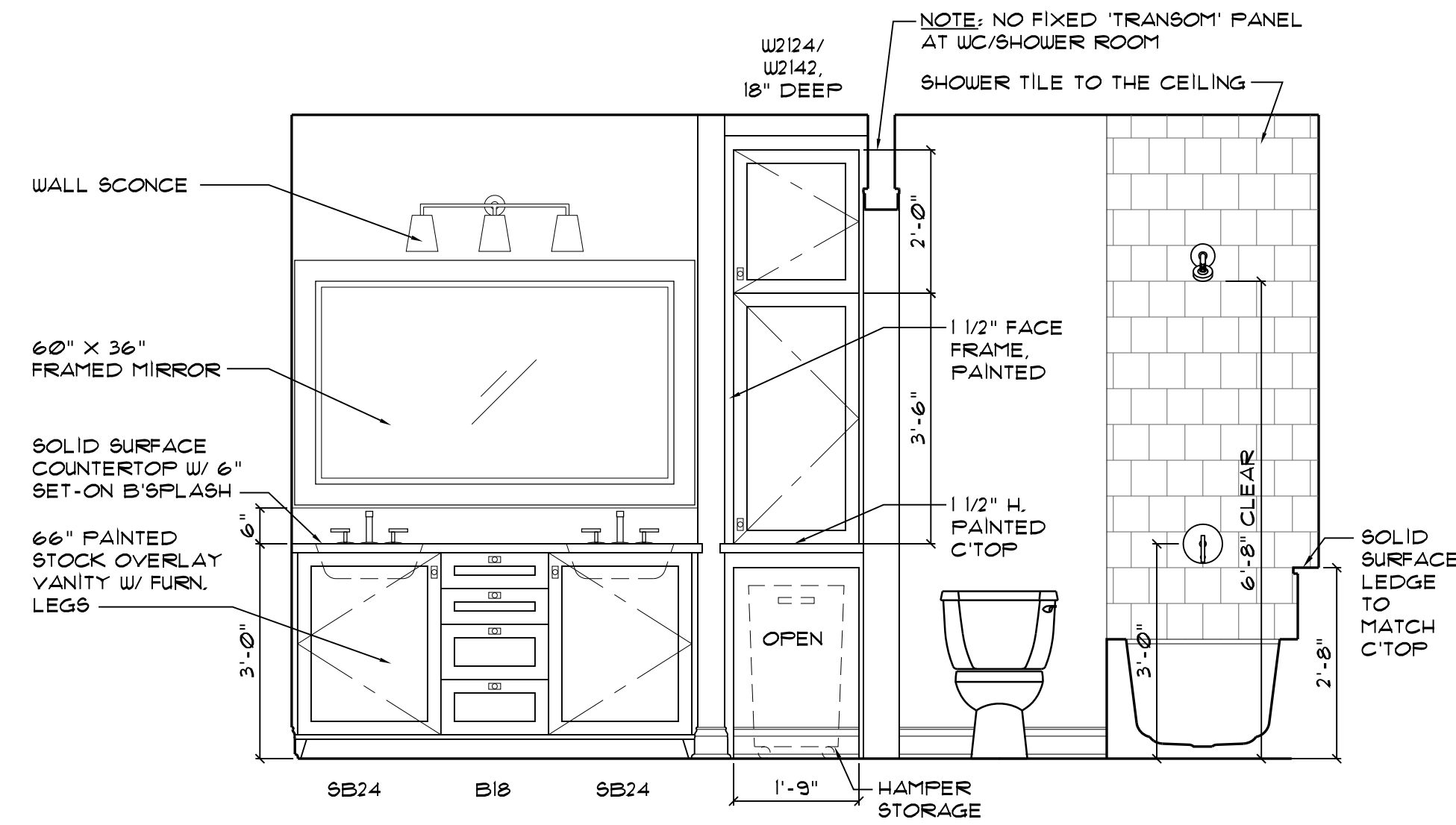
4 LAUNDRY  
SCALE: 1/2" = 1'-0"



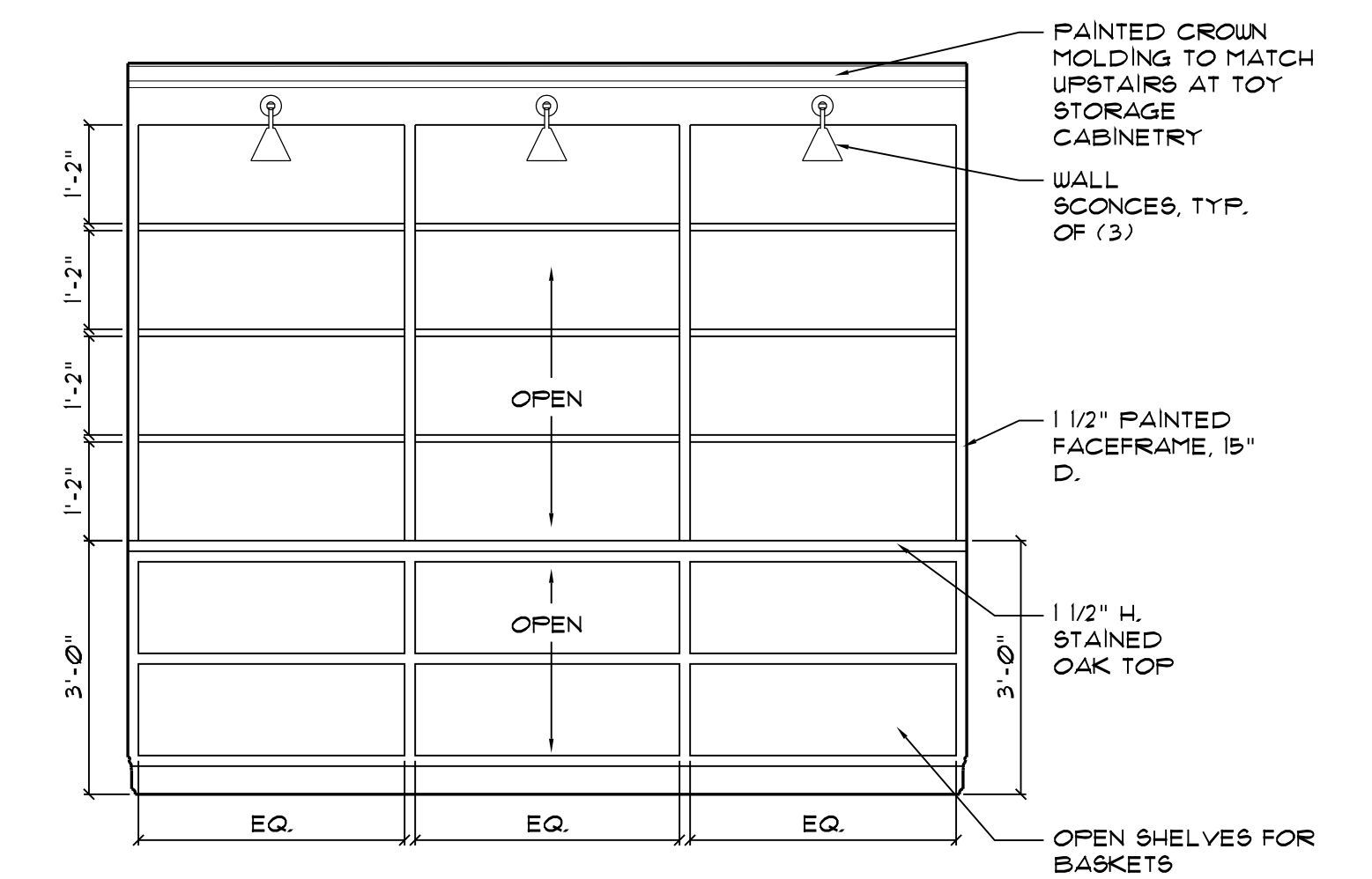
6 BEDROOM 2  
SCALE: 1/2" = 1'-0"



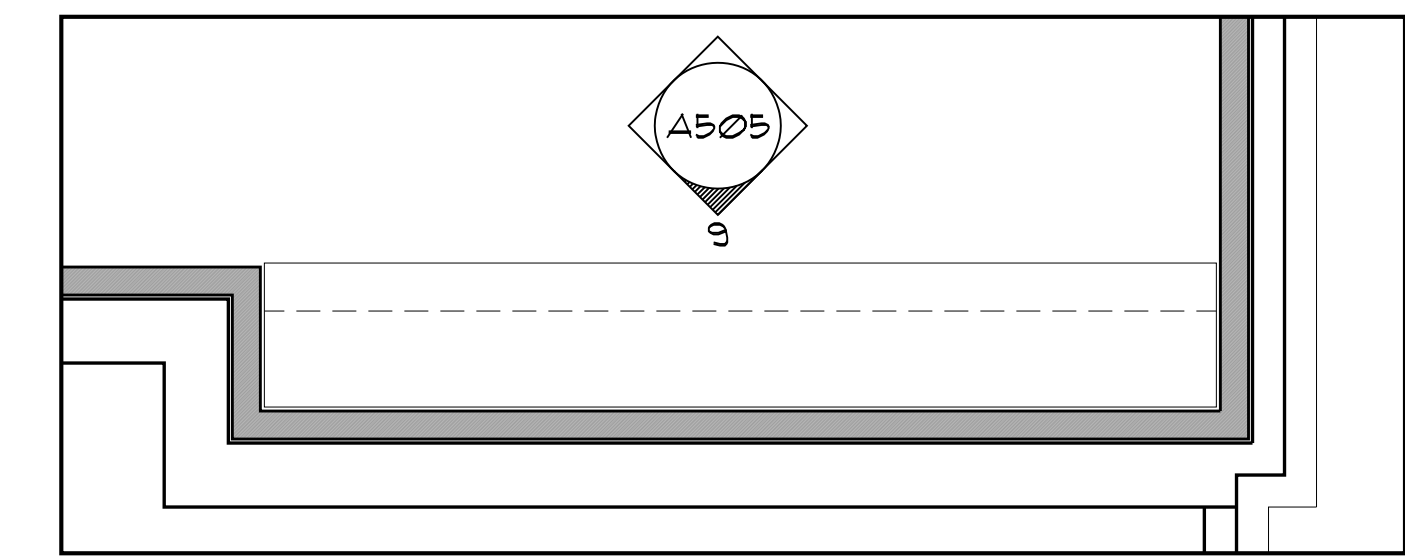
5 BEDROOM 2 AND HALL BATH PLAN  
SCALE: 1/2" = 1'-0"



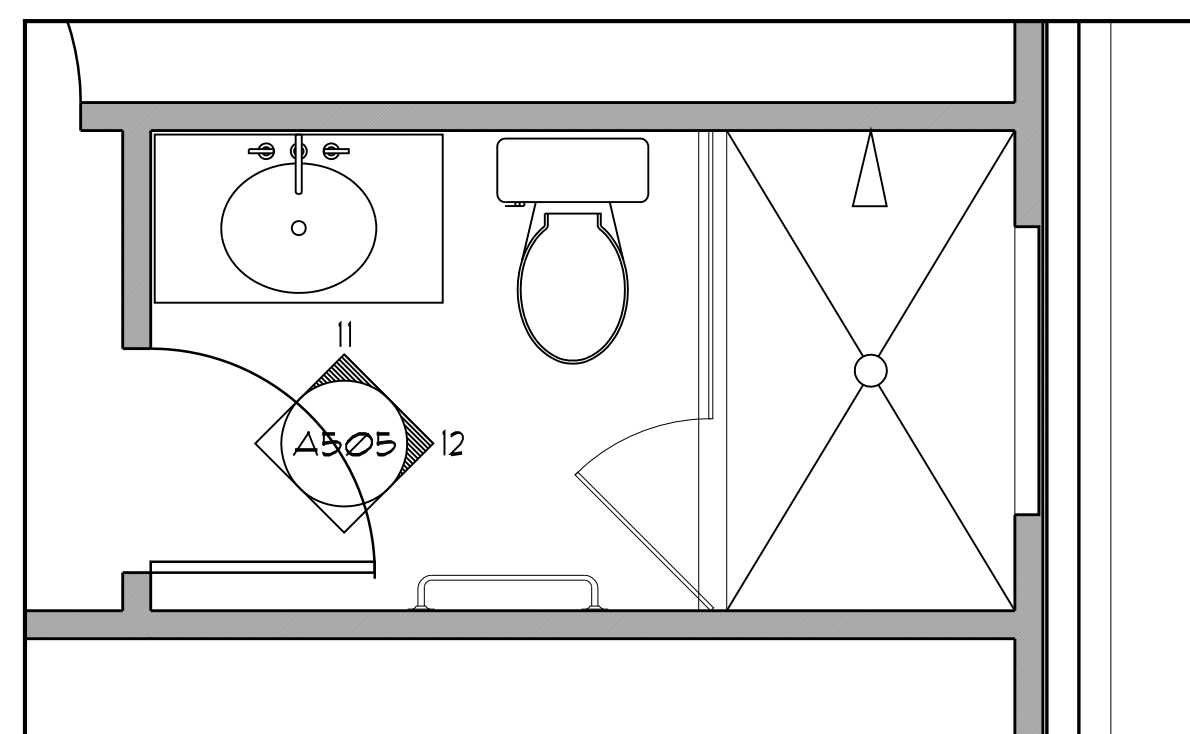
7 BATH 2  
SCALE: 1/2" = 1'-0"



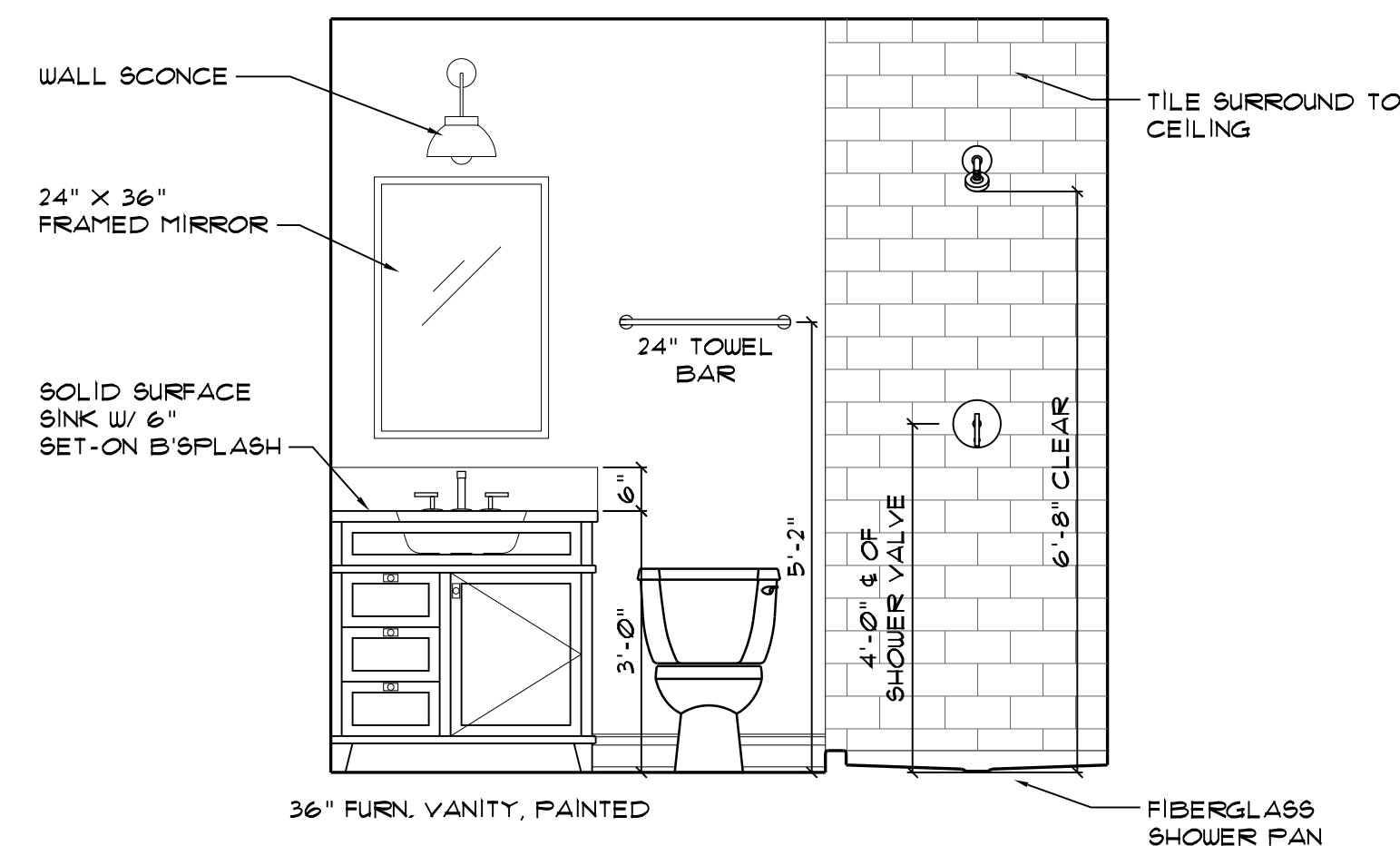
9 PLAY ROOM  
SCALE: 1/2" = 1'-0"



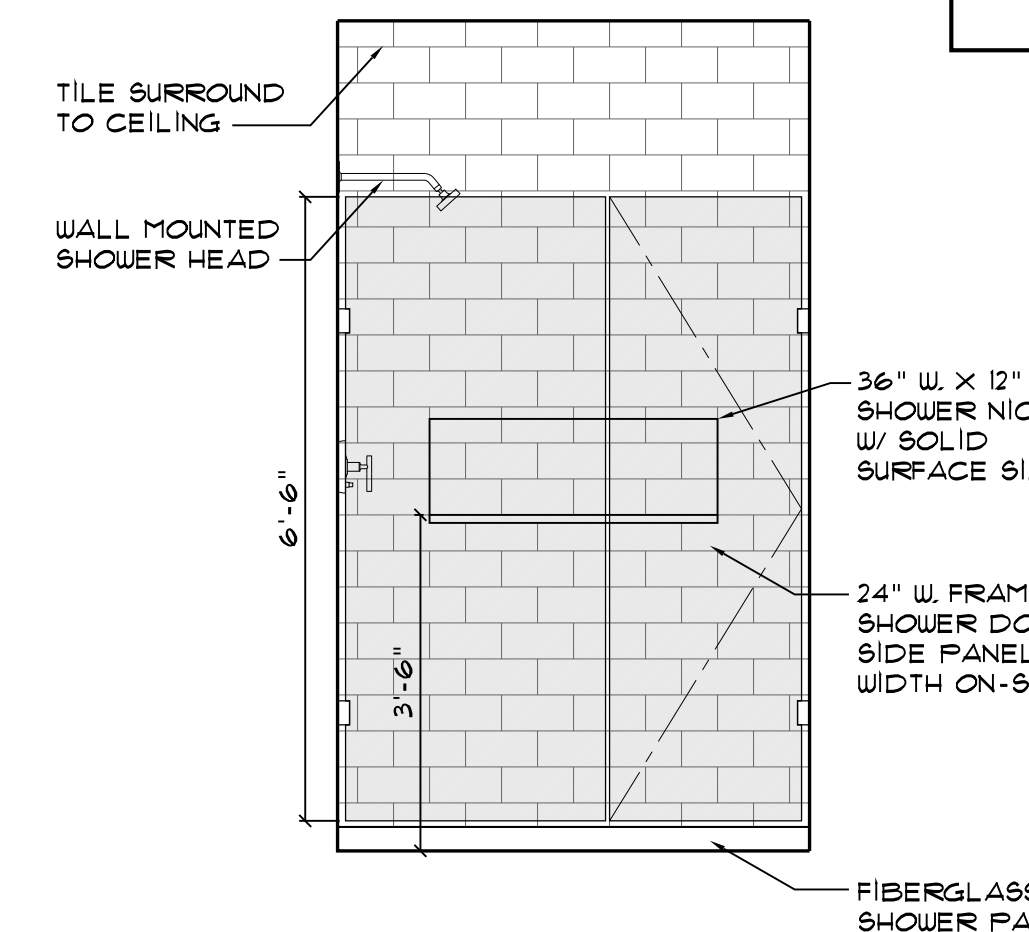
8 BASEMENT TOY STORAGE PLAN  
SCALE: 1/2" = 1'-0"



10 BASEMENT BATH PLAN  
SCALE: 1/2" = 1'-0"

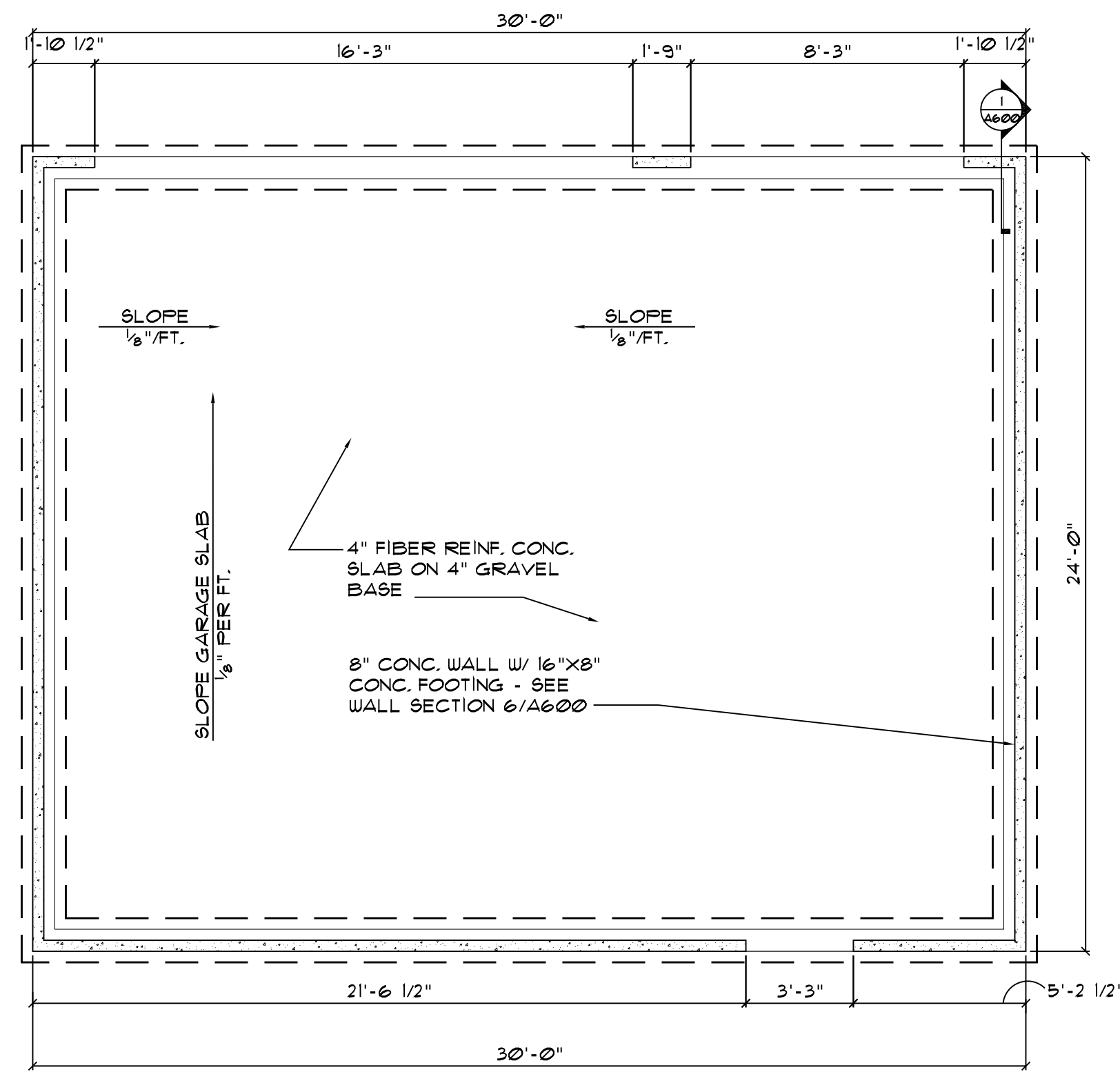


11 GUEST BATH  
SCALE: 1/2" = 1'-0"

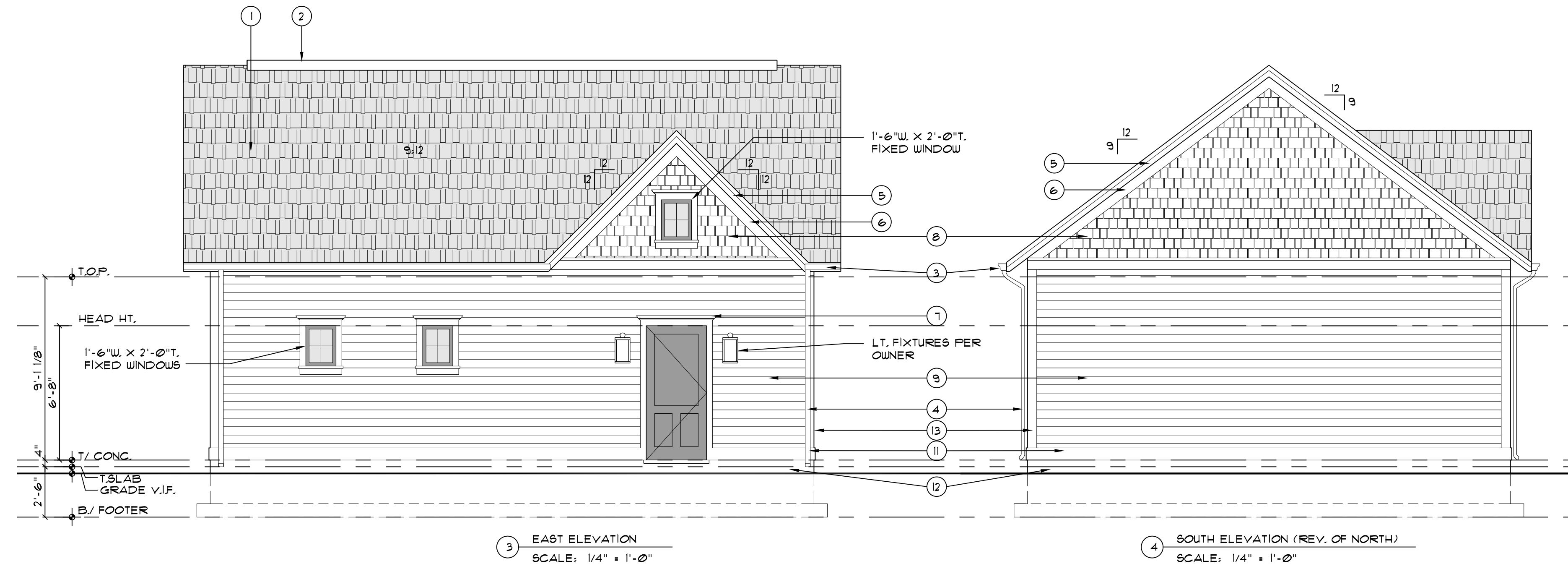


12 GUEST BATH  
SCALE: 1/2" = 1'-0"



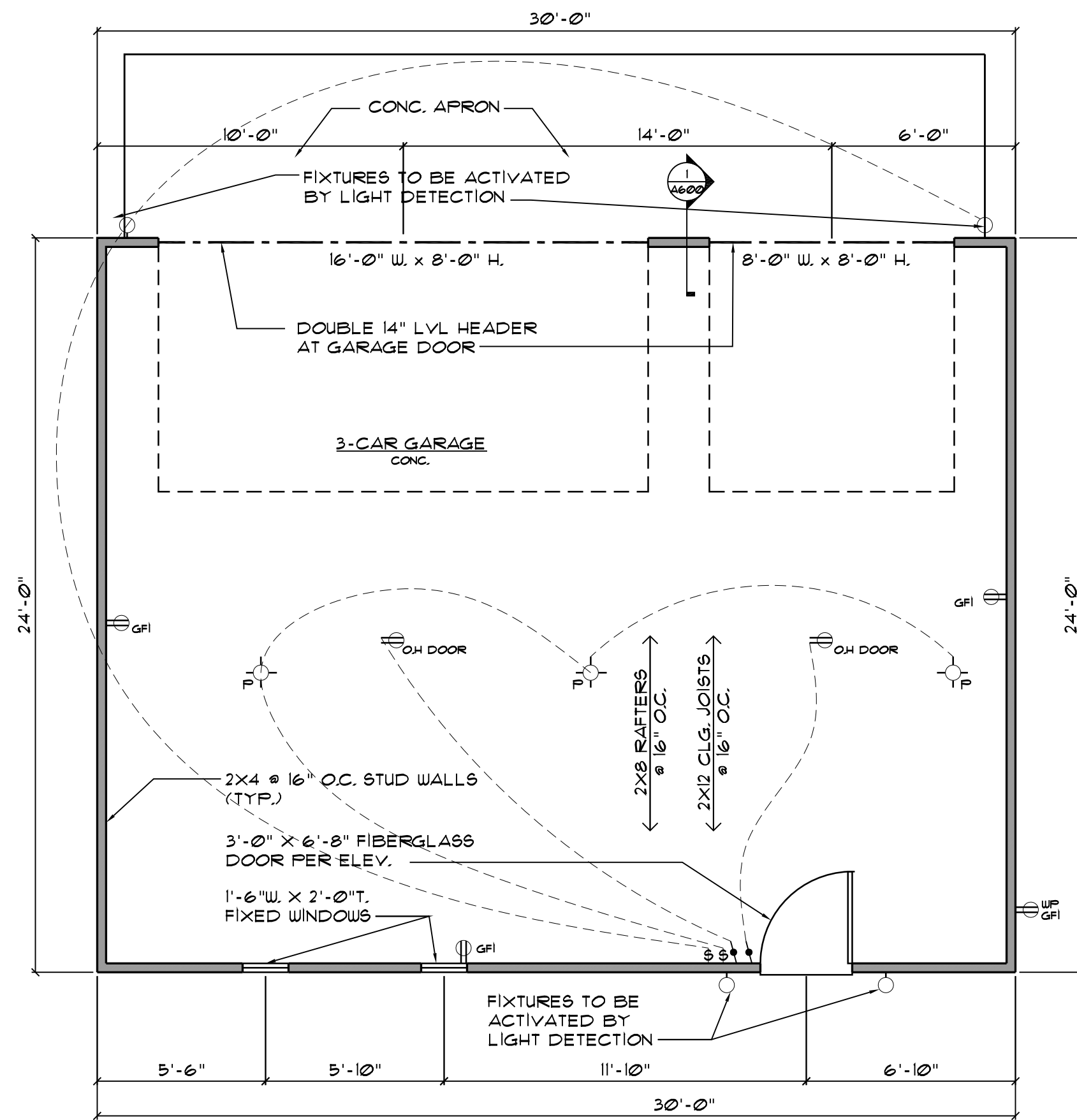


1 2-CAR GARAGE FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

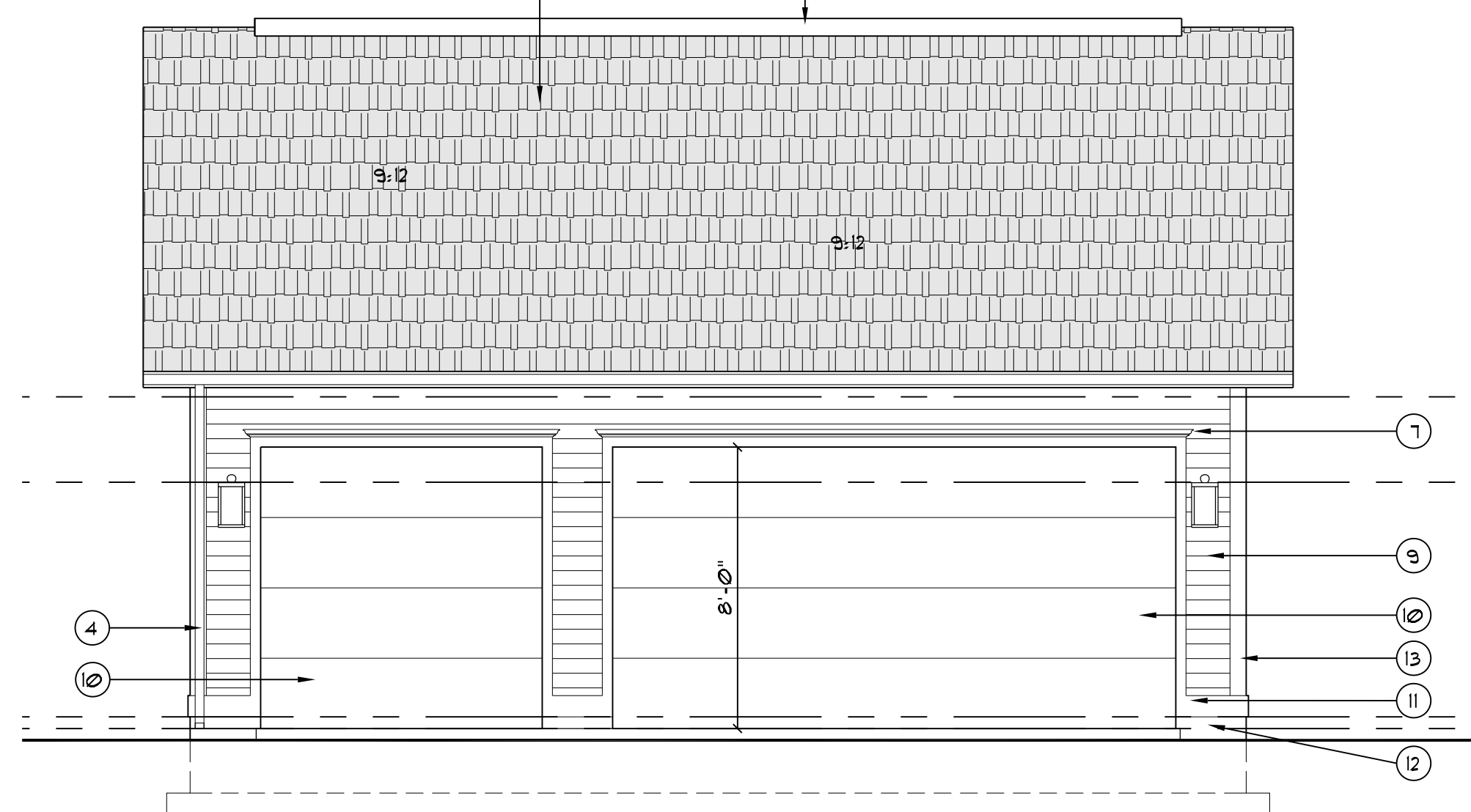


3 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

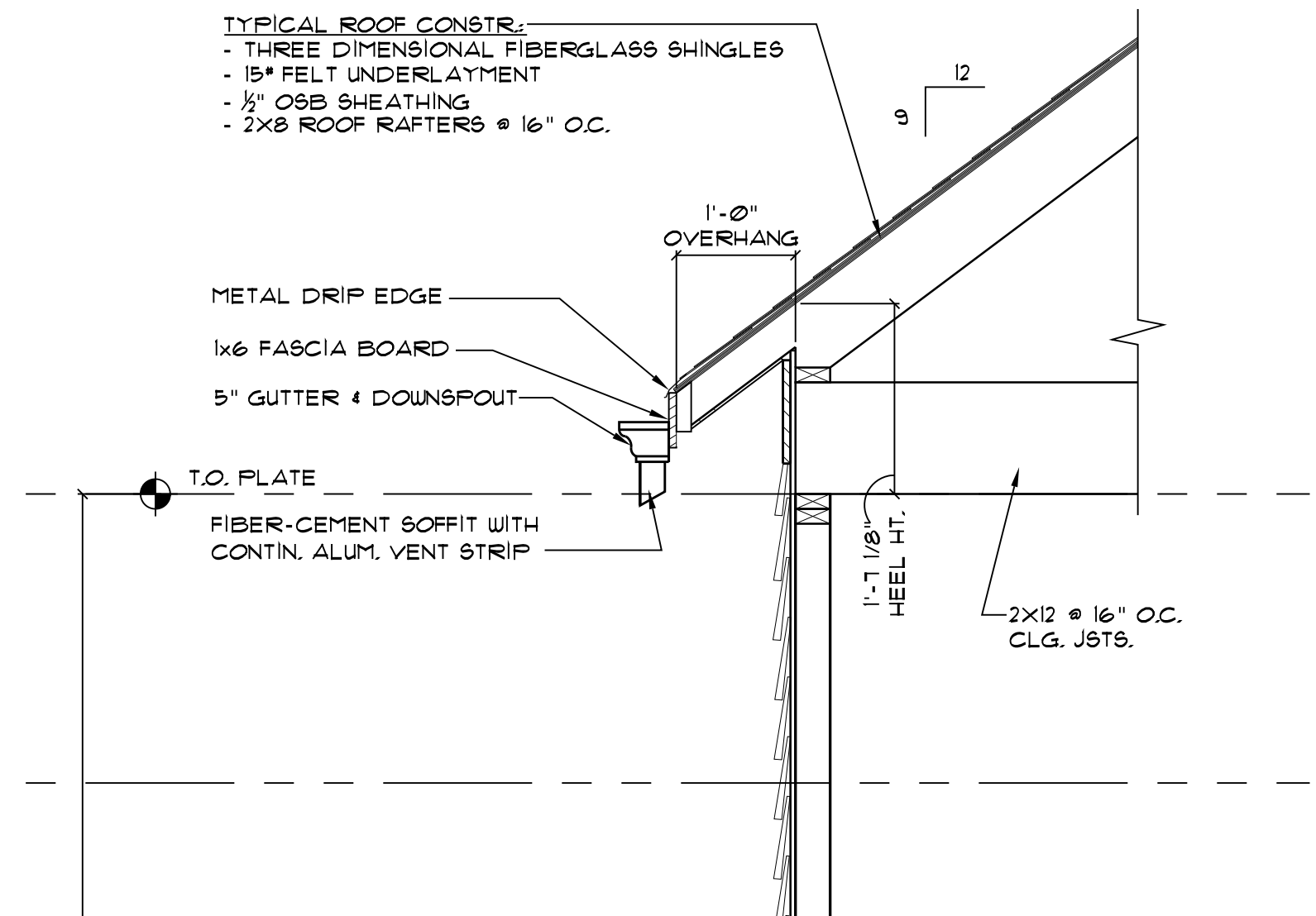
4 SOUTH ELEVATION (REV. OF NORTH)  
SCALE: 1/4" = 1'-0"



2 3-CAR GARAGE FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
120 SQUARE FEET

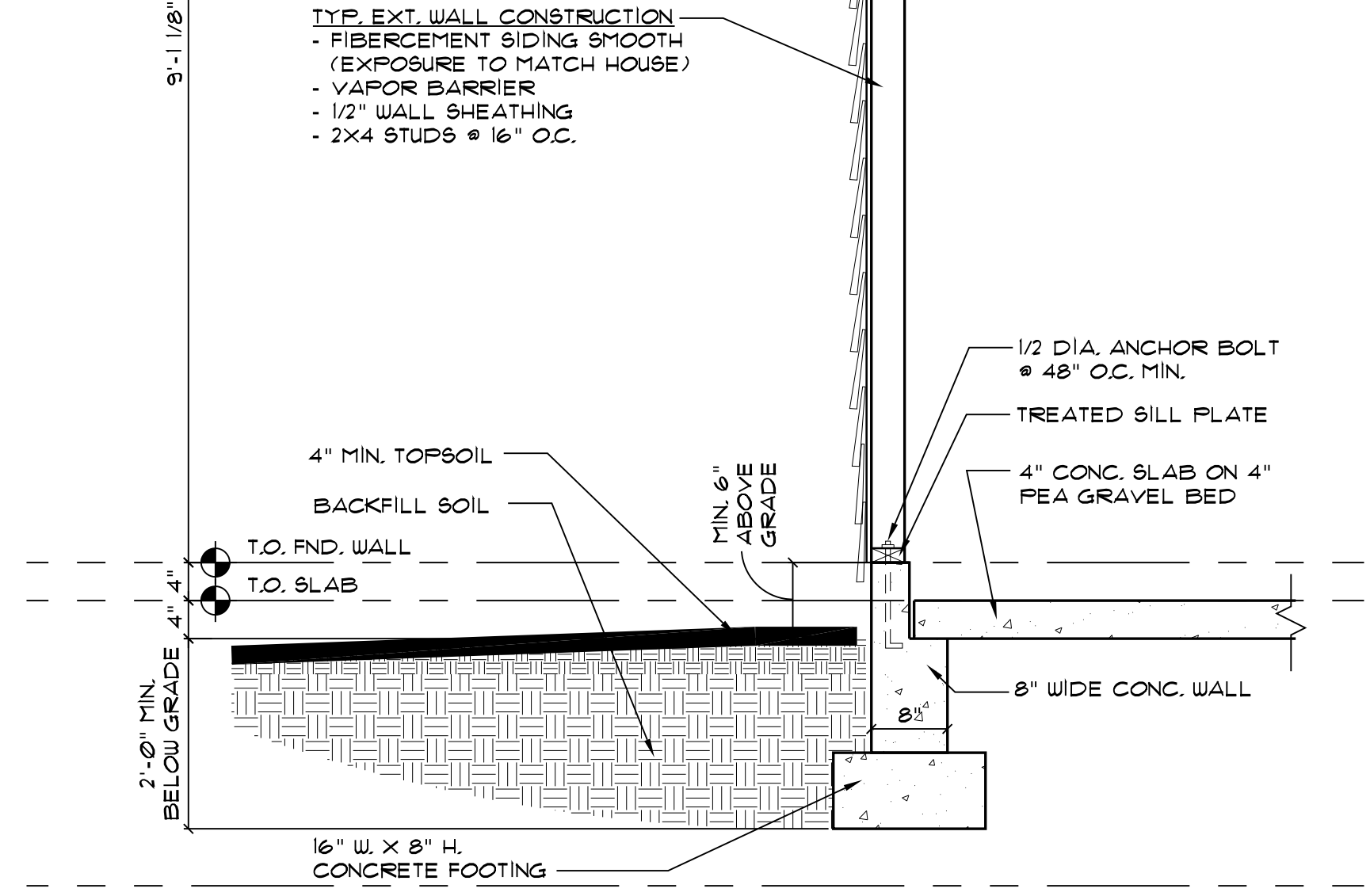


5 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



TYPICAL ROOF CONSTR.  
- THREE DIMENSIONAL FIBERGLASS SHINGLES  
- 15" FELT UNDERLAYMENT  
- 1/2" OSB SHEATHING  
- 2x8 ROOF RAFTERS @ 16" O.C.

TYP. EXT. WALL CONSTRUCTION  
- FIBERCEMENT SIDING SMOOTH (EXPOSURE TO MATCH HOUSE)  
- VAPOR BARRIER  
- 1/2" WALL SHEATHING  
- 2x4 STUDS @ 16" O.C.



6 WALL SECTION @ GARAGE  
SCALE: 3/4" = 1'-0"

**EXTERIOR MATERIALS KEY**

- 1 3-DIM. FIBERGLASS ROOF SHINGLES
- 2 RIDGE VENT
- 3 ALUMINUM GUTTER ON 1x6 SMARTSIDE TRIM (SMOOTH)
- 4 ALUMINUM DOWNSPOUTS
- 5 RAKE BOARDS: 1x3 ON 1x6 (SMOOTH)
- 6 SUB-RAKE BOARD: 5/4 X 6 (SMOOTH)
- 7 TYPICAL WINDOW AND DOOR DETAIL: 5/4x6 SMARTSIDE CASING (SMOOTH) W/ AZEK RAMB CROWN (AZ1-6934) TO WRAP T/TRIM
- 8 FIBERCEMENT STRAIGHT-CUT SHINGLE SIDING
- 9 FIBERCEMENT BOARD SIDING TO MATCH HOUSE - METAL CAPS @ CORNERS
- 10 OVERHEAD GARAGE DOOR
- 11 5/4x8 SMARTSIDE BAND BD. (SMOOTH)
- 12 CONCRETE FOUNDATION
- 13 5/4x6 CORNER BOARDS (SMOOTH)

**GENERAL PLAN NOTES**

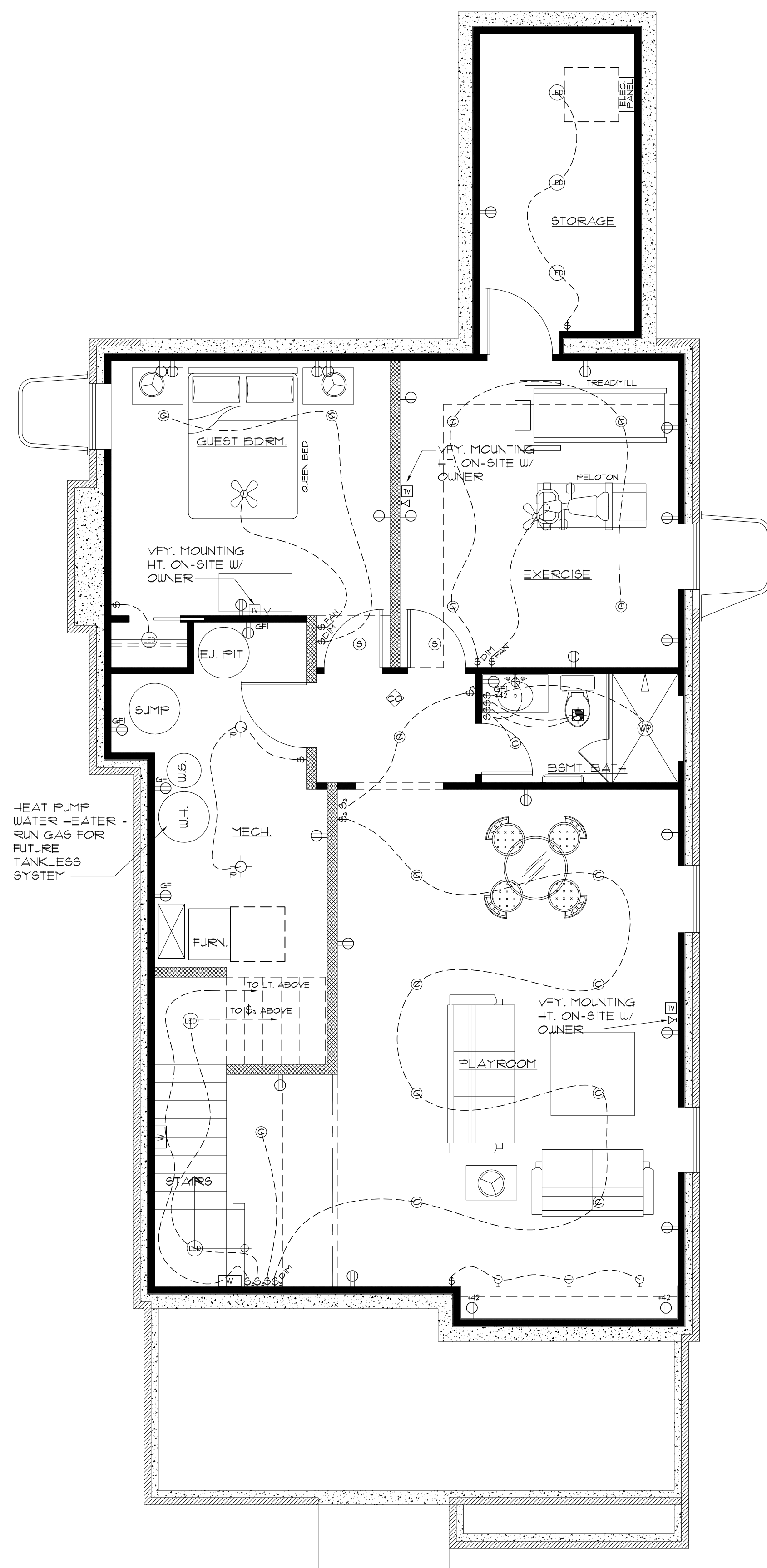
- WHERE DISCREPANCIES EXIST BETWEEN THE STANDARD COMMENTS, NOTES FROM THE DESIGN PROFESSIONAL OR THE CODE, THE MOST RESTRICTIVE SHALL APPLY. ALL CONSTRUCTION SHALL COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) AND THE 2020 INDIANA AMENDMENTS.
1. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED. ALL EXTERIOR WALLS ARE 2x4 @ 16" O.C.
  2. ALL 2x4 BEARING WALL STUDS SHALL BE SPACED A MAXIMUM OF 16" O.C. W/ DOUBLE TOP PLATE. ALL 2x6 BEARING WALL STUDS SHALL BE SPACED A MAXIMUM OF 24" O.C. W/ DOUBLE TOP PLATE. PROVIDE MIN. 3 STUDS @ EACH BEARING POINT. TYPICAL NON-BEARING WALL CONSTRUCTION SHALL BE 2x4 WALLS @ 16" O.C. W/ HEADER MIN. 2-2x4. PROVIDE BLOCKING @ CEILING LINE FOR PROPER DRYWALL ATTACHMENT.
  3. SEAL ALL PENETRATIONS AND OPENINGS IN FLOORS AND WALLS TO MINIMIZE THE TRANSFER OF DRAFTS AND MOISTURE. SHEATHING PENETRATION SHALL BE PATCHED AND REPAIRED TO MANUF. SPECS.
  4. SLOPE ALL CONC. STOOPS, PORCHES, WALKS AND GARAGE SLABS 1/8" IN 12" TO DRAIN OR AS NOTED ON PLANS.
  5. ALL DESIGNS FOR MANUFACTURED FLOOR JOISTS, RAFTERS AND TRUSSES SHALL BE CERTIFIED BY THE MANUFACTURER. INSTALLATION OF SUCH ITEMS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SHOP DRAWINGS AND RECOMMENDATIONS.
  6. CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF CODES NOTED ON COVER SHEET, ALL LOCAL CODES AND AMENDMENTS, AND FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS.



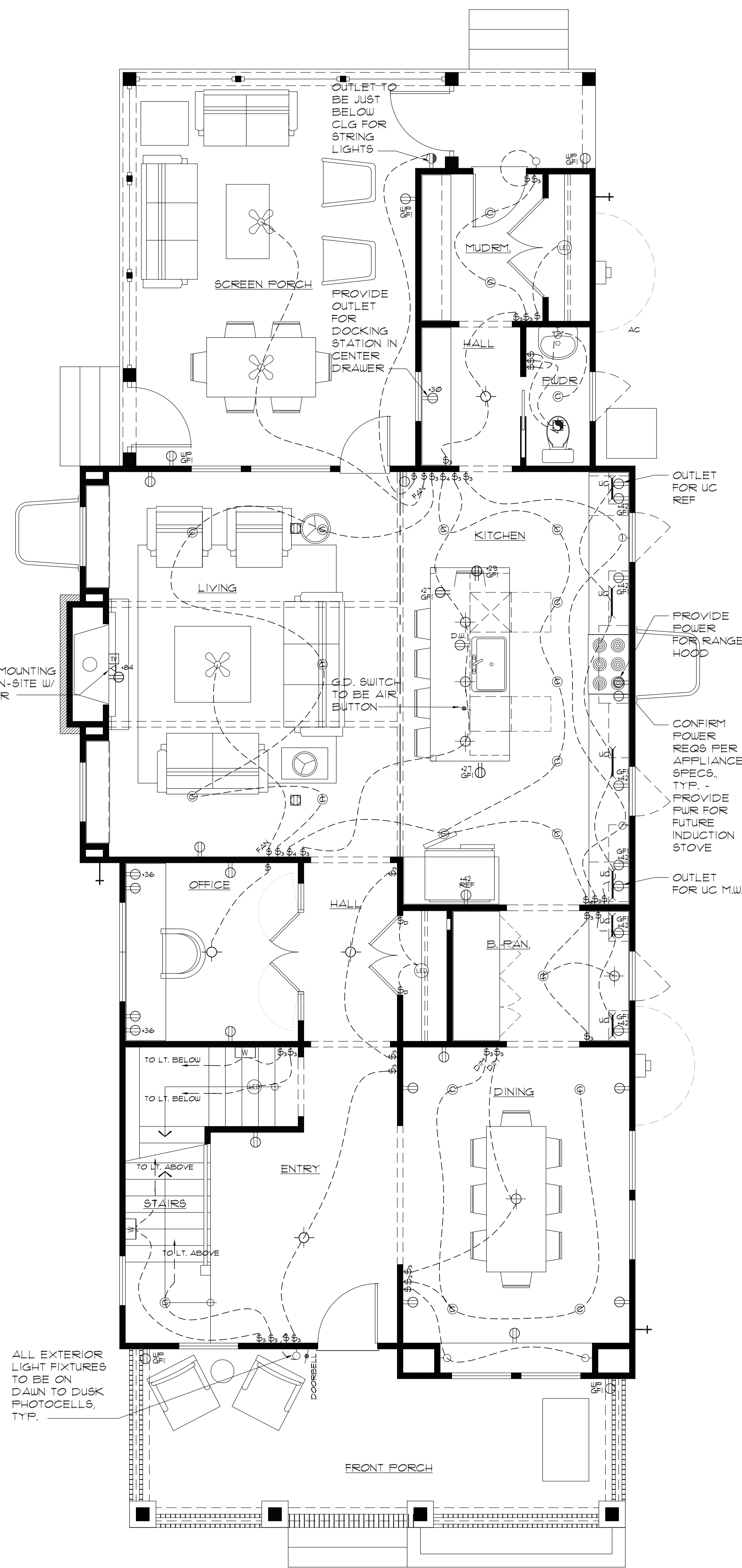
| ELECTRICAL SYMBOL KEY |  |
|-----------------------|--|
| ⊕                     | FOUR-WAY SWITCH                          |
| ⊕                     | THREE-WAY SWITCH                         |
| ⊕                     | SWITCH                                   |
| ⊕ <sub>DM</sub>       | DIMMER SWITCH                            |
| ⊕ <sub>DC</sub>       | DOOR CONTACT SWITCH                      |
| ⊕                     | DATA OUTLET (PART OF PHONE OUTLET PLATE) |
| ⊕                     | DUPLEX OUTLET                            |
| ⊕ <sup>GF</sup>       | GROUND FAULT INTERRUPTER                 |
| ⊕                     | HALF-SWITCHED OUTLET                     |
| ⊕ <sup>220</sup>      | 220 VOLT OUTLET                          |
| ⊕ <sup>WP</sup>       | WATER PROOF OUTLET                       |
| ⊕                     | FLOOR OUTLET                             |
| ⊕                     | SURFACE MOUNTED FIXTURE                  |
| ⊕                     | CEILING PENDANT FIXTURE                  |
| ⊕                     | RECESSED CAN LIGHT                       |
| ⊕                     | WATERPROOF RECESSED CAN LIGHT            |
| ⊕                     | LED SURFACE MOUNTED CAN LIGHT            |
| ⊕                     | JUNCTION BOX                             |
| ⊕                     | WALL SCONCE                              |
| ⊕                     | ETHERNET                                 |
| ⊕                     | EXHAUST FAN                              |
| ⊕                     | EXHAUST FAN WITH LIGHT                   |
| ⊕                     | CABLE TELEVISION JACK                    |
| ⊕                     | THERMOSTAT                               |
| ⊕                     | SMOKE DETECTOR                           |
| ⊕                     | CARBON MONOXIDE/ SMOKE DETECTOR          |
| ⊕                     | MOMENTARY SWITCH                         |
| ⊕                     | CEILING MOUNTED SPEAKER                  |
| ⊕                     | WALL MOUNTED SPEAKER                     |
| ⊕                     | KEYLESS PORCELAIN FIXTURE                |
| ⊕                     | PHOTO CELL OPERATED FLOOD LIGHT          |
| ⊕                     | CEILING FAN WITH LIGHT                   |
| ⊕                     | UNDER CABINET/FLOURESCENT FIXTURE        |
| ⊕                     | RECESSED WALL MOUNTED LIGHT              |

**GENERAL NOTES:**

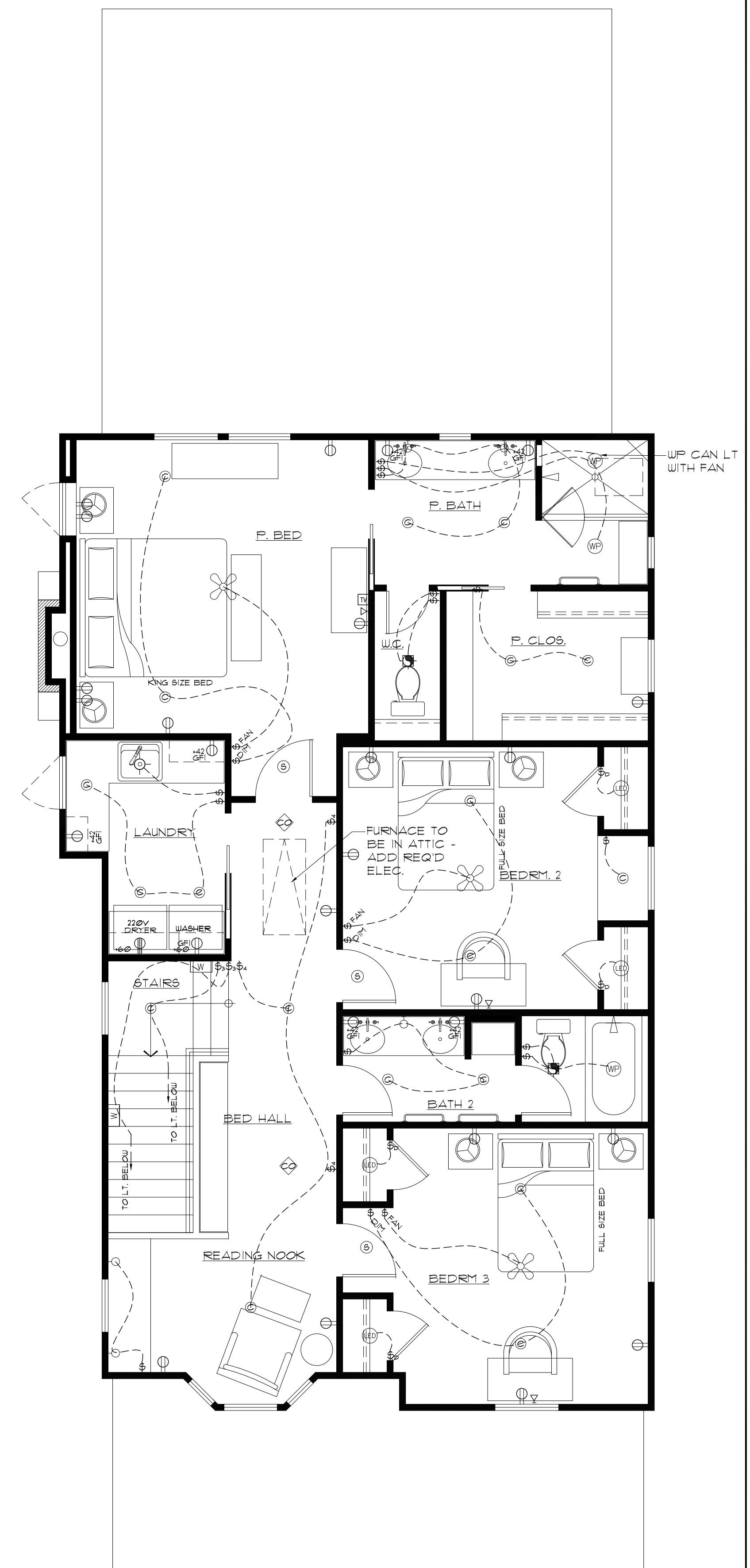
- ELECTRICAL SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL LOCAL & NATIONAL BUILDING CODES
- SWITCHES SHALL BE MOUNTED AT 48" ABOVE FLOOR TO TOP OF DEVICE.
- RECEPTACLES AND CABLE TV OUTLETS SHALL BE MOUNTED 12" ABOVE FLOOR TO BOTTOM OF DEVICE, UNLESS HEIGHT IS NOTED OTHERWISE. DEVICES IMMEDIATELY ADJACENT TO ONE ANOTHER SHALL HAVE 0" TOLERANCE.
- ALL EXHAUST FANS (AND FAN/LIGHT COMBOS) ARE TO BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR. VENTILATION DUCTWORK AND LOUVERS TO BE BY HVAC CONTRACTOR
- SECURE & PAY FOR ALL REQUIRED PERMITS & PROVIDE TO G.C. PRIOR TO ANY WORK STARTING.
- CARBON MONOXIDE ALARMS TO BE LOCATED OUTSIDE EACH SLEEPING AREA IN THE BEDROOM VICINITY, AND AT BEDROOM WHERE THERE IS A FUEL-BURNING APPLIANCE PRESENT OR LOCATED WITHIN ADJOINING BATH.
- SMOKE DETECTORS REQUIRED:
  - LIVING AREA REMOTE FROM THE KITCHEN AND COOKING APPLIANCES
  - EACH ROOM DESIGNED FOR SLEEPING
  - ON EA. LEVEL OF A DWELLING, ON THE CLG. OF THE UPPER LEVEL NEAR THE TOP OR ABOVE EA STAIRWAY (OTHER THAN A BSMT STAIRWAY)
  - ON THE BSMT CLG NEAR THE STAIRWAY



1 1734 N ALABAMA STREET BASEMENT ELECTRICAL PLAN SCALE: 1/4" = 1'-0"



2 1734 N ALABAMA STREET FIRST FLOOR ELECTRICAL PLAN SCALE: 1/4" = 1'-0"



3 1734 N ALABAMA ST SECOND FLOOR ELECTRICAL PLAN SCALE: 1/4" = 1'-0"

REVISIONS

1734 N ALABAMA STREET  
ELECTRICAL PLANS