



Indianapolis Historic Preservation Commission (IHPC)
HEARING AGENDA

Wednesday, March 6, 2024, 5:30 P.M.
 2nd Floor, Public Assembly Room, City-County Building
 200 E. Washington St., Indianapolis, Indiana

BUSINESS

I. CALL TO ORDER

II. APPROVAL OF MINUTES

FEBRUARY 2024 HEARING MINUTES

III. OLD BUSINESS – NO PUBLIC HEARING

NONE

IV. NEW BUSINESS – NO PUBLIC HEARING

NONE

PUBLIC HEARING

V. REQUEST TO WITHDRAW OR CONTINUE APPLICATIONS

2021-COA-583B (CAMA)	863 MASSACHUSETTS AVE. RATIO ARCHITECTS Construct a rooftop addition and decks.	<i>continue to June 5, 2024</i>	<i>Page 9</i>
2023-COA-251 (FP)	529 FLETCHER AVE. KIM COOK Retain deck extension and fence in side yard constructed without approval.	<i>continue to April 3, 2024</i>	<i>Page 11</i>
2024-COA-031 (NA) & 2024-VHP-002	7301 & 7307 DOBSON ST. RUSSELL BROWN Construct parking lot across two parcels, a Variance of Use to permit a commercial parking lot in D3 and Variance of Development Standards to allow the use of gravel as a permanent parking surface.	<i>continue to April 3, 2024</i>	<i>Page 13</i>

VI. EXPEDITED CASES

2024-COA-001 (ONS) & 2024-VHP-003	1235 N. ALABAMA ST. JOSEPH LESE Demolish non-historic garage; construct carriage house; Variance of Development Standards to exceed the maximum square footage of an allowed secondary unit.	<i>Page 15 Submittals Page 116</i>
2024-COA-005 (WP)	578 WOODRUFF PL. MIDDLE DR. TAMMY RICE Amend previously approved 2020-COA-023 (WP) to demolish historic detached garage and construct new detached garage.	<i>Page 21 Submittals Page 137</i>

2024-COA-018 (HMP)	414 E. 17th ST. THEODORE HAMPTON Construct east side addition to create attached garage.	Page 41 Submittals page 170
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VII. APPLICATIONS TO BE HEARD (CONTINUED)

2022-COA-447 (IURS) AMENDMENT 1	39 JACKSON PLACE MICHAEL EICHENAUER for DMD Amend previous approval to eliminate all brick pavers from scope on Illinois and Capitol.	Page 49 Submittals Page 184
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2024-COA-002 (MCD) & 2024-VHP-001	38 E. WASHINGTON ST. MAMADOU (BEN) DIALLO Construct 3 rd -story addition; replace front façade with new design; and a Variance of Use to reduce the required number of residential units from 5 to 2 in the CBD-1 district.	Page 57 Submittals Page 190
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VIII. APPLICATIONS TO BE HEARD (NEW)

2023-COA-439 (FP)	460 VIRGINIA AVE. STEPHEN E. CARR Modify size of existing cell tower for larger antennas.	Page 75 Submittals Page 205
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2024-COA-034 (HMP)	1806 N. ALABAMA ST. MELISSA IANNUCCI Demolish historic building.	Page 89 Submittals Page 227
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IX. PRELIMINARY REVIEW

NONE

X. APPLICATIONS TO BE HEARD – WORK STARTED WITHOUT APPROVAL

2023-COA-506B (ONS)	1201 N. DELAWARE ST. MIKE LYNCH & JAMEY SMITH Maintain non-matching siding and cornice wrap installed without approval.	Page 107
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XI. CLOSING BUSINESS

NONE

INDIANAPOLIS HISTORIC PRESERVATION COMMISSION
DEPARTMENT OF METROPOLITAN DEVELOPMENT

COMMISSION HEARING MINUTES

Wednesday, February 7, 2024, 5:30 P.M.
2nd Floor, Room 260, City-County Building
200 E. Washington St., Indianapolis, Indiana

Commissioners Present: President Bill Browne (**WB**), Vice President David Baker (**DB**), Michael Bivens (**MB**), Anson Keller (**AK**), Annie Lear (**AL**), Susan Williams (**SW**) (Corley, Watson and Sivilich absent)

Staff Present: Meg Busch – Administrator, (**Meg**), Chris Steinmetz (**CS**), Shelbi Long - Senior Architectural Reviewer (**SL**), Dean Kessler - Architectural Reviewer (**DK**), Grace Goedeker - Preservation Planner (**GG**), Melony Evans - Office Manager/Recorder (**ME**)

BUSINESS

I. CALL TO ORDER 5:30PM

II. APPROVAL OF MINUTES

December 3, 2023 & January 6, 2024, Regular Meeting

Motion: AL

2nd: SW

Unanimously Approved: WB, DB, AK, AL, SW, MB

III. OLD BUSINESS – NO PUBLIC HEARING

NONE

IV. NEW BUSINESS – NO PUBLIC HEARING

NONE

PUBLIC HEARING

BB: Introduces Commission, Staff and reads Rules of Procedure

V. REQUEST TO WITHDRAW OR CONTINUE APPLICATIONS

2022-COA-112B (IRV) 5270 E. WASHINGTON ST. continue to May 1, 2024

SYLVIA GARCIA

Replace historic tile roof with alternate roofing material.

2022-COA-447 (IURS) 39 JACKSON PLACE continue to March 6, 2024

AMENDMENT 1 MICHAEL EICHENAUER for DMD

Amend approved plans: expand the use of brick from gutters to the full width of the parallel parking lane.

2023-COA-251 (FP) 529 FLETCHER AVE. continue to March 6, 2024

KIM COOK

Retain deck extension and fence in side yard constructed without approval.

2024-COA-002 (MCD) & 2024-VHP-001 38 E. WASHINGTON ST. continue to March 6, 2024

MAMADOU (BEN) DIALLO

Construct 3rd-story addition; replace front façade with new design; and a Variance of Use to reduce the required number of residential units from 5 to 2 in the CBD-1 district.

Motion: AL

2nd: MB

Unanimously approved: WB, DB, AK, AL, SW, MB

VI. EXPEDITED CASES

2024-COA-003 (CAMA)

626 E. ARCH ST.

SARAH HILL

Construct rear addition and 2-story garage; add window on west elevation of existing house.

Motion: AL

2nd: SW

Unanimously Approved: WB, DB, AK, AL, SW, MB

VII. APPLICATIONS TO BE HEARD (CONTINUED)

NONE

VIII. APPLICATIONS TO BE HEARD (NEW)

2023-COA-518 (HMP)

1724 N. NEW JERSEY ST.

JASON WOLFE

Construct 2-story, single-family house and 3-car garage with connector/breezeway.

Jason Wolfe (JW) 1617 Cornell Ave.:

To begin we have an updated version of the design that we want to show. A lot of it is mainly material changes. Nothing has changed as it pertains to the site.

WB: Anyone wishing to speak in support/remonstrance. Ok Dean we are ready for staff comments.

DK: Jason did a really good job in presenting the project. This is a great example of when an applicant and the neighborhood work together with staff. I can answer any questions.

DB: We were presented with 2 alternative versions of the front façade. Are we still looking at 2 or are you set on 1?

JW: I think that we are set on the one that is being presented today.

AK: I think the changes that have been made up until today are appreciated. I think this is a good design.

MB: I think it is a pretty bold design. I do think as it was originally presented it was probably too modern to fit within the historic character of the neighborhood. I am glad to see the metal siding change to lap siding. I am less friendly towards the flat porch, but I can be persuaded perhaps. The thing I was going to mention was the material of the chimney and it not being a material that is intuitively fireproof in its appearance.

JW: I think we are open to switching that to probably brick making the most since. Mainly it was the cost of having a mason on this project.

WB: I would like to comment that I think the third design is the better design. I would ask if there were an option if you do not want the cost of the mason is to maybe go to a metal option. The one thing on the front elevation that continues to bother me are the two square windows. It felt like what you did with these windows in the second design might work better with this design.

WB: So, I guess the question for the commission is do we want to move towards an approval or a continuance. Meg we are ready for staff recommendations.

Meg: I just want to point out that the applicant and all the commissioners should have a copy of the alternate recommendation that is in your packet. The applicant has had a chance to look at it. (Reads staff recommendation).

WB: I will take a motion for the staff recommendation as read.

SW: Before I can vote I need to know if the connector is going to stay as is.

WB: I think you were willing to look at something that is not solid and a little more transparent.

JW: Yes, I think we can look at some options.

WB: Just make sure that you work with the staff on the chimney and the breezeway. If the staff feels there is a problem, we can bring it back under old business.

Motion to approve: DB

2nd: AL

Unanimous Approval: WB, DB, AK, AL, SW, MB

2023-COA-531 & 2023-VHP-009 (CH)

1323 POLK ST.

MARK CROUCH

Construct addition and second floor on existing garage for living space; Variance of Development Standards to exceed the maximum square footage of an allowed secondary dwelling unit.

Mark Crouch (MC) 124 E. Pleasant Run Pk. Rd.

The case before you today is for reconstructing a garage into a carriage house. The owner is downsizing her life. She currently lives in the primary structure; she will be living in the new structure. The variance that goes along with it is due to a compromise with the neighborhood. Originally it would have been a 4-car garage, they did not want the additional garage bay to the back so that increased the square footage which then became a need for the variance. The variance does not apply to the scale of the building it just adds because of the garage space.

WB: Anyone wishing to speak in remonstrance/support of this application? Ok Emily we are ready for staff comments.

EJ: First I would like to thank the applicant and the owner for working with us and the neighborhood and coming up with a solution that seemed workable. What's driving the variance is the living space on the first floor. The neighborhood and staff were not comfortable with a 4-car garage. I can answer any questions.

DB: I think the proportions on the front façade could be improved slightly if the two first floor windows were just closer together and maybe a little taller. I would suggest that you experiment with that. I am not suggesting a stipulation, I just think the proportions would be a little bit improved if you moved it around a little bit.

AK: There is a little discrepancy between the south elevation and the site plan. There is a 42 ft driveway that connects to the alley. The elevation shows landscaping north of that garage door, which is the true design?

MC: We will not be needing that apron so I would be willing to take it down to what it should have been 16-17 ft would be appropriate.

AK: The east elevation I believe it is which is the side that is street facing. I feel like there should be an entry facing this street façade. I am ok with the size as they are, but those 3 things I would need a resolution on.

MC: Certainly, on the landscaping that is something that I missed, and it should be changed. I think bringing those windows in and making them larger will be a good idea. Emily had brought up do we do a door on the front or do we do a door on the side. So, the thought was we would do the door and the porch on the side. It could still happen.

AK: If that is a permanent dwelling, I have to stick to the idea we should have a street facing entrance.

EJ: My original thought was we should have a door on the front, there were two reasons that ultimately suggested that we leave it on the side. That is that high foundation, but mostly because the nearby cottages do not have a front entrance. There is no door visible from the front.

AK: I feel like the opportunity is there for a front entrance. Obviously, it would make the structure a little bigger, but I think ultimately it would make it more compatible with the neighborhood.

WB: I guess the question for the applicant is, is the back mass able to be widened enough to get a door facing the street in it?

MC: It would be more consistent to bring that in. Everything is possible.

WB: Do you think that is a reasonable thing to work with staff on?

Shekimah Moore (SM) 1323 Polk St.: The reason we didn't do a door on that front façade is because that is the existing garage. That would not lead you into the actual new dwelling.

WB: Can you put the door in the back mass and not the front garage?

SM: Yes, that is possible.

WB: If you are comfortable with that I could work with staff, I think that might be better if we could do that. Other questions from the commission. Ok Meg I think we can approve this and if there is a problem we can come back under old business.

Meg: Just as a reminder I am going to ask you to take two votes one for COA and one for the Variance.

Motion: SW

2nd: MB

Unanimous Approval: WB, DB, AK, SW, AL, MB

Variance

Motion: SW

2nd: MB

Unanimous Approval: WB, DB, AK, SW, AL, MB

IX. PRELIMINARY REVIEW

NONE

X. APPLICATIONS TO BE HEARD – WORK STARTED WITHOUT APPROVAL

2023-COA-506 (ONS)

1201 N. DELAWARE ST.

MIKE LYNCH & JAMEY SMITH

Retain cameras and non-matching siding and cornice wrap installed without approval.

Mike Lynch (ML) 1201 N. Delaware St.: Mr. Smith is our contractor he did the roof work. He texted me after the meeting had started and stated that he had some transportation issues and was not going to make it. I came this evening to address any questions or concerns specifically related to the security cameras because I have no knowledge of any of the other work. To address the security camera issue, when we purchased the property in 2016 at that time there were 4 existing cameras on the property. We replaced the cameras but used the existing penetration and did not have any exposed conduit. In 2021 we asked staff to add 4 additional cameras on each corner of the building. Staff gave approval with some stipulations. When our contractor installed those, we had some exposed conduit. So, when that was pointed out to us, we corrected it. The only thing that I want to make sure is clear, the two cameras on the front corners of Delaware St. just above the cornice. There is a steel column there that upon review the contractor could not penetrate the building. There is some exposed conduit there, but it is not visible to the street. I can answer any questions.

WB: Anyone speaking in support or remonstrance? I think we have a different situation because the issue that we wanted to address is not able to be here this evening. So, I do not know if we want to split this to a Part A and B. I assume we are going to continue Part B. I think we are going to approve Part A.

Meg: Reads Part A staff recommendation to approve the security cameras as installed

Motion: AL

2nd: AK

Unanimous Approval: WB, DB, AK, SW, AL, MB

Continue Part B (retain non-matching siding and cornice warp installed without approval)

Motion: MB

2nd: DB

Unanimous Approval: WB, DB, AK, AL, SW, MB

2023-COA-519 (ONS)

225 E. 13th ST.

MELISSA LARCOM

Retain privacy fence installed without approval.

Melissa Larcom (ML) 225 E. 13th St.:

We have been before the commission previously speaking in remonstrance and support of different projects. When we purchased our house, the fence was stable, but we knew it would have to be replaced eventually. We assumed that replacing like for like would be our best course of action. We had the fence contractor come out and we signed off on the project. I then said I need my COA. Some holidays passed and we did not reach clarity that this was not acceptable and what would be acceptable until the day the contractor showed up. I expressed to **SL** that we had already installed the fence. We did not realize it was not historically appropriate.

WB: Anyone speaking in support or remonstrance?

SL: Reads staff recommendation.

SW: I am curious, the original fence had to probably be approved under our commission? **ONS** has been a historic district forever.

SL: The only fence that I could find was a dogeared fence but there were no pictures attached.

MB: I appreciate the applicant for being transparent. I have to say I do not find it appropriate, and I would have a problem with setting a precedence of approving it.

DB: I agree with **MB**. I think the only way I could consider approving it is with a Certificate of Authorization rather than calling it appropriate. And the only reason I can say that is because it mimics the fence that had already been there so long. It does not suggest that I have found a new love for shadow box fences.

WB: Any other comments from the commission or the applicant? Ok Meg lets try the Certificate of Authorization to see if we can get enough votes.

Motion: AL

2nd: SW

Unanimous Approval: WB, DB, AK, AL, SW, MB

XI. CLOSING BUSINESS

NONE

XII. ADJOURNMENT 6:45 PM



Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date:	March 6, 2024
Case Type:	Continued Case
Continued From:	February 2, 2022; August 3, 2022; February 1, 2023; March 1, 2023; July 5, 2023; December 6, 2023
Case Number:	2021-COA-583B (CAMA)
Property Address:	863 Massachusetts Avenue
Historic Area:	Chatham-Arch/Massachusetts Avenue
Township:	Center
Council District:	17
Applicant:	Anne Schneider with RATIO Architects
Owner:	Marion County Board of Commissioners, Center Township Trustee
Request:	Construct a rooftop addition and deck.
Staff Recommendation:	CONTINUE with new notice
Staff Reviewer:	Shelbi Long

BACKGROUND OF PROPERTY

At the February 2022 IHPC hearing the Commission reviewed request 2021-COA-583 to demolish a historic addition and non-historic accessory structure, remove a canopy, construct rooftop addition and deck, elevator shaft extension, rooftop access point and a vestibule, to alter the non-historic storefront, install new/alter openings, new mechanical equipment, and to clean the masonry. At the time of that review the plans for the rooftop addition and deck were still in the conceptual stage. The rest of the proposed work was approved, and the rooftop addition and deck proposal was split into a Part B and was continued.

REQUEST

HISTORIC AREA PLAN RECOMMENDATION

STAFF RECOMMENDATION

A structural assessment of the building has been completed, and it has been determined that a rooftop addition is feasible. A tenant for the proposed space has not yet been acquired but the owner has stated there are interested parties that they are in discussions with.

Given that there hasn't been progress on this project for some time, the owner/applicant are attending the hearing to answer any questions the Commission may have on the status of the project. The applicant and owner believe they will have plan ready to review by June 2024. Staff supports another continuance

to the June 5, 2024 IHPC hearing, with new notice, for additional time for the finalized proposal to be prepared.

STAFF RECOMMENDED MOTION

To continue to the June 5, 2024 IHPC hearing, with new notice.

EXHIBITS



Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date: March 6, 2024
Case Type: Work Started Without Approval
July 18, 2023, IHPC Administrative Hearing
September 6, 2023, Commission Hearing
October 4, 2023, Commission Hearing
Continued From: November 1, 2023, Commission Hearing
December 6, 2023, Commission Hearing
January 3, 2024, Commission Hearing
February 7, 2024, Commission Hearing
Case Number: 2023-COA-251 (FP)
Property Address: 529 Fletcher Ave.
Historic Area: Fletcher Place
Township: Center
Council District: 16
Applicant: Kim Cook
Owner: Kim Cook
Request: Retain deck extension and fence in side yard constructed without approval.
Staff Recommendation: CONTINUE
Staff Reviewer: Dean Kessler

BACKGROUND OF PROPERTY

REQUEST

HISTORIC AREA PLAN RECOMMENDATION

STAFF RECOMMENDATION

The case was docketed for the September 6, 2023, IHPC Commission hearing. The case was continued to the October 4, 2023, IHPC hearing for the following reasons: Staff received a public records request from a remonstrator; the neighborhood organization contacted Staff with questions about the case and procedure; and Kim Cook, the property owner, notified Staff that she would be out of town on September 6 and not able to attend the public hearing.

On Monday, September 18, 2023, Staff received the 57-page document from the remonstrators. This document was not received in time for Staff to fully review it and update the staff report for the Commission's review of the case at the October 4, 2023, IHPC hearing. Therefore, the case was continued to the November 1, 2023, IHPC Commission hearing.

The case was heard and discussed by the Commission at the November 1 hearing. The Commission then continued the case to the December 6, 2023, Commission Hearing and requested that the applicant/owners, the remonstrators and Staff meet to discuss a possible compromise – such as installing additional screening. The IHPC staff reached out to both the applicants/owners and the remonstrators to coordinate an on-site meeting. The applicants/owners and remonstrators said they are willing to meet with Staff on site. The applicants/owners have also enlisted the help of an attorney. They told Staff that they would reach out to schedule a meeting with Staff and the remonstrators when their attorney has had enough time to research and review the case.

The case was continued to the January 2, 2024, Commission hearing, because a meeting for all parties had not been scheduled by the time of the December 6 hearing. A tentative meeting was scheduled for Thursday, December 7, because the applicant's/owner's attorneys, the IHPC staff and Indiana Landmarks staff all indicated that they were available to meet. The meeting was declined by the remonstrators, though, because they told Administrator Busch that they were unable to attend. The remonstrators also told Staff that they wanted to set up a private meeting with the Cooks (owners/applicants) before the IHPC and Landmarks staff meet with them. At the time the January Staff report was written, the IHPC staff was unaware of any such meeting happening, nor had the IHPC staff been contacted by the Cooks or the remonstrators with updates regarding any work toward a resolution. Therefore, Staff recommended a continuance to the February 7, 2024, hearing.

After the January hearing, Staff had been in communication with one of the Cooks' attorneys. On January 5, 2024, Staff was informed by the attorney that he had met with the remonstrators on December 12, 2023, to discuss a possible screening method and "settlement/compromise." Also on January 5, Staff responded to the Cooks, their attorneys, the remonstrators and Indiana Landmarks staff that a meeting with the IHPC staff was required to discuss the resolution. A firm deadline date of Friday, January 19, for the meeting was given by Staff, so that an updated Staff report could be written in time for the February 7, 2024, Commission hearing. A meeting had not yet been scheduled by Tuesday, January 16, so a reminder was sent that day by Staff. Staff did not receive a response until Friday, January 19. The response Staff received from the Cooks' attorney said:

I wanted to update you on the status of the settlement discussions. We are still working back-and-forth and understand that we will be continued again. Our hope is to have an answer one way or the other as to the settlement pieces so that we can meet with staff and landmarks and be ready to go for the meeting in March.

Therefore, at the February 7, 2024, hearing, the Commission granted a continuance to the March 6, 2024, IHPC Commission Hearing.

Since the February 7 hearing, Staff has been in communication with both Kim and Dan Cook, the owners. They have requested a continuance to the April 3, 2024, Commission hearing to discuss whether they would like to remove the deck extension, or if they would like to remove the entire deck – both the 2021 deck extension and the original deck, approved and installed in 2007.

STAFF RECOMMENDED MOTION

Staff recommends a continuance to the April 3, 2024, IHPC Commission hearing.

EXHIBITS



Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date:	March 6, 2024
Case Type:	Work Started Without Approval
Continued From:	
Case Number:	2024-COA-031 (NA) & 2024-VHP-002
Property Address:	7301 & 7307 Dobson Street
Historic Area:	New Augusta
Township:	
Council District:	
Applicant:	Russell Brown
Owner:	Lemlan, LLC
Request:	Construct parking lot across two parcels, a Variance of Use to permit a commercial parking lot in D3 and a Variance of Development Standards to allow the use of gravel as a permanent parking surface
Staff Recommendation:	CONTINUE
Staff Reviewer:	Shelbi Long

BACKGROUND OF PROPERTY

REQUEST

The applicant is requesting a continuance to the April 2024 IHPC hearing to allow for additional time to discuss the project with the neighborhood.

HISTORIC AREA PLAN RECOMMENDATION

STAFF RECOMMENDATION

STAFF RECOMMENDED MOTION

COA #2024-COA-031 (NA)

To continue to the April 3, 2024 IHPC Hearing.

EXHIBITS

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Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date:	March 6, 2024
Case Type:	Expedited
Continued From:	
Case Number:	2024-COA-001 & 2024-VHP-003
Property Address:	1235 N. Alabama Street
Historic Area:	Old Northside
Township:	Center
Council District:	13
Applicant:	Joseph Lese
Owner:	Tab & Randy Pulliam
Request:	Demolish non-historic garage; construct carriage house; Variance of Development Standards to exceed the maximum square footage of an allowed secondary dwelling unit.
Staff Recommendation:	APPROVAL
Staff Reviewer:	Emily Jarzen

BACKGROUND OF PROPERTY

This frame Queen Anne residence was built ca. 1899. The house has a complex roof form. There is a first floor porch and a second floor balcony. It has a two-story bay on the front façade. The existing detached garage was approved in 1995.

REQUEST

The application includes demolition of the existing, non-historic detached garage, and construction of a carriage house with living space. The proposed new construction is a 4-car carriage house. On the alley façade it has two single overhead garage doors, and one double overhead garage door. The siding is a mixture of lap and vertical board and batten. Facing the interior of the property (west elevation) is another overhead door, and a second floor balcony. The proposed windows are multi-light double-hungs.

The maximum square footage of an allowed secondary dwelling unit is 720 sf. The proposed living space is 968 sf, and therefore a variance of development standards is required.

HISTORIC AREA PLAN RECOMMENDATION

The Old Northside Plan states the following about demolition:

- *The Commission should consider whether the building or structure is of historical or architectural significance or displays a quality of material and craftsmanship that does not exist in other structures in the area.*
- *The Commission should consider whether the building or structure contributes to the historic character of the Old Northside and to the historic character of its immediate environment (i.e. street, alley, property, etc.).*
- *The Commission should consider whether, if the building or structure were demolished, it could be replaced by an existing building of similar age, architectural style, and scale or by a new building which would have the same relationships to the area as did the former building or structure.*

The Plan states the following about new construction:

- *New construction can and should relate to the historical quality of the area through similar use of form, texture, materials, color, etc.*
- *Any new construction must reflect the traditional location and relationship of buildings on their sites in the Old Northside.*
- *New construction must pay deference to several standards of scale in order to maintain the district's personal qualities. Overall building height and massing; primary building to secondary building ..."*

STAFF RECOMMENDATION

Staff is recommending approval of the application. While the carriage house is large, so is the primary structure. As well, there are numerous large historic and non-historic carriage houses in the vicinity. The proposed square footage is on par with many newer carriage houses built before the 720 square foot rule was imposed. IHPC approved those due to the still accessory nature on a lot with a large historic house.

STAFF RECOMMENDED MOTION

COA #2024-COA-001 (ONS):

To approve a Certificate of Appropriateness to demolish the non-historic garage and construct a carriage house with living space, and for a Variance of Development Standards, as per submitted documentation and subject to the following stipulations:

DBNS: Stipulations 1, 2, and 3 must be completed prior to the issuance of any building permits.

1. Final construction drawings shall be approved by staff prior to commencement of work. *Approved: _____ Date: _____*
2. A pre-construction meeting with IHPC staff, the owner, and the contractor/construction manager must be held prior to commencement of construction. *Approved: _____ Date: _____*
3. Construction site must be field-staked, with no offsets, and reviewed by IHPC staff prior to commencement of work. *Approved: _____ Date: _____*
4. Any change to the design or scope of work must be approved by IHPC staff prior to commencement of work.
5. New siding and trim must be smooth finish fiber-cement or wood.
6. Boxed soffits (“bird boxes”) are not permitted. Rafter tails may be left exposed or sheathed with sloping soffit board parallel to pitch of roof.
7. Work on exterior finishes and details must not commence prior to the approval by IHPC staff of each. These may include, but are not limited to: doors, windows, foundations, exterior light fixtures, railings, roof shingles, etc.
8. Any muntins must be true or simulated divided light. No internal grids permitted.
9. Any changes to the proposed design must be approved by IHPC staff prior to commencement of work.

NOTE: Owner is responsible for complying with all applicable codes.

2024-VHP-001:

To approve a Variance of Development Standards to exceed the maximum square footage of an allowed secondary dwelling unit.

EXHIBITS



Location of subject property



Subject property

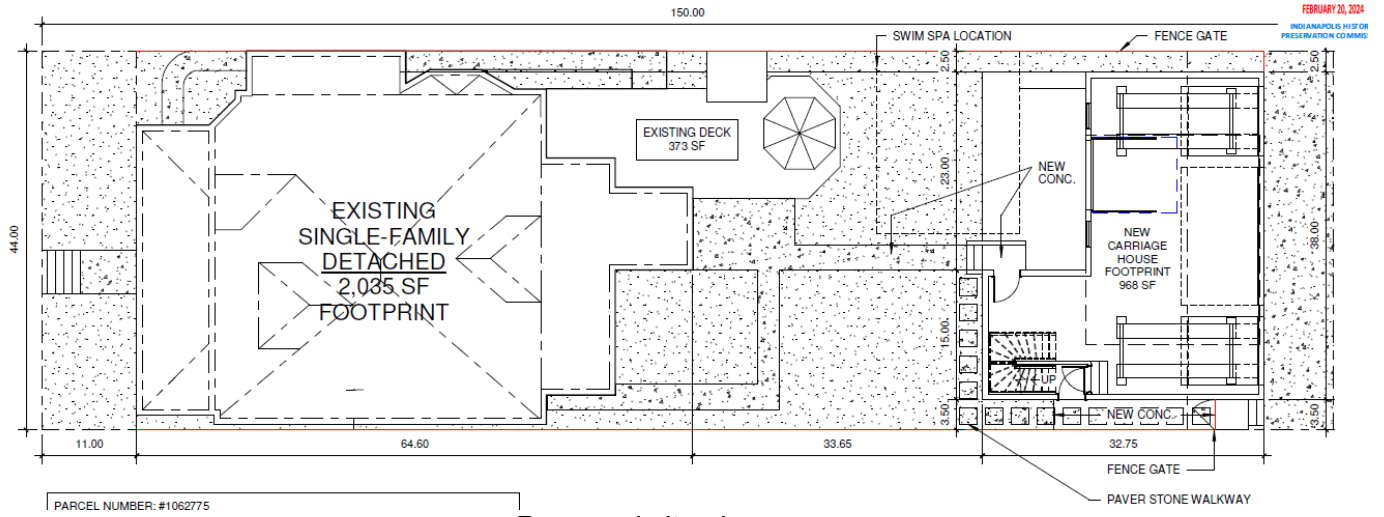


Existing garage

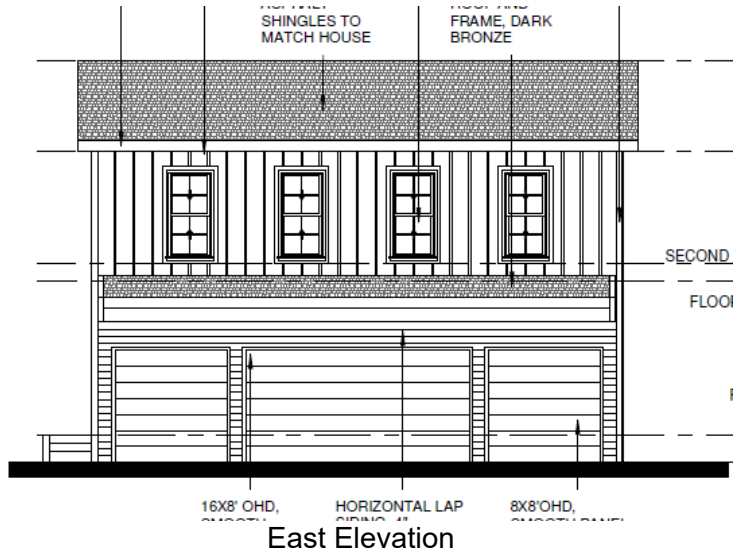
Surrounding alley context



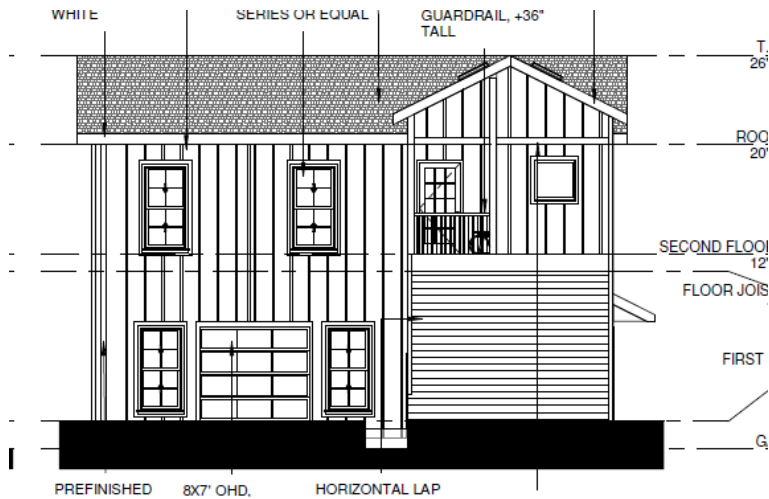
Project plans (additional drawings in submittal packet)



Proposed site plan



East Elevation



West Elevation



Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date: March 6, 2024
Case Type: Expedited
Continued From:
Case Number: 2024-COA-005 (WP)
Property Address: 578 WOODRUFF PL. MIDDLE DR.
Historic Area: Woodruff Place
Township: Center
Council District: 13
Applicant: Tammy Rice
Owner: M. Craig Bowen & Jacob R. Miller
Request: Amend previously approved 2020-COA-023 (WP) to demolish historic detached garage and construct new detached garage.
Staff Recommendation: APPROVAL
Staff Reviewer: Dean Kessler

BACKGROUND OF PROPERTY

The subject property contains a large, historic, two-story, Shingle-style house that was most likely constructed in the 1890s during Woodruff Place's construction boom. The house contains several architectural details that are common to Shingle-style architecture, such as: a hipped roof with asymmetrical cross gable arrangements; an asymmetrically-formed body; simple trim design around the windows; bay windows – located on the front (east) and south façades; slender, unadorned porch posts; large, Syrian arches on the front porch; and variations of shingle siding under the house's gables, on the highly-decorative front dormer and on the frame, Romanesque-like, front porch. The house appears to retain much of its historic fabric, that includes: front door, siding, trim, windows and general form.

In March of 2020, the Commission approved a request from the same owners to demolish the historic, detached garage and construct a 2-story carriage house with 3-car garage. The project was not completed due to construction costs.

REQUEST

Demolition of Existing Garage

The existing, historic, one-story, hipped-roof garage was most likely constructed in the 1930s. It does appear as an edit on the 1915 Sanborn Map. The garage has a concrete-slab foundation, asphalt shingle roof and historic, wood, lap siding. Two, non-historic, raised-panel, metal, overhead garage doors are located on the alley (west) side of the garage. The north and south elevations of the garage are nearly identical. Both contain two, symmetrically-arranged, window openings, that flank the central portion of each exterior wall. Historic, 6-lite, wood, casement-like windows are located in the openings on the south side. The original windows are missing

from the openings on north elevation. Wooden louvers have been installed to cover those openings. The east elevation of the garage is arranged symmetrically, with a short, historic, 5-panel, wood door in the center that is flanked by historic, 6-lite, wood casement-like windows.

In 2020, the owners' Indiana-licensed architect assessed the condition of the garage and developed a detailed written report (included toward the end of this report) and a notated photographic report (included in the Commissioners' packets). The following is a summary of the architect's 2020 report:

Foundation:

- Cracks exist in most of the poured concrete walls – indicative of movement.
- Spalling can be found on the outer side of the foundation walls – evidence of water infiltration.
- Footer depth has not been verified, but movement and spalling indicate that it is unlikely to meet today's code standards of 30" below grade.

Exterior Walls:

- Headers over overhead garage doors do not properly support weight of roof above.
- Service/man door is too short at only 6-feet tall and cannot be increased in height due to short exterior wall height.
- Structural walls out of plumb due to foundation movement and failing roof structure.
- No structural wall sheathing exists.
- Historic siding experiencing severe rot due to water infiltration and grade not below sill plate line.
- Siding missing or cracked due to wall movement.
- Sill plates breaking away from foundation and no evidence of anchor bolts.
- Building code prohibits structural walls from being rebuilt on existing foundation if foundation is not to code, without foundation first being brought up to code.

Roof:

- Roof is sagging and adding extra pressure on exterior walls due to multiple failures in roof framing.
- Rafters and hip beams are cracked and have lost structural integrity.
- Severe rot is evident in decking and roof framing.
- Temporary wood shoring and rafter sistering are preventing roof from complete collapse.

New Detached Garage

The applicant and property owners are proposing to construct a simple, 1-story, frame, side-gabled, 2.5-car garage. The previous, 2020-approved, 3-car, carriage house was 34 feet in length. The proposed garage will be slightly smaller at 30-feet in length, oriented north-south, along the alley. A 2.5-car, overhead, garage door will be located off-center on the west (alley) elevation. Three, evenly-spaced openings will be located on the east elevation. A raised-panel man/service door will be located on the north one-third of the east elevation. One, salvaged, historic, 6-lite, fixed window will be located in both the middle and southern one-thirds of the east elevation. Another, salvaged, historic, 6-lite, fixed window will be located in the center of the south elevation. There will no openings on the north elevation. The garage will be clad in smooth, fiber-cement, trim and lap siding, with the siding having a 4-inch exposure. The roof will be covered in dimensional asphalt shingles to match the house.

HISTORIC AREA PLAN RECOMMENDATION

The Woodruff Place Historic Area Preservation Plan states the following recommendations:

The Criteria for Demolition in the Plan says:

The IHPC shall approve a Certificate of Appropriateness or Authorization for demolition as defined in this section only if it finds one or more of the following:

- 1. The structure poses an immediate and substantial threat to the public safety.*
- 2. The historic or architectural significance of the structure or part thereof is such that, in the Commission's opinion, it does not contribute to the historic character of the structure and the district, or the context thereof.*
- 3. The demolition is necessary to allow new development which, in the Commission's opinion, is of greater significance to the preservation of the district than is retention of the structure, or portion thereof, for which demolition is sought, and/or*
- 4. The structure or property cannot be put to any reasonable economically beneficial use for which it is or may be reasonably adapted without approval of demolition.*

The Plan goes on to state the following about Replacement:

Demolition of a structure may be justified when the proposed new development with which it will be replaced is of greater significance to the preservation of the site than retention of the existing structure, and this will only be the case when the structure to be demolished is not of material significance, the loss of the structure will have minimal effect on the historic character of the site and the new development will be compatible, appropriate and beneficial to the district.

The Design Guidelines say the following regarding new accessory buildings:

- 1. Accessory buildings should be located behind the existing historic building unless there is an historic precedent otherwise. Generally, accessory buildings should be of a secondary nature and garages should be oriented to alleys unless the home is located so that there is no alley access.*
- 2. The scale, height, size, and mass should relate to the existing building and not overpower it.*
- 3. Additions and accessory buildings should be discernable as a product of their own time.*

STAFF RECOMMENDATION

Demolition Request

Staff is recommending approval for the following reasons:

1. The garage's architectural significance and structural integrity has been mostly compromised.
2. While historic, the garage is not architecturally significant; it does not match the house in design; nor is it vital to the historic integrity of the property.
3. Most of the garage's historic materials would have to be replaced with new in order to correct the major structural defects – leaving very little, if any, historic fabric.
4. Building code also prohibits structural walls from being rebuilt on an existing foundation if it is not to code. The foundation would need to be brought up to code first.

New Detached Garage Request

Staff is recommending approval for the following reasons:

1. The new garage is located behind the main house, fronting the alley.
2. The large, 2-story house is still the dominant structure and is significantly larger than the proposed garage.

3. The proposed garage is in proportion to the main residence.
4. The use of alternative materials and simplified detailing are complementary to the historic house and signify the proposed garage as new construction.

STAFF RECOMMENDED MOTION

COA #2024-COA-005 (WP):

To approve a Certificate of Appropriateness to amend previously approved 2020-COA-023 (WP) to demolish historic detached garage and construct new detached garage; per the submitted documentation and subject to the following stipulations:

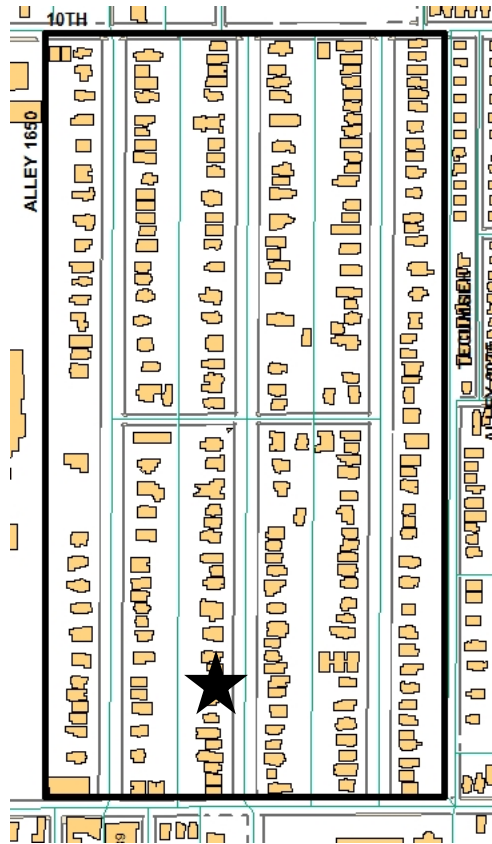
BNS: Stipulations number 1, 2, and 3 must be fulfilled prior to issuance of permits.

1. Final construction drawings shall be approved by staff prior to commencement of work.
Approved: _____ Date: _____
2. A pre-construction meeting with IHPC staff, the owner, and the contractor/construction manager must be held prior to commencement of construction. *Approved: _____ Date: _____*
3. Construction site must be field-staked, with no offsets, and reviewed by IHPC staff prior to commencement of work. *Approved: _____ Date: _____*
4. Siding and trim materials shall be wood or fiber cement and shall have a smooth texture free of major imperfections. Rough-sawn finishes are not permitted.
5. Boxed soffits (“bird boxes”) are not permitted. Rafter tails may be left exposed or sheathed with sloping soffit board parallel to pitch of roof.
6. Foundation shall be smooth concrete or finished with an approved masonry veneer. Stamped concrete is not permitted.
7. Work on exterior details must not commence prior to approval by IHPC staff of each, including exterior lighting, doors and windows.
8. All utility wires and cables must be located underground. No installation of utilities or meter and mechanical placement shall commence prior to IHPC staff approval.
9. Any changes to the approved scope or design shall be approved by IHPC staff prior to starting work.

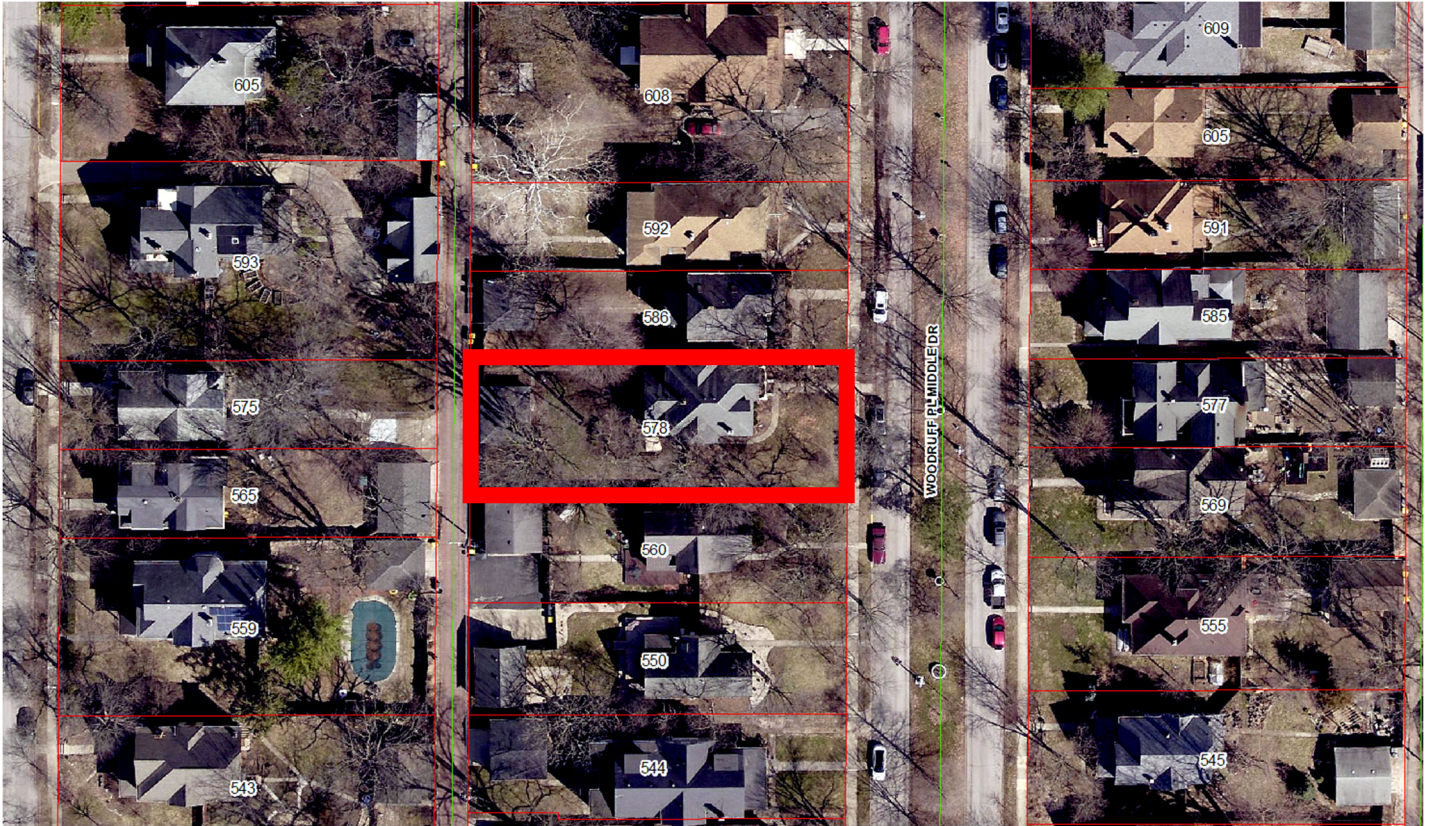
NOTE: Owner is responsible for complying with all applicable codes.

EXHIBITS

LOCATION OF SUBJECT PROPERTY IN WOODRUFF PLACE



Subject property is circled



Subject property is outlined.

PHOTOS OF SUBJECT PROPERTY



Front (east) façade of house

GARAGE TO BE DEMOLISHED



West (alley) façade



Notice bowing wall and foundation separation.



West (alley) façade



South and east façades



North and east façades



North and east façades. Walls are bowing and roof is falling.



Makeshift 2x4 supports holding up western roof slope



Missing windows on north elevation



Old car siding is being used as roof decking.



STRUCTURAL ASSESSMENT OF HISTORIC GARAGE

January 27, 2020

RE: 578 Woodruff Place Middle Drive - Existing Garage
Report and Estimate of Work

INDIANAPOLIS HISTORIC
PRESERVATION COMMISSION

Dear IHPC Staff and Commissioners,

Below is an evaluation of the existing garage located at 578 Woodruff Place Middle Drive. This evaluation is broken down into systems (foundation, framing, etc.) as well as an estimated cost of construction to repair the garage into a safe structure. This evaluation is solely an observation and objective review, and not a judgement of a resulting outcome. Please refer to photos submitted in the petition as reference.

The damage noted has not been core drilled or tested for termites or mold, but is a visual observation only.

FOUNDATIONS

The existing foundation of the garage shows deterioration due to its age and original construction quality.

Cracks exist in the poured foundation wall on the north, east, and south walls of the garage which is indicative of movement. The exterior face of the exposed foundation has internal aggregates exposed, indicative of freeze/thaw cycles and spalling/deterioration of the outside face of the foundation.

The depth of the existing foundation was not checked whether it extends to below frost line, which in this climate zone is 30" below grade minimum. However, given evidence of movement and spalling, it appears that it is unlikely the foundation extends to the proper depth.

Suitable rehabilitation is to first dig and view the bottom of the existing footing, as well as taking a core sample for depth and any reinforcing. Repairs would include underpinning to meet the frost depth, and replacement of damaged/cracked sections of foundation wall.

EXTERIOR STUD WALLS

The garage door headers do not meet today's code for minimum depth requirements. The man door is too short, less than 6 ft. tall.

Walls are out of plumb, which is being caused to some degree by the foundation wall movement, but to a greater degree the structural failures of the roof structure. The roof sagging is pushing the top of the walls outward.

Exterior wood siding is attached directly to the studs, with no sheathing or weather-resistant barrier. Cracked boards, missing boards, and substantial voids at joints are evident in the existing siding. Water intrusion and rot is evident along the wall height as well as the wall base where grade is not below the sill plate line. Also, there are no evidence of anchor bolts attaching the structure to the foundation. Some of the sill plates have broken away from damage.

Suitable rehabilitation would be, after the foundation walls are fixed and extend to the proper frost line,

would be to regrade surrounding earth below the sill plate, and slope away from the structure. Rotted sill plates and wall studs should be cut out and replaced, which to ensure structural integrity should be replaced in total due to the years of water damage evident. All siding and trim should be replaced with cedar to match profile and paint. Proper wall framing would include continuously-sheathed braced wall and portal frame wood construction with 7/16" OSB and a properly taped and sealed weather-resistant barrier. Garage door headers should be a suitable size to meet today's code. Anchor bolts should be embedded in suitable concrete a minimum of 7", with spacing at 32" on center. Either the site would need to be dug out to provide a code-compliant door stoop, or the entire wall panel height would need to be raised, in order to provide proper man door height and structural header above it.

ROOF

The roof structure has failed in multiple locations. Visible sagging from the exterior is present. From the interior, temporary wood shoring has been installed to prevent a total collapse. Roof deck boards show evidence of water intrusion and rot across 75% of the structure. Hip beams and rafters are cracked and have lost their structural integrity as a result. Improper sistering of rafters are evident as they do not extend the full length of the rafter, or do not extend a proper distance away from the failure.

Exterior fascia boards are stained and rotted in multiple locations.

Suitable rehabilitation would be to remove the roof structure entirely and, after the foundation and walls are fixed, to replace the roof structure in full. This would include new hip and ridge beams, collar ties, ceiling joists, hold-down straps, horizontal blocking, new 1/2" roof decking, roof felt, ice and water shields, vents, and shingles. New fascia boards are required. Because of this being a historic structure, gutters would not have historically been present but are highly recommended to route stormwater away from the foundation.

ELECTRICAL

Improper termination of wiring not in a junction box is evident. Exposed outlet boxes not in plastic housings exist.

Suitable rehabilitation would be a rewiring of outlets, lights, switches, and overhead door motors.

ARCHITECT'S ESTIMATED COST OF REPAIR

• Foundation walls and garage slab:	\$6,000
• Underpinning of foundations to proper depth	
• Removal and replacement of damaged sections	
• Removal and replacement of slab	
• Studs, siding, and sheathing:	\$8,000
• Removal and replacement of damaged sills	
• Removal and replacement of damaged studs	
• Removal and replacement of siding and trim	
• Roof structure, decking, and shingles	\$5,000
• Remove and replace electrical	\$1,500
• New overhead doors (recommended)	\$1,500
• Total cost of repairs	\$22,000

RECEIVED

JAN 30 2020

INDIANAPOLIS HIST
PRESERVATION COMM

Respectfully submitted,

Joseph Lese, AIA, NCARB, LEED® AP
Architect/Owner
Progress Studio, LLC

CONTEXT PHOTOS



3 Alley view facing north // Garage on right



1 Alley view facing north // Garage on right



1 Alley view facing south // N of subject property



4 Alley view facing south // N of subject property



1 Existing neighborhood carriage house // N of subject property



3 Existing neighborhood carriage house // N of subject property

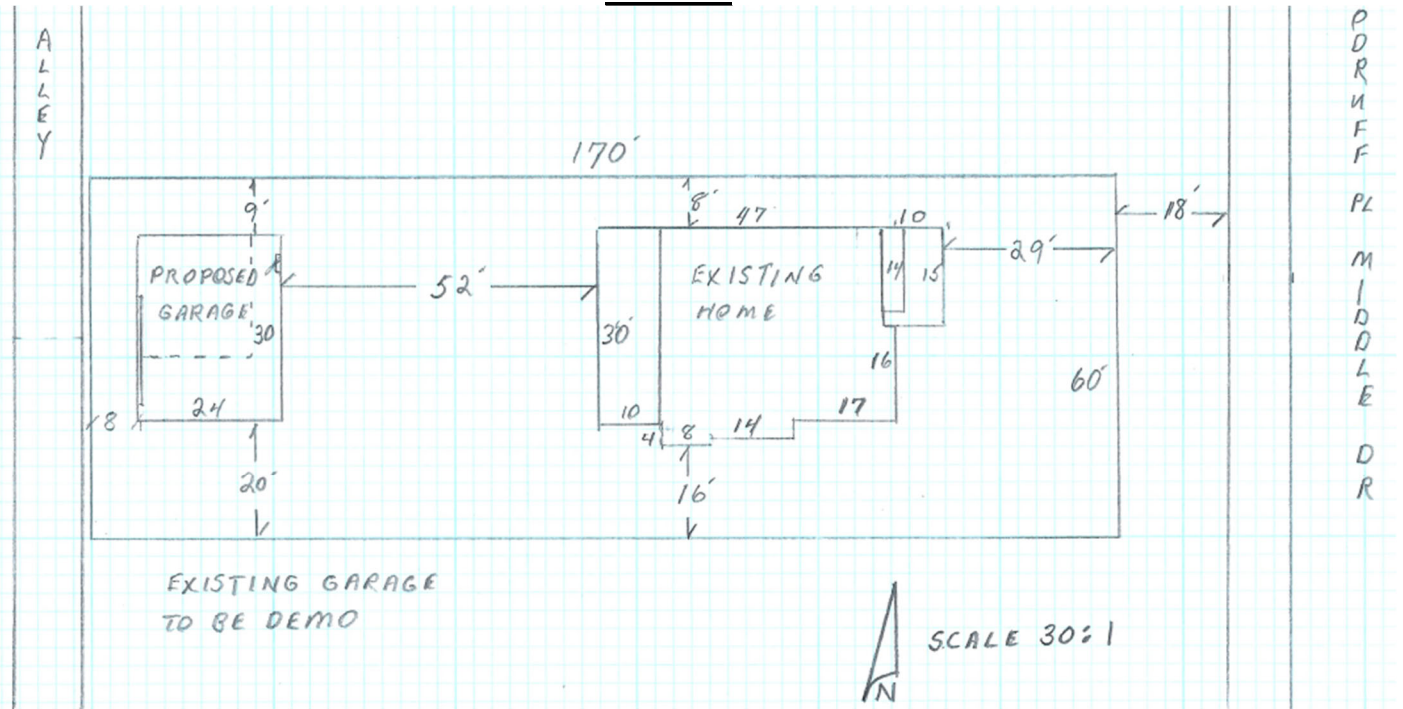


1 Existing house along alley // N of subject property

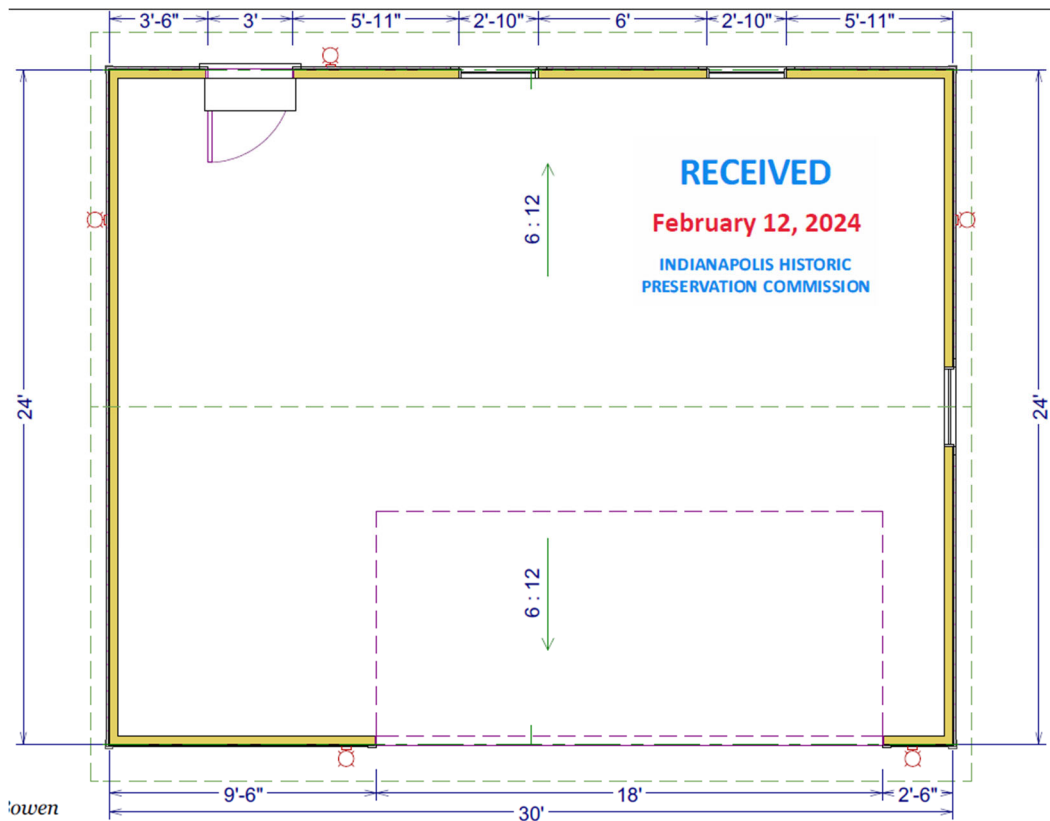


4 Existing carriage house // N of subject property

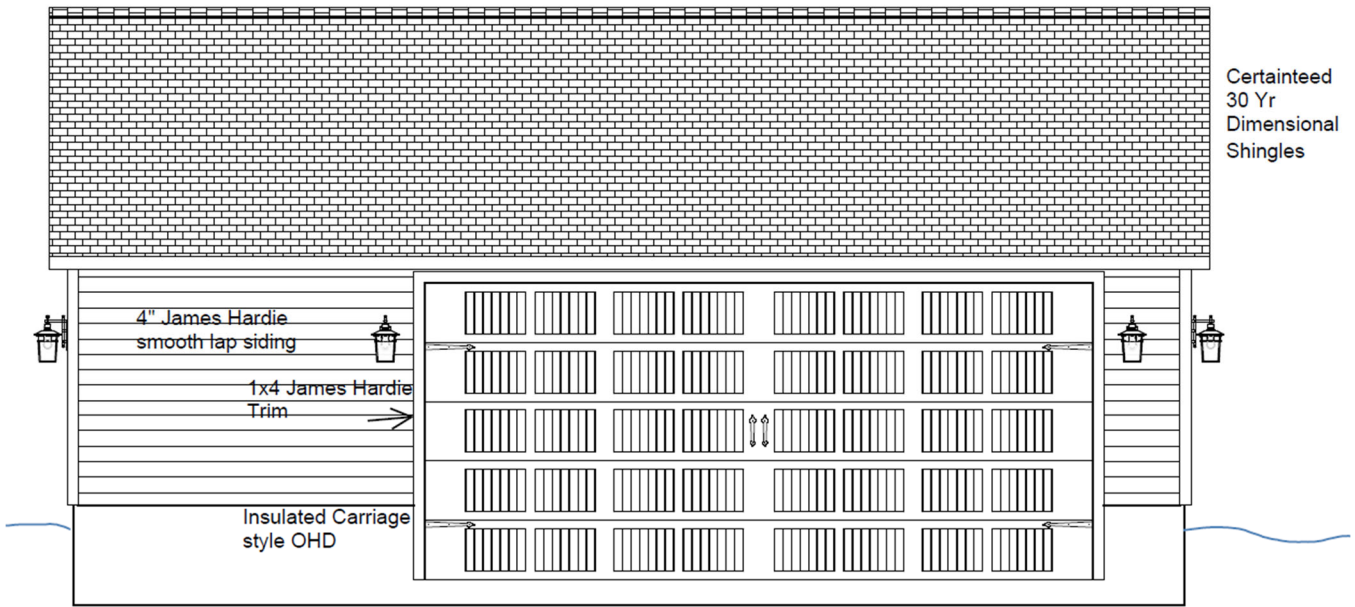
PLANS



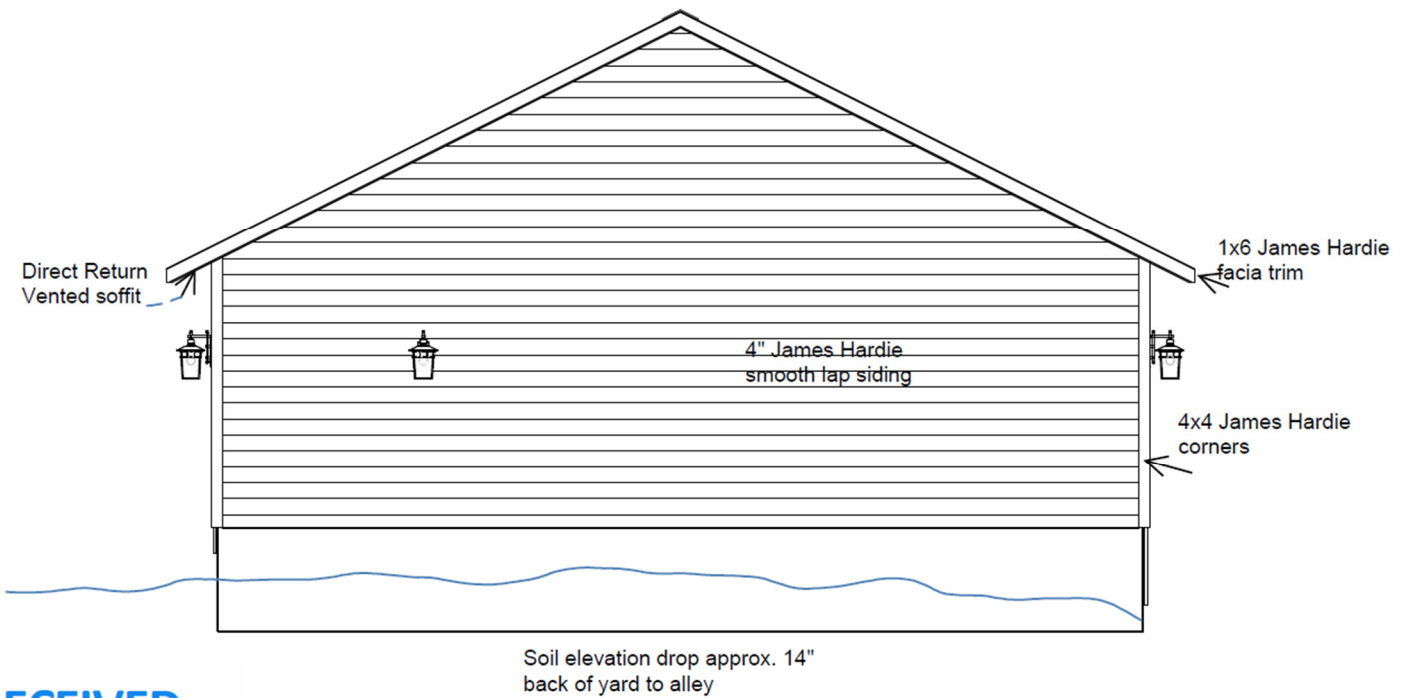
Site Plan



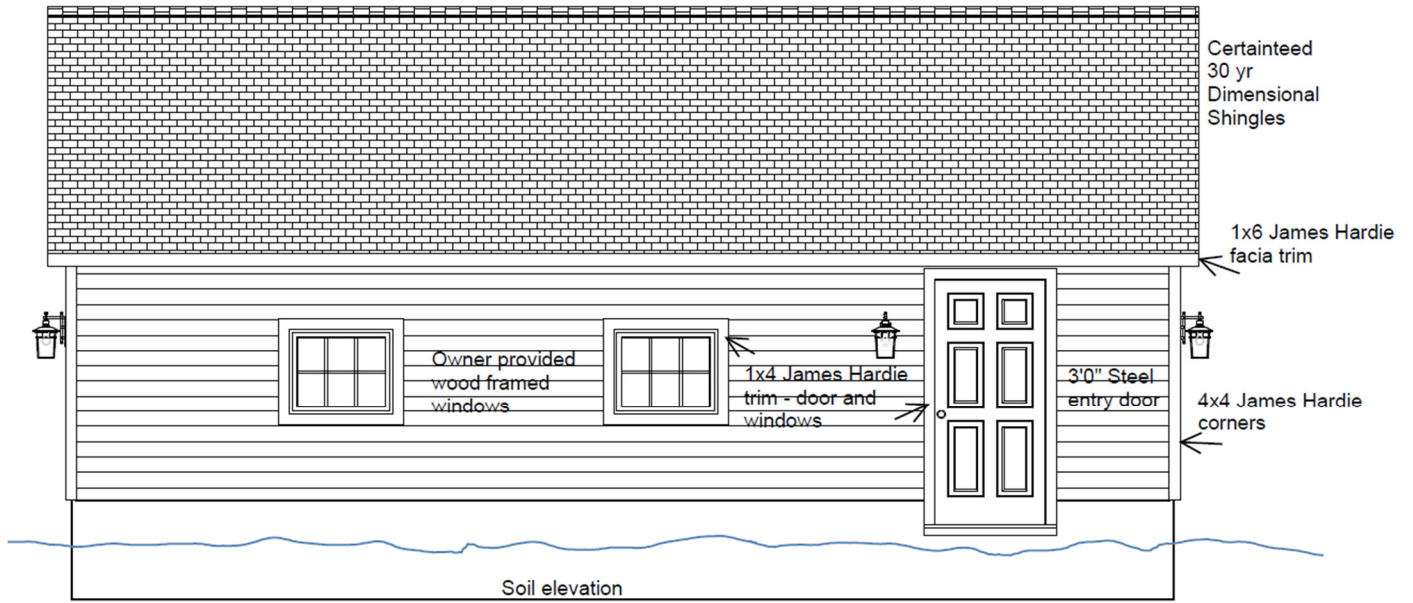
Floor Plan



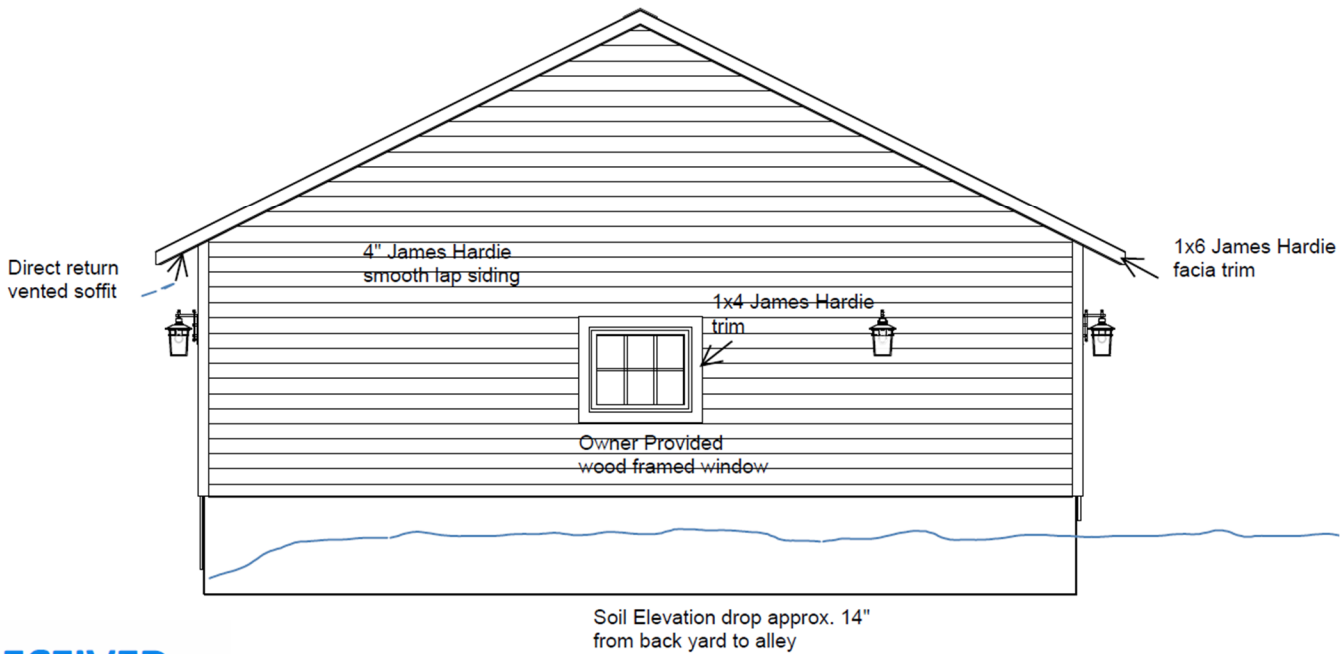
West (alley) Elevation: uneven, squiggly line represents finished grade.



North Elevation: uneven, squiggly line represents finished grade.



East Elevation: uneven, squiggly line represents finished grade.



South Elevation: uneven, squiggly line represents finished grade.



Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date:	March 6, 2024
Case Type:	Expedited Case
Continued From:	
Case Number:	2024-COA-018 (HMP)
Property Address:	414 East 17th Street
Historic Area:	Herron-Morton Place
Township:	Center
Council District:	13
Applicant:	Theodore Hampton
Owner:	Theodore and Casey Hampton
Request:	Construct east side addition to create attached garage
Staff Recommendation:	APPROVAL
Staff Reviewer:	Shelbi Long

BACKGROUND OF PROPERTY

The subject property is a two story, frame double that was constructed between 1887 and 1898. The double originally had a symmetrical footprint, but by 1915 an addition was constructed on the northeast corner of the structure, enlarging the eastern unit to the north and east. Likely at that time entry points into the building were created on the east side, underneath a cantilevered portion of the second floor. Those entries have since been enclosed, approved by the IHPC in 2016. Between 2016 and 2017 the property was converted to a single-family structure.

REQUEST

The applicant is requesting to construct a first floor addition on the east side of the historic structure, infilling the alcove created by the cantilevered portion of the second floor. This infill addition of 35 square feet would be for the creation of an attached garage. The historic structure takes up the majority of the lot, not leaving space for a detached accessory structure. The addition would be clad in wood siding and trim to match the existing building. The overhead garage door would be 14' wide to allow for enough space to turn into the garage from the alley/Peck Street.

HISTORIC AREA PLAN RECOMMENDATION

Herron-Morton Historic Area Plan – New Construction Guidelines: Additions

- Recommended

- Additions should be located away from the front façade and at the rear.
- The scale, height, size, and mass should relate to the existing building and not overpower it. The mass and form of the original building should be discernible, even after an addition has been constructed.
- Additions and accessory buildings should be discernible as a product of their own time.
- Not Recommended
 - Do not obscure significant architectural detailing with new additions.
 - Avoid additions which look as though they were a part of the original house. Additions should be differentiated from the original building.
 - Avoid additions near the front façade and at the side.
 - Avoid imitating historic styles and detail although they may be adapted and reflected.

STAFF RECOMMENDATION

Attached garages are in most cases not supported by staff or the Commission. However, due to the lot size and position of the historic structure a detached garage isn't feasible. The garage addition would be small and near the rear end of the side of the structure, making its visibility and overall impact minimal. Due to the unique conditions of the site and structure, staff is in support of this request.

STAFF RECOMMENDED MOTION

2024-COA-018 (HMP):

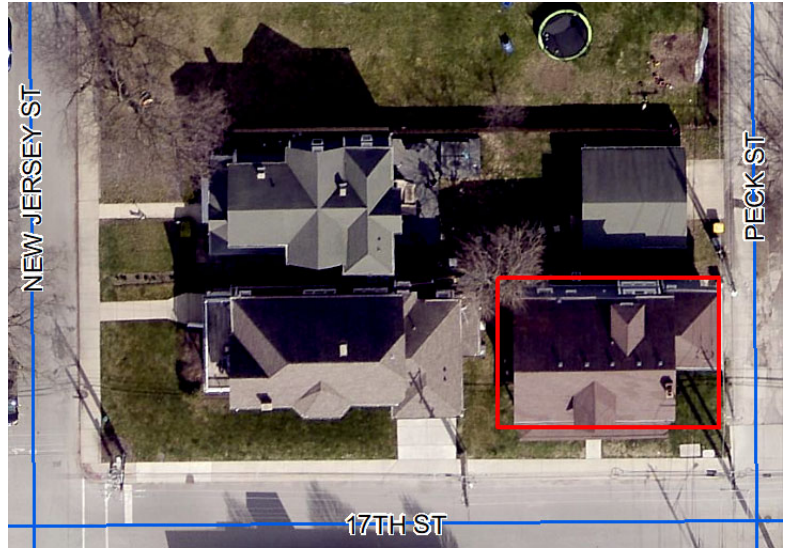
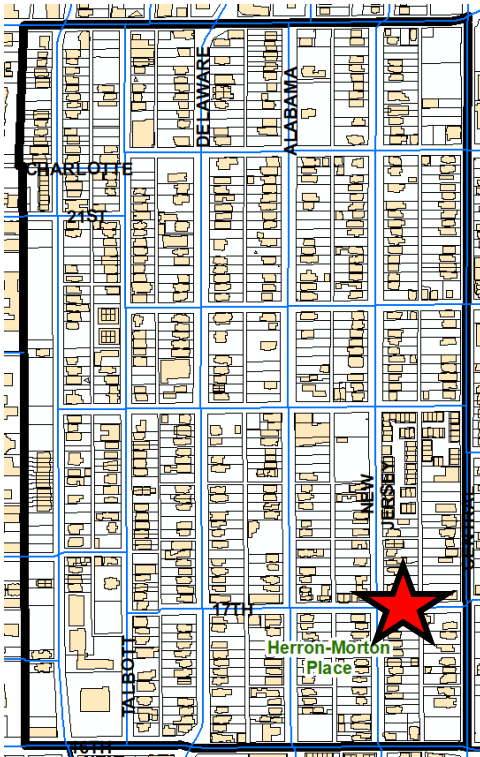
To approve a Certificate of Appropriateness to construct east side addition to create attached garage, per the submitted documentation and subject to the following stipulations:

DBNS: PERMITS MAY NOT BE ISSUED until stipulations number 1, 2, and 3 are fulfilled.

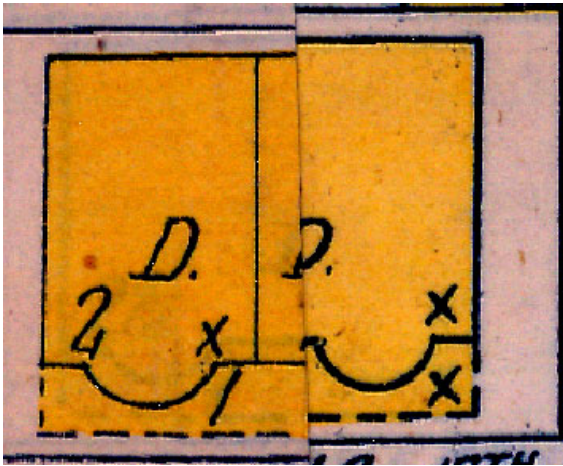
1. Construction must not commence prior to approval by the IHPC staff of final construction drawings.
Approved _____ Date _____
2. A pre-construction meeting with IHPC staff, the owner, and the contractor/construction manager must be held prior to the commencement of any construction. *Approved _____ Date _____*
3. The site shall be field staked with no offsets and approved by IHPC staff prior to construction.
Approved _____ Date _____
4. Trim and siding shall be wood or fiber-cement and shall have a smooth texture and be free of major imperfections. Rough-sawn finishes are not permitted. Siding reveal must match approved drawings.
5. Work on exterior finishes and details must not commence prior to the approval by IHPC staff of each. These may include, but are not limited to: doors, windows, foundations, exterior light fixtures, railings, roof shingles, etc.
6. Any changes to the proposed design must be approved by IHPC staff prior to commencement of work.

NOTE: Property owner is responsible for complying with all applicable codes.

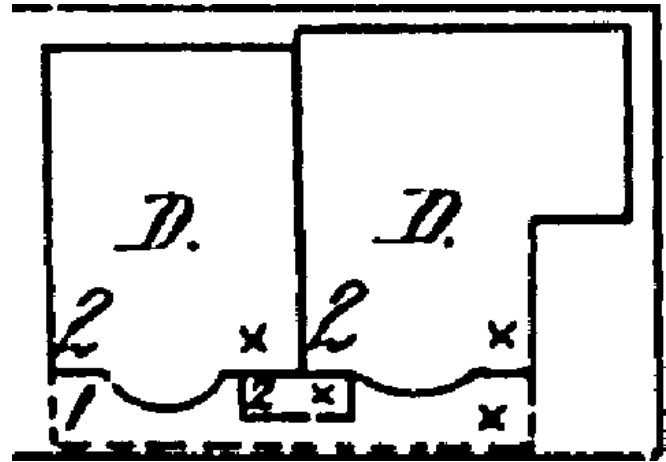
SUBJECT PROPERTY



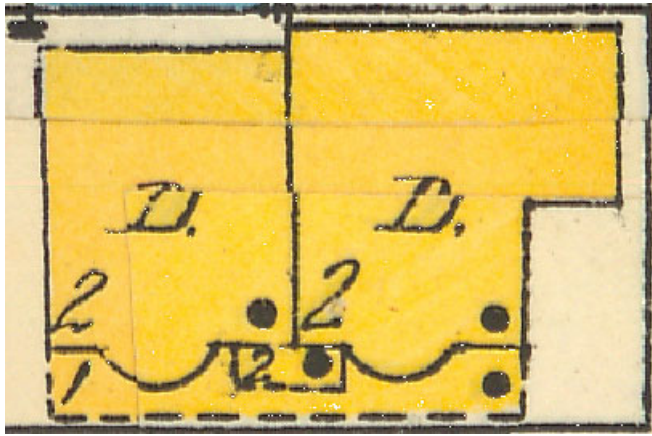
SANBORN MAPS



1898



1915



1915 revised



1956

SITE & CONTEXT



c.1986



2015



2017 (after doors were enclosed)



Existing front/south elevation



Existing east elevation – view from street



Existing conditions – the area on the east elevation to be altered into an attached garage

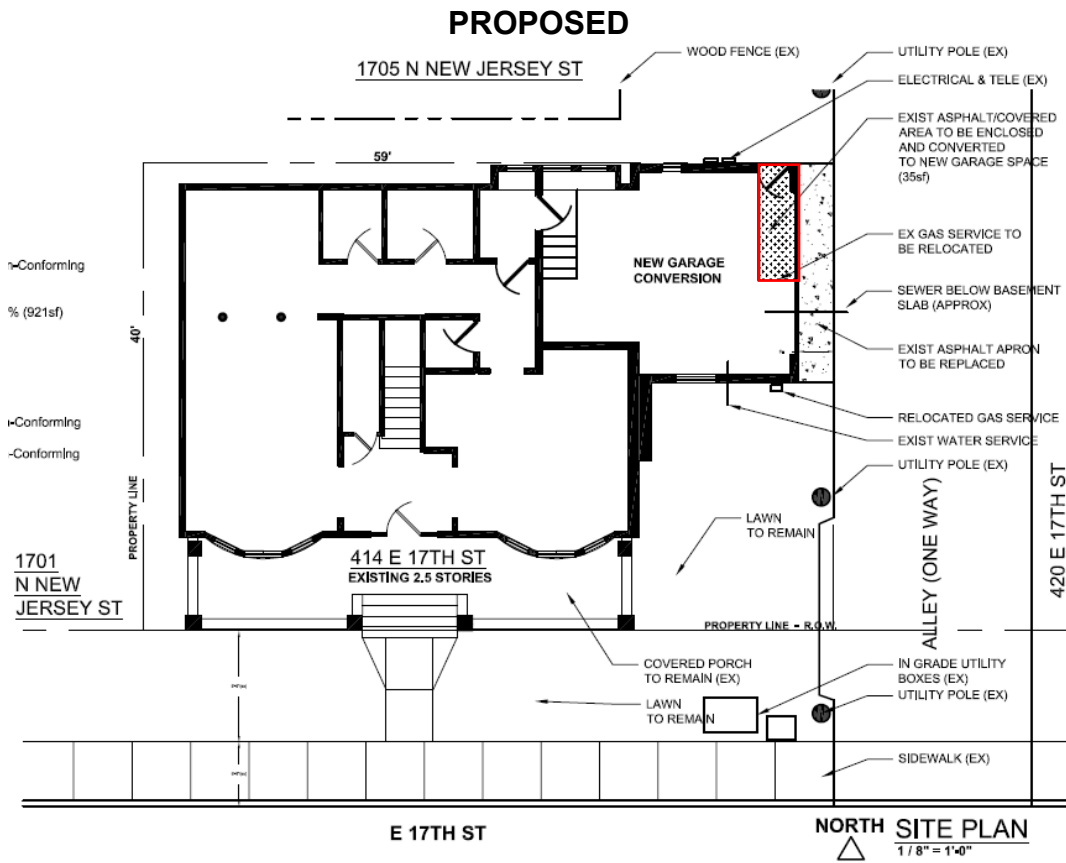


Property to the west – also has modern attached garage that fronts 17th Street





Properties to the south – across 17th Street



Site plan – addition outlined in red



Existing east elevation



Proposed east elevation

HAMPTON - GARAGE
414 E 17TH ST



Proposed Exterior Sconces



Proposed Garage Door

Amarr® Carriage Court CC4000
Steel Overlay Carriage House Garage Doors



BRADBERRY (BB)

SPECIFICATIONS



CLUSED SQUARE (BB100)

PANEL DESIGNS	CARRIAGE COURT CC4000
Carriage House	18 Designs
INSULATION ¹	Polystyrene
R-VALUE ²	6.48
ENERGY EFFICIENCY	Superior
QUIET OPERATION	Extra Quiet
DOOR THICKNESS	2"
WINDOW GLASS OPTIONS	
DSB Glass	•
Obscure Glass	•
Insulated Glass	•
WIND LOAD ³ AVAILABLE	•
PAINT FINISH WARRANTY ⁴	Lifetime
WORKMANSHIP/HARDWARE WARRANTY ⁴	5 Years
WINDOW/OVERLAY DISCOLORATION ⁴	10 Years
OVERLAY DELAMINATION ⁴	5 Years

¹ Insulation has passed certification, flame retardant and smoke developed index testing.

² Calculated door section R-value is in accordance with ISO 9846, ISO 143.

³ It is your responsibility to make sure your garage door meets local building codes.

⁴ For complete warranty details, visit amarr.com or contact your local Amarr dealer.

Proposed lights and garage door

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Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date:	March 6, 2024
Case Type:	Continued Case
Continued From:	January 3, 2024; February 7, 2024
Case Number:	2022-COA-447 AMENDMENT 1 (IURS)
Property Address:	39 Jackson Place
Historic Area:	Indianapolis Union Railroad Station & Wholesale District
Township:	Center
Council District:	16
Applicant:	Michael Eichenauer for City of Indianapolis Department of Metropolitan Development
Owner:	City of Indianapolis Department of Metropolitan Development
Request:	Amend previous approval to eliminate all brick pavers from scope on Illinois and Capitol
Staff Recommendation:	CONTINUE
Staff Reviewer:	Shelbi Long

BACKGROUND OF PROPERTY

The subject property is the Indianapolis Union Railway Station. The original portion of the station was constructed between 1886-1888 in the Romanesque Revival Style and was designed by Thomas Rodd. Between 1916 and 1922 the station was expanded with the Concourse building and train shed. The Concourse and train shed were designed by Price and McLanahan in the Art Nouveau style. This section of the building is said to be the only major surviving example of Art Nouveau design in the city. The structure and raised railway tracks were constructed above Capitol Avenue, Illinois Street, Meridian Street and Pennsylvania Street. The façades of the bridges were decorative to various degrees, some of which have been altered over time, while the underpasses were left in their utilitarian form with their steel columns and structure exposed.

In March 2023 the Commission approved 2022-COA-447 to repair and restore bridges, construct stairs, elevator tower and plaza space on the Meridian Street bridge, complete street and sidewalk improvements, and to install art and lighting. At the March 2023 hearing the Commission required that the project include the continuation of the existing brick street gutters, even where the roadway widths would be altered.

REQUEST

Due to costs and concerns about their maintenance, the applicant is requesting to remove all brick pavers from the street and sidewalk scope of the project on Illinois and Capitol. This includes the removal of the existing brick gutters in these areas.

HISTORIC AREA PLAN RECOMMENDATION

Indianapolis Union Railroad Station District Plan

- Any development, construction, reconstruction, restoration, or alteration of the subject exterior structure or site or its interior shall be appropriate to the property's historical and architectural values and significance.
- Any exterior or interior development, construction, reconstruction, restoration, or alteration shall be visually compatible and appropriate in function, general design, arrangement, color, texture, and material to the design and character of the subject.
- Adaption of the exterior and interior of the subject property to a feasible new use may be undertaken, provided that such rehabilitation scrupulously follows the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.

Wholesale District Plan – Public Space/Infrastructure Guidelines - Street/Sidewalk Surfaces

- The current widths of the streets and sidewalks should be maintained. It is encouraged to eventually return street surfaces to original brick paving thus creating a visual tie to the Monument. Brick Streets could take various forms including total brick, brick centers of streets, or brick gutters. Sidewalks should remain concrete as they were in the early 20th century.

STAFF RECOMMENDATION

It is recommended in the district plan to return street surfaces to brick paving. The plan provides flexibility on how this can be achieved by permitting various brick street elements. The Secretary of the Interior's Standards for the Treatment of Historic Properties Guidelines for Restoration recommends recreating missing features in a historic district's setting. Based on those recommendations staff believes it to be inappropriate to complete a streetscape renovation without the reintroduction of brick in some way. The use of brick in the streetscape would be highly impactful on the visual character of the district.

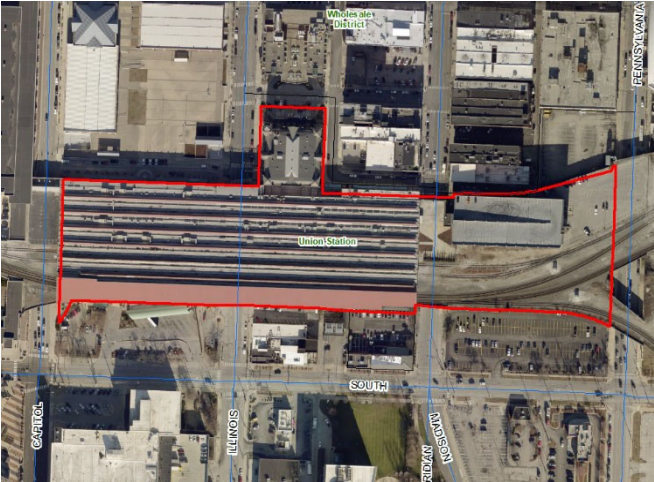
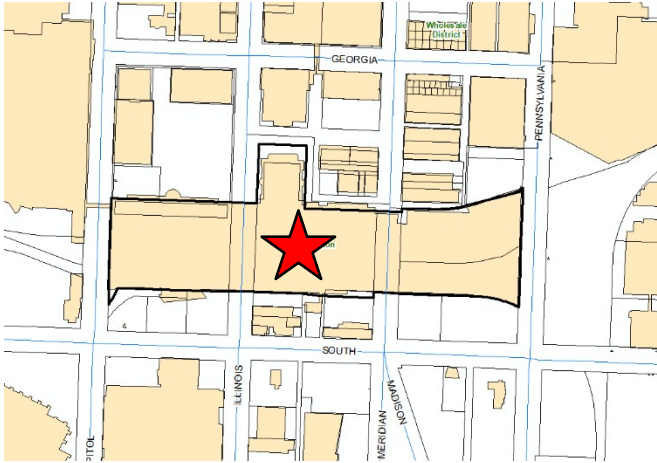
Staff recommends the Commission provide comment to the applicants on this requested change and continue the case. During the following weeks, staff recommends the applicants complete some additional review of the project as a whole to determine what other options may be available, for example phasing the various stages of the project differently to provide additional time to seek funding for the brick pavers.

STAFF RECOMMENDED MOTION

To continue to the April 1, 2024 IHPC hearing.

EXHIBITS

LOCATION OF SUBJECT PROPERTY



EXISTING SITE



1888 Union Railway Station (north elevation)



1916-1922 Concourse and Train Shed (north elevation, between Meridian and Illinois)

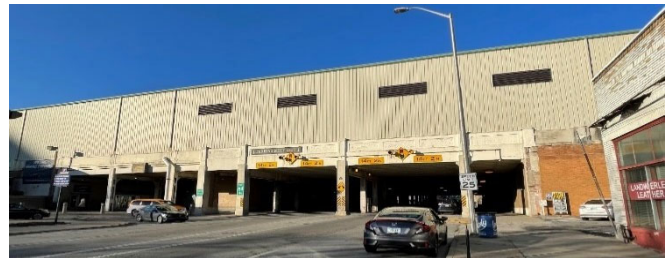




1916-1922 Concourse and Train Shed (north elevation, between Illinois and Capitol)



1916-1922 Concourse and Train Shed (rear/south elevations)



Illinois Street Bridge (left north elevation, right south elevation)



Capitol Avenue Bridge (left north elevation, right south elevation)

Existing brick gutter just north of Illinois Street underpass

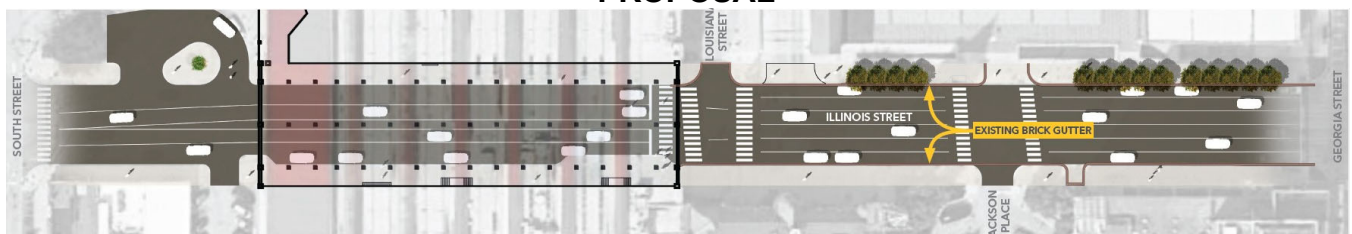


Examples of existing brick gutter conditions provided by DPW (photos of the areas along Meridian and Illinois, north of the project)





PROPOSAL



Existing Conditions – Illinois Street



March 2023 Proposal – Illinois Street (brick gutters are not shown in these plans, but were required as part of the approval by the Commission)



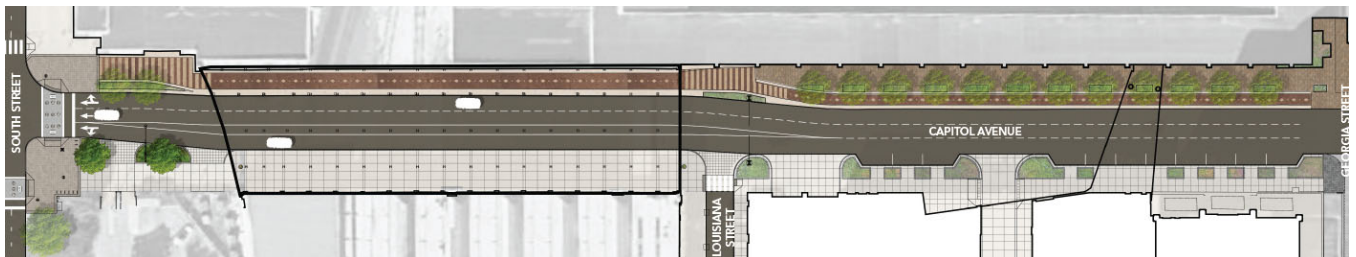
Updated Proposal – Illinois Street (existing brick gutters to be removed and no new installation of brick)



Existing Conditions – Capitol Avenue



March 2023 Proposal – Capitol Avenue



Updated Proposal – Capitol Avenue (no new installation of brick)

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Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date:	March 6, 2024
Case Type:	Continued Case
Continued From:	February 7, 2024
Case Number:	2024-COA-002 (MCD) & 2024-VHP-001
Property Address:	38 E. Washington St.
Historic Area:	Monument Circle District
Township:	Center
Council District:	12
Applicant:	Mamadou (Ben) Diallo
Owner:	Diallo Investment Group, LLC
Request:	Construct 3rd-story addition; replace front facade with new design; and a Variance of Use to reduce the required number of residential units from 5 to 2 in the CBD-1 district.
Staff Recommendation:	APPROVAL
Staff Reviewer:	Dean Kessler

BACKGROUND OF PROPERTY

Contrary to the building inventory of the Monument Circle District Historic Area Preservation Plan, the subject building was most likely originally constructed at or around the same time as its direct neighbors. This dates the original building construction to sometime around late 1840s – early 1850s, instead of the listed date of circa 1880. A photo from 1870 shows that the subject building was incorporated into the Stewart & Morgan Wholesale Druggist company operating next door at 40-42 (aka 42) E. Washington Street. The buildings' early style was influenced by Federal design. Both buildings shared nearly the same design – materials, storefront, floor level height, symmetrical window placement and window size.

The 1870 photo reveals that the subject building was originally constructed with four levels – not three as the Plan states. The photo also shows Italianate-style influence in the iron storefronts for both 38 and 42 E. Washington. Between approximately the late 1870s through the early 1900s, historic photos and Sanborn Fire Insurance Maps indicate that the building experienced multiple, major, façade and structural renovations. The renovations included the addition of a new, heavy, Italianate cornice; conversion from four floors to three floors (with no change in building height); altered storefront; altered window arrangement; and altered window sizes.

Feltman & Curme, a shoe business, occupied the storefront for decades. Sometime between 1939 and 1954, the 3 to 4-story structure was drastically remodeled again, with the top floor removed and the enameled, steel-paneled façade erected. The current 2-story building is faced with painted smooth panels and flanked by piers. Eight of the panels were replaced with single-pane windows sometime after 1996; six in a row above the storefront and two equally spaced on the second floor. The present storefront was installed in 2008- 2009 and updated in 2011.

Little of the building’s original character remains due to extensive remodeling. However, the “FELTMAN & CURME” brass letters set in concrete in front of the storefront still exist. Mid-century details such as the flair of the fluted piers and the curve of the steel panels hint of Art-Moderne influence. More recently, the previous owner installed the white “GO STIR FRY EXPRESS” banner sign, over the row of six windows, without approval. The lower, red, “GO STIR FRY” sign was approved by Staff in 2021.

Update Since February 7, 2024, IHPC Commission Hearing

Proper notice for this case was not sent. Two notices were required to be sent – one for the COA and one for the variance of use. Only the notice for the variance of use was sent. The notice for the COA was not sent. Therefore, the case was continued to the March 6, 2024, Commission hearing to allow time for the proper notices to be sent. Proper notice has since been sent.

REQUEST

Façade Modifications and Addition

The applicant is requesting to remove the existing façade; construct a third-story addition, with short elevator penthouse; install an aluminum, curtain-wall system; and install a new canopy. The third-story addition will restore the historic building height of the site and contain two residential units. The new front façade will consist of a 3-story, aluminum, storefront system. The system will be slightly inset and surrounded on three sides by a projecting, smooth, metal-panel wicket. The top of the wicket will extend just slightly beyond the sides to act as a modern-type cornice. A ribbed, metal canopy will separate the first-floor storefront and second floor. The canopy will project out three feet from the curtain wall system; extend across the entire curtain wall; and contain signage for the owner’s menswear store.

The design of the second and third floor curtain walls will be nearly identical. They will consist of five, equal-width, columns of glass. Columns two and four, on both levels, will contain an operable casement window. A row of opaque spandrel glass flanks the tops and bottoms of the second and third floors to hide floor and ceilings plates, as well as the roof system. There will be three rows of spandrel glass total. The top row of spandrel glass is taller than the two lower to hide the ceiling plate of the third floor and the roofing system. The modern HVAC ducts and a boarded-over, upper-story opening on the rear (north) side will be removed. The rear wall of the new addition will be brick to match the existing. Two, double-hung windows will be located on the eastern half of the wall.

The new elevator shaft will extend about five feet above the new roof to allow for the housing of the elevator equipment. This short penthouse will be located around eight feet behind the front (south) parapet wall. Due to the height of the front parapet, the penthouse should not be visible from the ground.

Variance of Use

The subject property is located in the Central Business District One (1) zoning district. CBD-1 is characterized as

the area containing the Soldiers and Sailors Monument and the blocks surrounding the monument. Designed to protect the ambience and spectacular view of the monument, the district also provides for a robust and diverse accumulation of business in the city’s highest-density development pattern. It is a pedestrian oriented environment and establishes much of the image of Indianapolis. To foster the highly pedestrian environment and maximize land efficiency, off-street parking is not required, vehicle accommodations are strictly limited, and surface parking is prohibited.

The need for a Variance of Use arises because only two (2) residential units are being proposed. The CBD-1 zoning classification requires that there must be five (5) or more residential units when a residential use

component is provided on a property. Therefore, the applicant is requesting a Variance of Use to reduce the required number of residential units from 5 to 2 in the CBD-1 district.

HISTORIC AREA PLAN RECOMMENDATION

The Monument Circle District Historic Area Preservation Plan offers the following guidance:

Protect, preserve, and promote the character of Monument Circle District as the “showcase” of the City of Indianapolis, by guiding sensitive change that respects the original planning concept while also contributing to the context of its varied architectural styles and eras.

Does the action...

- *Protect and preserve character-defining features of architecturally or historically significant buildings or landscapes which represent the district’s eras of significance?*
- *Contribute to the context in which work is proposed?*
- *Promote the use of high-quality design using durable materials?*
- *Enhance and improve the design quality and character of the streetscapes?*
- *Remain sensitive to the architectural and historic context when introducing alternative or sustainable materials or energy conserving solutions?*
- *Enhance and balance the pedestrian and vehicular activities in the public spaces?*
- *Remain sensitive to the architectural and historic context when improving accessibility?*

Existing Buildings

- *Recognize and preserve the significant historic and architectural character of the building and its context.*
- *Accommodate change, modernization, and energy efficiency without sacrificing significant historic or architectural character.*
- *Retain significant original materials that can be reasonably retained and restored, especially where highly visible.*

Additions to Existing Buildings

- *Encourage a high standard of design contributing to the significance and integrity of the building and district.*
- *Encourage design complementary to the historic fabric and respectful of the features, based either on historic reference or contemporary design.*
- *Discourage additions detracting from the original scale, mass, and character of the building and its context, which shall remain recognizable.*

STAFF RECOMMENDATION

Façade Modifications and Addition

Staff is recommending approval for the façade modifications and new addition for the following reasons:

1. The front elevation was significantly altered from its original design, and the third floor was removed.
2. The addition will return a third floor like the original design had.
3. The proposed design re-establishes the strong horizontal patterning of this portion of the block and is complimentary to the remaining horizontal patterning of some of the adjacent buildings.
4. The height of the first-floor storefront is reflective of the almost 2-story storefronts on either side at 36 and 42 E. Washington St.

5. The symmetry of the second and third floor curtain wall system is a nod to the symmetry of the upper floors of 36 and 42 E. Washington St.
6. Signage is appropriately placed on the first level canopy.
7. The overall design is reflective of and complementary to the 2018, IHPC-approved, façade renovation at 44 E. Washington St.
8. The color palette is respectful of the finish of the natural and synthetic materials found in the context.
9. The proposed design is not a replica of the original façade. This does not preclude someone from doing a restoration of it in the future, if feasible and desired, and is not removing any original features of the original front elevation. It does remove the remaining materials from the mid-century altered façade, but Staff does not believe these features significantly contribute to the historic character of the building.

Variance of Use

Staff is recommending approval for the Variance of Use for the following reasons:

1. The CBD-1 district encourages high-density, mixed uses. The proposed use maintains the mixed-use intent of the district.
2. The two residential units will still increase the density and overall use of the site, that is not currently present. Occupants of the units will add to the customer base of nearby retail and restaurants.
3. The first and second levels will be used for a previously established menswear retail store already located within the district at 22 E. Washington St. The retail storefront will continue to encourage pedestrian and retail activity.
4. More complicated construction methods would be needed in order to meet building code requirements to install residential units on the second floor.
5. Providing more than two residential units would likely result in the need to construct multiple, upper-story additions, which would not reflect the historic building height.
6. Additional stories beyond three floors would significantly alter the streetscape and would not honor the historic building heights of this block.

STAFF RECOMMENDED MOTION

COA #2024-COA-002 (MCD)

To approve a Certificate of Appropriateness to construct 3rd-story addition; replace front facade with new design; and a Variance of Use to reduce the required number of residential units from 5 to 2 in the CBD-1 district; per the submitted documentation and subject to following stipulations:

DBNS: Stipulations numbers 1 and 2 must fulfilled prior to issuance of permits.

1. Construction must not commence prior to approval by the IHPC staff of final construction drawings including any required changes requested by the Commission at the February 7, 2024, hearing. *Approved _____ Date _____*
2. A pre-construction meeting with IHPC staff, the owner, and the contractor/construction manager must be held prior to the commencement of any construction. *Approved _____ Date _____*
3. The historic “FELTMAN & CURME” brass letters set in concrete in front of the storefront **MUST** be retained and **MUST** be protected during construction to not cause any damage. Method of protection must be reviewed and approved by IHPC staff. *Approved _____ Date _____*
4. Work on exterior finishes and details must not commence prior to the approval by IHPC staff of each.
5. Applicant must provide samples of the metal panel and metal canopy material for final review and approval by IHPC staff prior to purchase and installation. *Approved _____ Date _____*

6. Installation of signage on canopy must not commence prior to review and approval by the IHPC staff of final sign plans. *Approved* _____ *Date* _____
7. No other or additional signage is approved under this Certificate. Any additional signage must be requested for in a separate/new COA application.
8. Window units must be approved by IHPC staff prior to purchase or installation. *Approved:* _____ *Date:* _____
9. All utility wires and cables must be located underground. No installation of utilities or meter and mechanical placement shall commence prior to IHPC staff approval.
10. Any changes to the proposed design must be approved by IHPC staff prior to commencement of work.
11. Notify IHPC staff prior to making unexpected repairs.

NOTE: Owner is responsible for complying with all applicable codes.

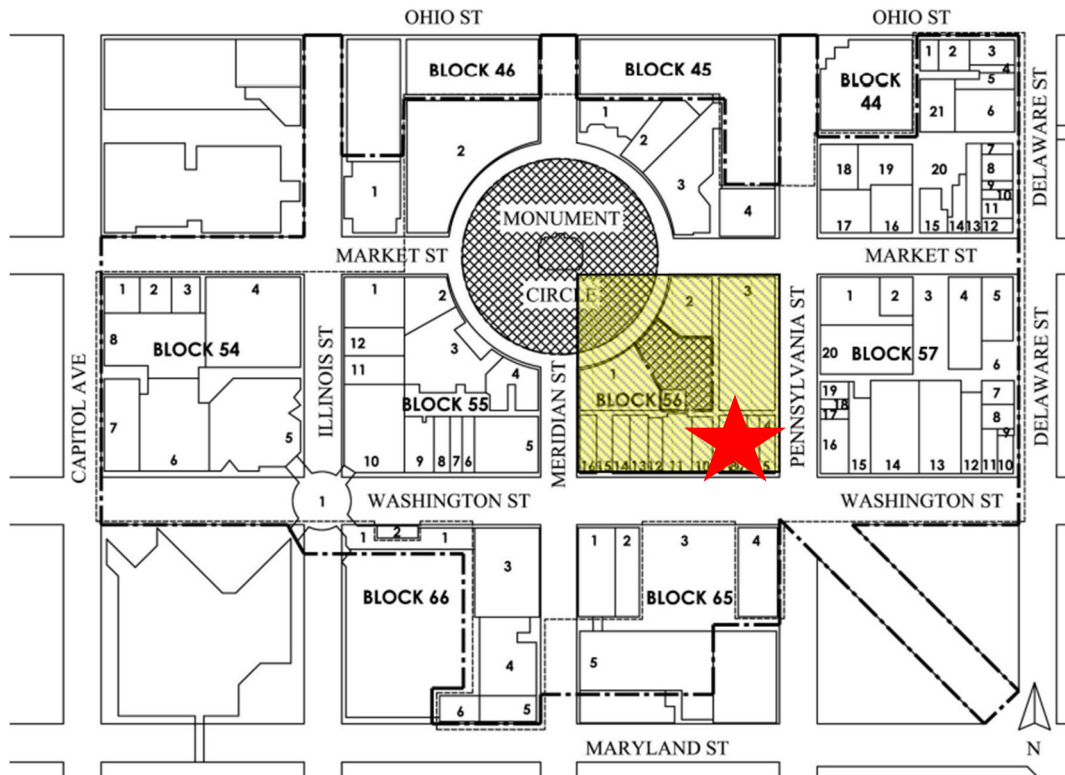
NOTE: Any work or portion of the building extending into the public right-of-way will require additional permits. Please verify by contacting the Permits office at the Dept. of Business and Neighborhood Services at 317-327-8700 or at permitquestions@indy.gov to receive any applicable permits prior to commencement of work.

VARIANCE PETITION # 2024-VHP-001:

To approve a Variance of Use and the submitted Findings of Fact to reduce the required number of residential units from 5 to 2 in the CBD-1 district.

EXHIBITS

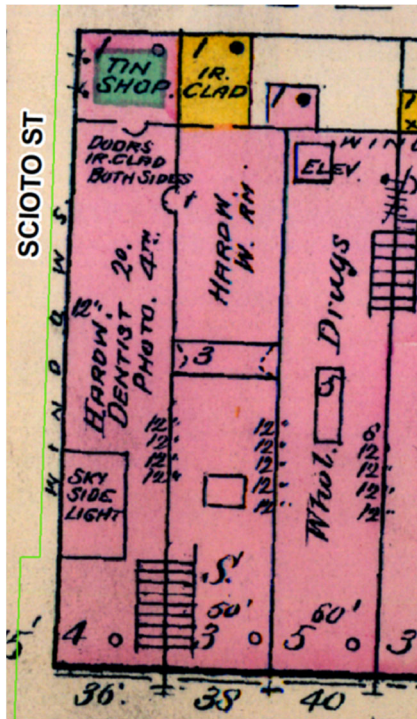
LOCATION OF SUBJECT PROPERTY IN MONUMENT CIRCLE DISTRICT



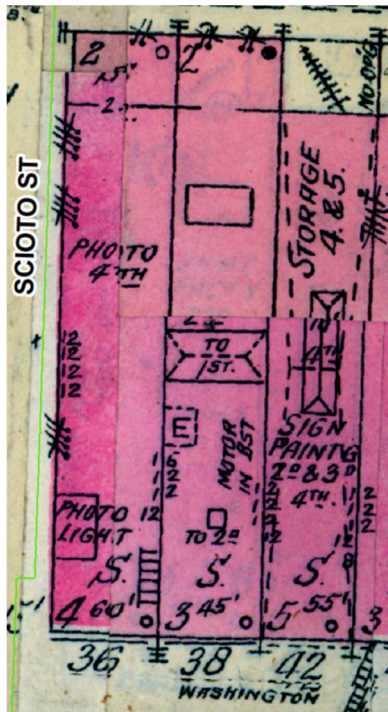


Subject property is outlined

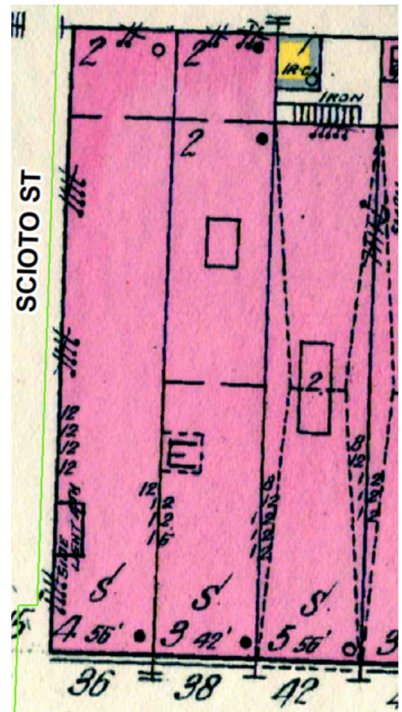
HISTORIC SANBORN MAPS AND PHOTOS



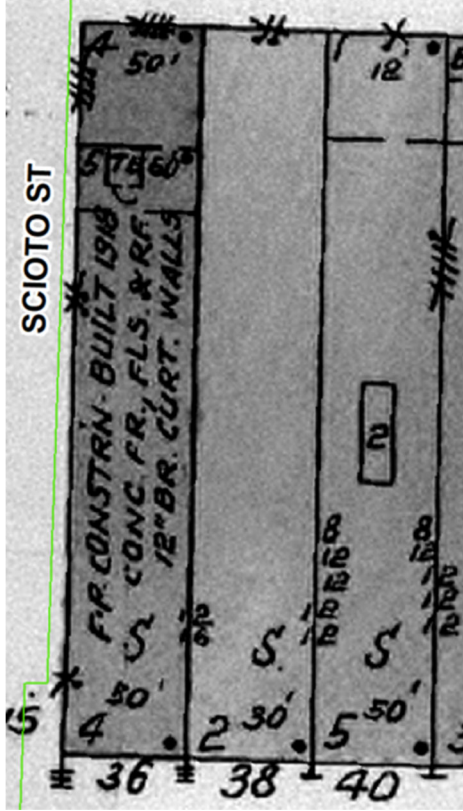
1887



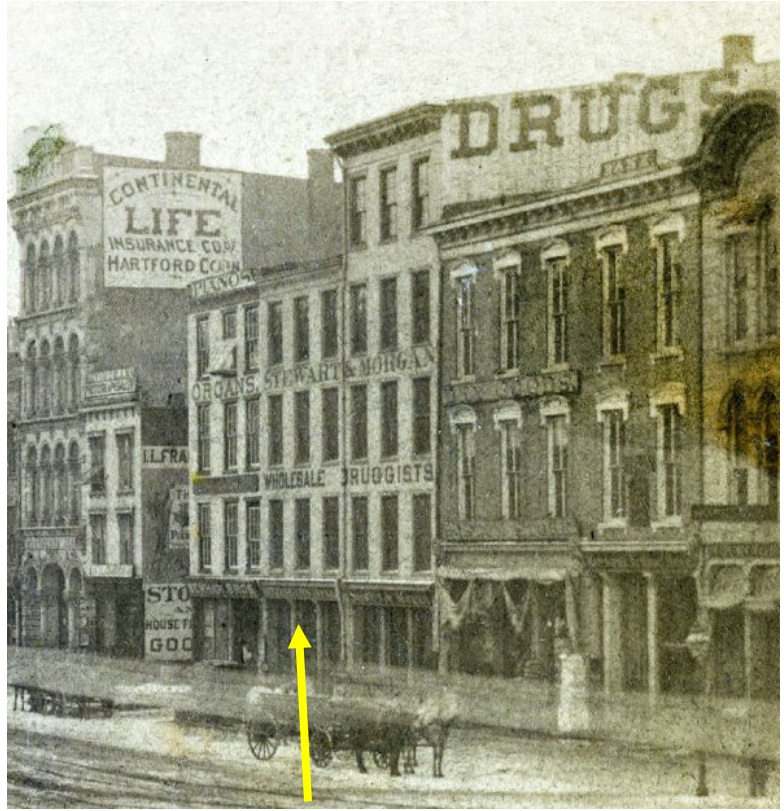
1898



1915



1956



1870 - 38 E. Washington St.



1921 - 38 E. Washington St.



1921 - 38 E. Washington St.



1921 – Storefront of 38 E. Washington St.



1925 – 38 E. Washington St.



1938 – 38 E. Washington St.



1995 – 38 E. Washington St.



2007 – 38 E. Washington St.



2009 – 38 E. Washington St.



2012 – Historic “FELTMAN & CURME” sign in sidewalk



2013 – 38 E. Washington St.



Rear (north) elevation



First floor of rear (north) elevation



Second floor of rear (north) elevation



2022 Google Street View image – 38 E. Washington St.

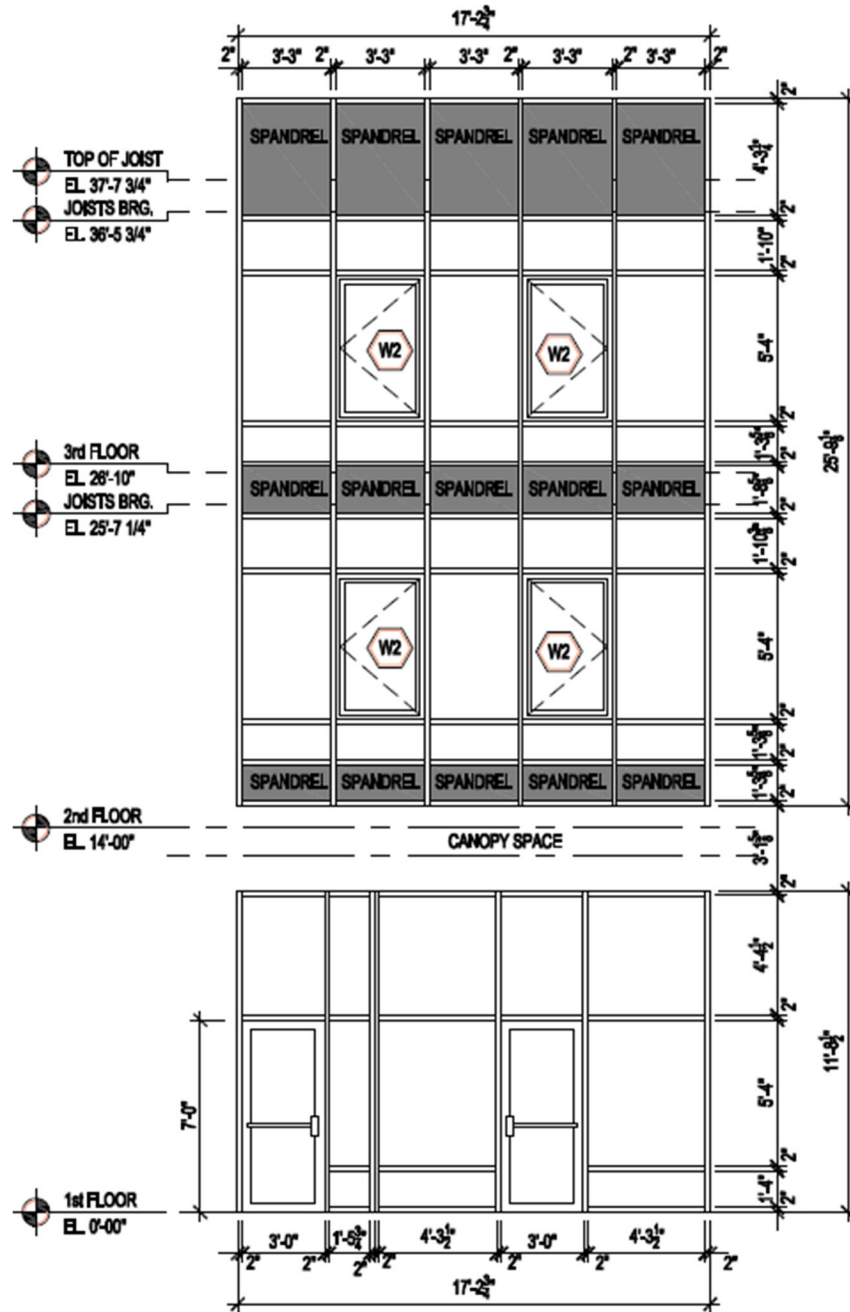


Evidence of original building height and cornice

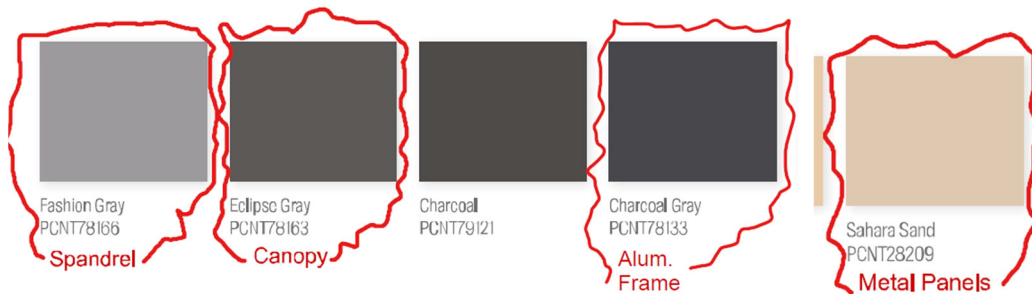
PLANS



Proposed front (south) elevation



Proposed curtain wall system



Proposed finish colors

STREETSCAPE RENDERINGS

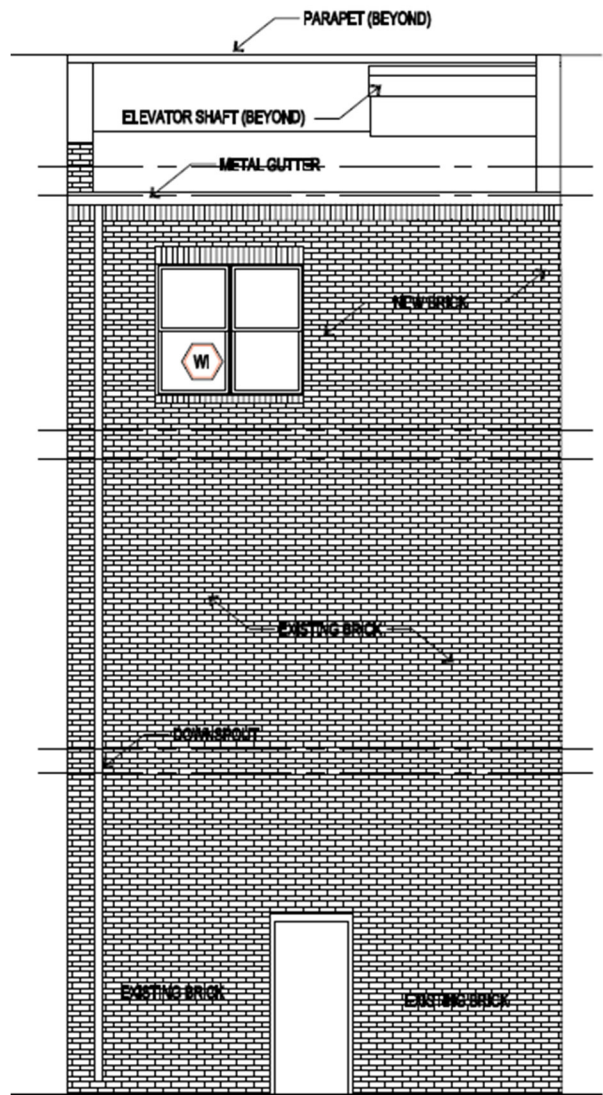




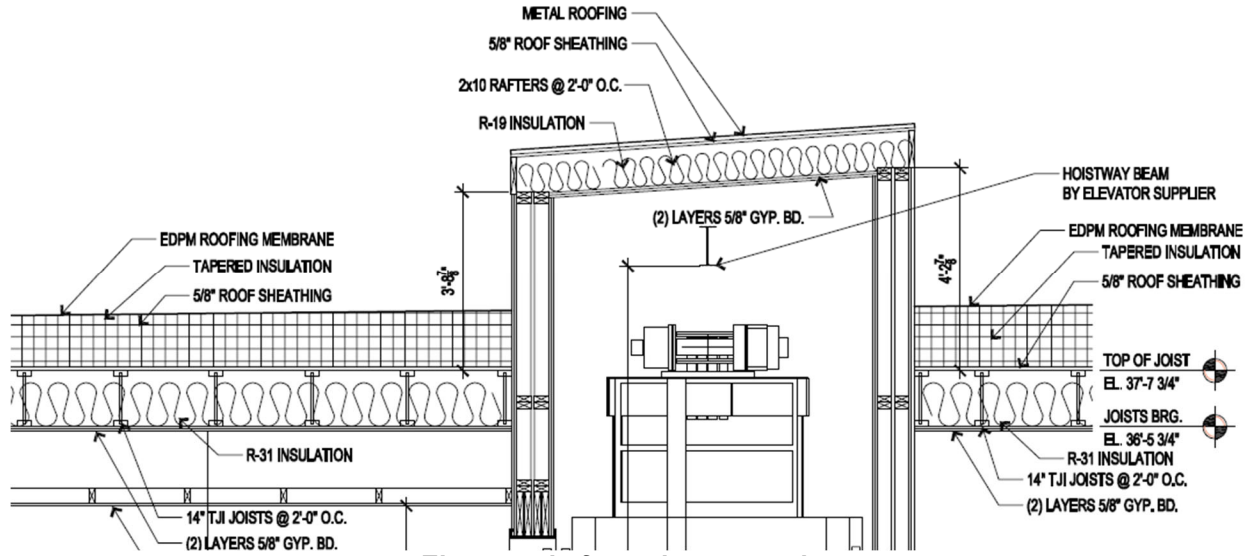
Streetscape



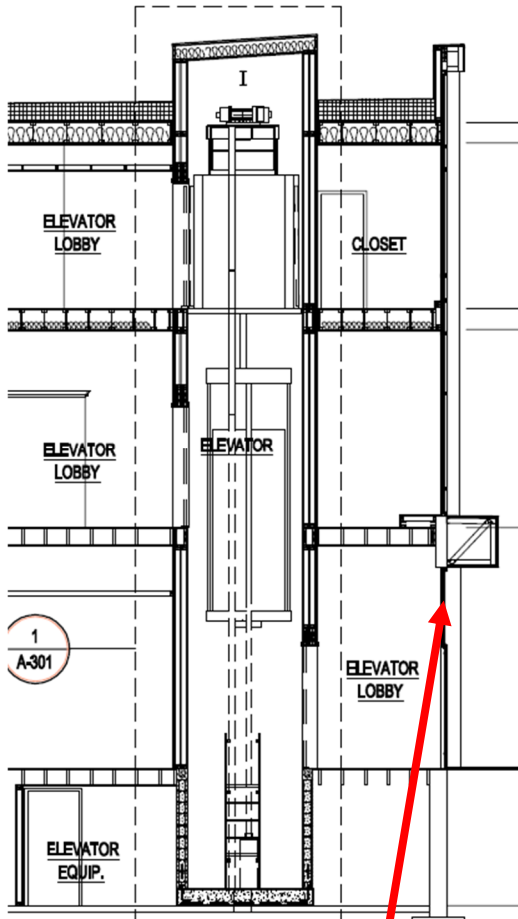
Rendering of front (south) elevation



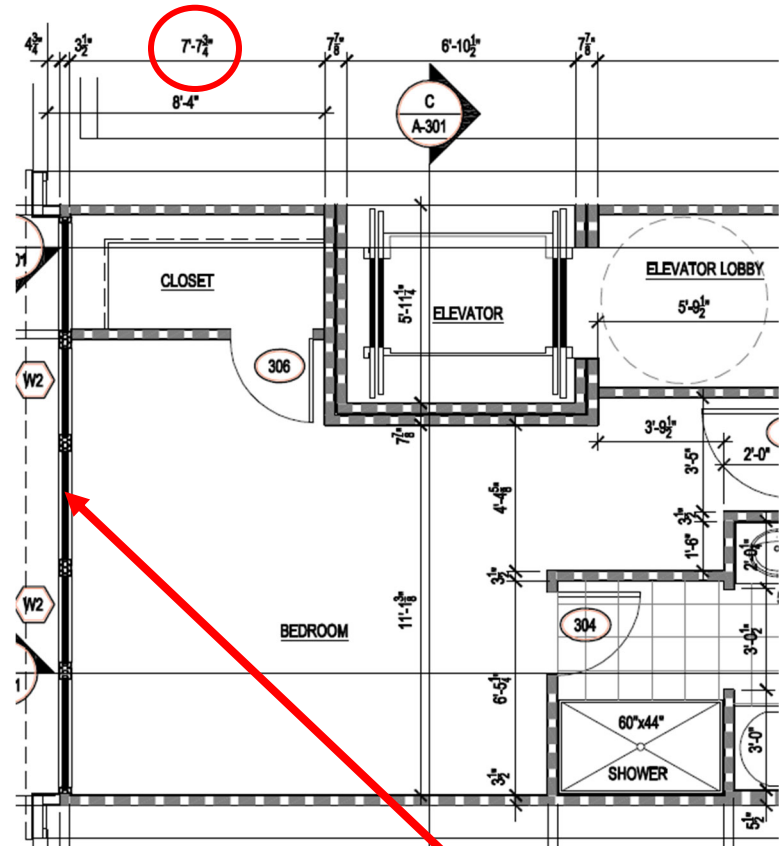
Proposed rear (north) elevation



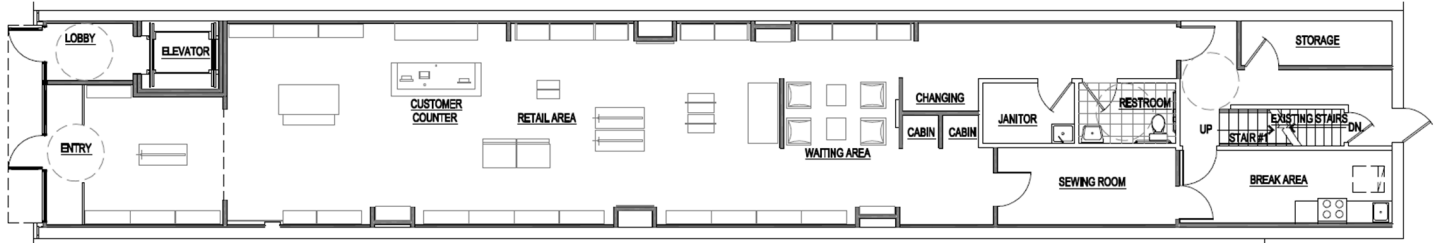
Elevator shaft penthouse section



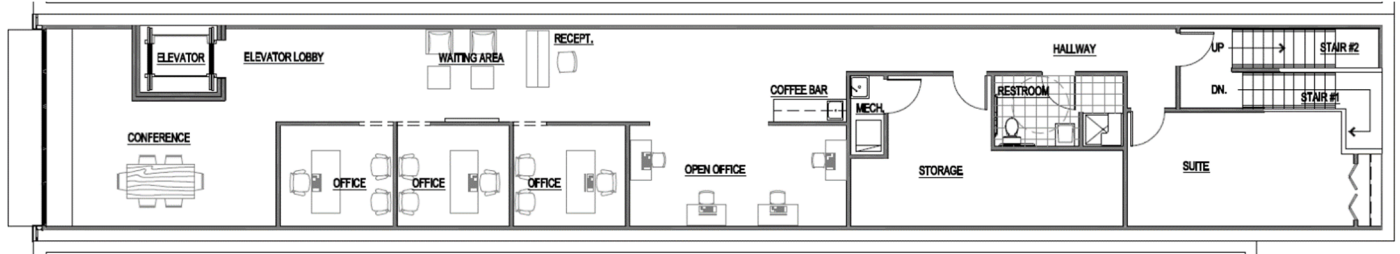
Elevator section: front of building



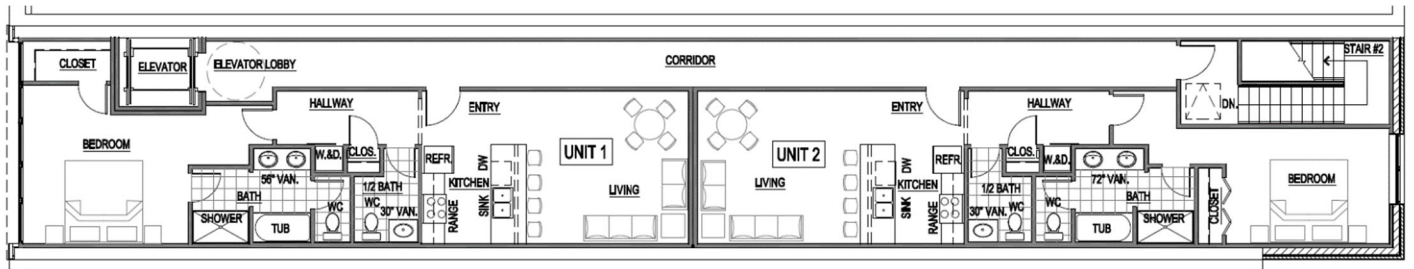
3rd floor plan showing elevator setback from front parapet wall.



First floor plan



Second floor plan



Third floor plan

FINDINGS OF FACT

1. THE GRANT WILL NOT BE INJURIOUS TO THE PUBLIC HEALTH, SAFETY, MORALS, AND GENERAL WELFARE OF THE COMMUNITY BECAUSE

the proposed use is in accordance with stated goals of the Central Business District One (CBD-1). The establishment of Mix-used retail is encouraged by the governing ordinance. We are seeking relief only from the requirement for the minimum of five residential units required by the CBD-1 Zoning designation down to two.

2. THE USE AND VALUE OF THE AREA ADJACENT TO THE PROPERTY INCLUDED IN THE VARIANCE WILL NOT BE AFFECTED IN A SUBSTANTIALLY ADVERSE MANNER BECAUSE

the properties to either side of the proposed redevelopment are similar in nature with ground level retail and auxiliary uses on the floors above. By bringing additional retail and residential space the increased pedestrian traffic will benefit the adjacent properties and the Downtown area as a whole. The improvement of a long vacant property will add to the revitalization of the area.

3. THE NEED FOR THE VARIANCE ARISES FROM SOME CONDITION PECULIAR TO THE PROPERTY INVOLVED BECAUSE

the proposed development seeks to restore the building to its original 3-story volume. This will restore the original massing to the streetscape and be in character with the size of adjacent structures. The CBD-1 requirement for a minimum of five residential units would require a building volume in excess of the historical record. In addition, it would create code challenges in both egress and provisions of natural light and ventilation. The granting of the variance will allow the property to be brought back in a manner that responds to the context, restores the rhythm of the streetscape and mitigates issues caused by the higher unit count requirements.

4. THE STRICT APPLICATION OF THE TERMS OF THE ZONING ORDINANCE CONSTITUTES AN UNUSUAL AND UNNECESSARY HARDSHIP IF APPLIED TO THE PROPERTY FOR WHICH THE VARIANCE IS SOUGHT BECAUSE

the requirement to provide a minimum of five residential units will make it impossible to complete the redevelopment in a manner which honors the historical record of a 3-story mixed use structure at this location. The CBD-1 requirements would require a building volume in excess of the historical record. In addition, it would create code challenges in both egress and provisions of natural light and ventilation. The granting of the variance will allow the property to be brought back in a manner that responds to the context, restores the rhythm of the streetscape and mitigates issues caused by the higher unit count requirements.

5. THE GRANT DOES NOT INTERFERE SUBSTANTIALLY WITH THE COMPREHENSIVE PLAN BECAUSE

the proposed use is in accordance with stated goals of the Central Business District One (CBD-1). The establishment of Mix-used retail is encouraged by the governing ordinance. We are seeking relief only from the requirement for the minimum of five residential units to two required by the CBD-1 Zoning designation. The proposed use is in alignment with the adjacent mixed-use properties and will contribute to the overall goal of a livable and walkable returning of retail to this long vacant structure will add to the overall pedestrian traffic as a destination location for fine men's clothing.



Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date: March 6, 2024
Case Type: New Case
Continued From:
Case Number: 2023-COA-439 (FP)
Property Address: 460 Virginia Ave.
Historic Area: Fletcher Place
Township: Center
Council District: 18
Applicant: Stephen E. Carr
Owner: MILHAUS OFFICE LLC
Request: Modify size of existing cell tower for larger antennas.
Staff Recommendation: ~~Approve~~ or Continue
Staff Reviewer: Dean Kessler

BACKGROUND OF PROPERTY

Background of Building and Site

The subject property is one of the remaining nineteenth-century commercial buildings on Virginia Avenue and was built in 1876. It was originally used by Henry Lee to house his tea, coffee, sugar and spice business before it was sold and operated as a laundry. The historic, brick building has three stories, and features elaborate pressed metal work at the roof. Between 1950 to the late 1960s, several, 1-story, concrete-block additions were constructed on the northwest side of the historic building. In more recent decades, the historic building and additions have gone through multiple, large-scale rehabilitation and renovation projects.

An extensive project, approved by the Commission in August of 2014, granted approval to restore the historic brick building; demolish rear portions of the twentieth-century additions; modify the façades of the additions; and construct a 1-story addition at the front, southwest corner of a 1968 addition. Approval was also granted to rezone the entire property from I-4-U (heavy industry) and C-3-C (old mixed zoning classification that no longer exists) to CBD-S. The CBD-S classification is a Central Business District zoning classification that allows the permitted uses to be customized for just that property.

Background of Existing Cellular Stealth Pole

Located behind the historic building is a 95ft-tall stealth cellular pole, which houses wireless equipment. In 1998, a 75ft stealth pole was approved by the IHPC Hearing Officer. That pole should have received a Variance of Development Standards at that time for the height, but it did not due to a review error. The mistake was likely made because the Wireless Communications Facilities Zoning Ordinance regulation had only been passed eleven days before the stealth pole application was received in August 1998. The Hearing Officer granted the COA for the pole in September 1998.

At the time the pole was first approved in 1998, the site was still zoned I-4-U. The Wireless Communications Facilities Zoning Ordinance regulation contained a height restriction for a **wireless communications facility** (WCF) in an I-4-U district that was within 300ft of a dwelling district. A freestanding WCF was limited to a maximum of 25ft higher than the building height permitted by the district. The height limit permitted in I-4-U was 35ft. Therefore, the maximum height of a freestanding WCF was limited to 60ft.

Thirteen years later, in October of 2011, the Commission granted a Certificate of Appropriateness and a Variance of Development Standards to increase the height of the pole from 75ft to 95ft. The height increase was requested to accommodate additional equipment required to provide service for upgraded 3G and 4G technology. The staff recommendation in the report for the case recommends approval because:

Normally, a structure of this height might be considered out of scale. However, the existing stealth pole is relatively innocuous and already exceeds the standard height limits. This application does increase the height by 20 ft, but staff feels that due to the success of the existing pole and the lack of less obtrusive alternatives, the height increase is warranted in this instance.

The design of the existing stealth pole, as described in the 2011 staff report, is...

...designed to look like an oversized flagpole. It is used in areas where a traditional tower would not be welcomed, and there is not a good location on which to place rooftop equipment or hide it inside existing architecture. Rather than housing the equipment on an external antenna platform, the equipment is housed tightly within the pole structure.

The current zoning CBD-S zoning classification does not prohibit wireless communication facilities here.

REQUEST

The request is to expand the upper 30ft of the pole from 2ft in width to 3ft in width to accommodate the installation of new, larger, antennas and radios, to provide upgraded, 5G wireless service over a large service area. According to the applicant, *since this is a macro site it covers a larger area that could not be serviced with the installation of small cells or any other smaller type of equipment. With the 5G technology the radios have to be right next to the antenna thus creating the need for larger diameter of pole to support the antenna and radio at the same location.*

There is language in the Zoning Ordinance that is important to note: *All towers that are legally established on August 2, 1999, may be used for WCF, as long as the height is not increased, nor the location of the tower changed. It also states, all towers that cease to be used for a period of more than one year shall be removed. Within 30 days after use of a tower has ceased, the last user shall notify the Administrator of the discontinued use.*

Regarding current standards for a WCF, there are no height restrictions in the CBD-1 and CBD-2 zoning districts, which are most commonly found in and around Downtown Indianapolis. For WCF's located in a CBD-S zoning district, such as the subject tower, provisions for the wireless facility must be provided in the rezoning ordinance. No such provisions were provided in the 2014 rezoning petition for the subject site.

Free-standing, pole towers for a WCF are not permitted in the dwelling districts directly to the north and east of the subject site. They are also not permitted in the mixed-use district to the south of the subject site. A monopole is permitted in the CBD-2 and C-5 districts directly to the southwest and northwest.

HISTORIC AREA PLAN RECOMMENDATION

The Fletcher Place Historic Area Preservation Plan does not specifically discuss wireless communications facilities, but certain criteria may help:

Consider

- *Retaining distinctive features such as the size, scale, mass, color, and building materials. This should include roofs, porches, stairways and other features that give a neighborhood its distinguishing character.*
- *Using new plant materials, fencing, walkways, and street furniture which are compatible with the character of the neighborhood in size, scale, material, and color.*
- *New construction must respect certain standards of scale in order to maintain the district's special qualities. Overall building height and massing, relationships of primary buildings to secondary buildings, landscape elements – all must be consistent with the surrounding architecture and spaces.*
- *Retaining or replacing plants, trees, fencing walkways, and lawn furniture which reflect the property's history and development.*
- *Placing television antennae and mechanical equipment, such as air-conditioners, in an inconspicuous location.*

Avoid

- *Introducing new construction into neighborhoods which is incompatible with the character of the district because of size, scale, color, material, and detailing.*
- *Introducing signs, street furniture, new plant materials, fencing, walkways and paving materials which are out of scale or inappropriate to the neighborhood.*
- *Making hasty changes of the appearance of the site by removing old plants, trees, fencing, walkways, and lawn furniture before evaluating their importance in the property's history and development.*
- *Placing television antennae and mechanical equipment, such as air-conditioners, where they can be seen from the street.*

STAFF RECOMMENDATION

Staff presented a series of questions to the applicant regarding the height of the pole and the size and location of the equipment. The questions Staff asked were:

1. *What other smaller equipment could be used instead?*
2. *What other locations were considered for the location of the new, larger equipment? (i.e. – rooftops of apartments across Virginia, which are not located within the boundaries of the IHPC-protected Fletcher Place district)*
3. *Can the tower be lowered? The tower is much taller than the buildings and trees around it.*

The response from the applicant was that no smaller equipment is available to use, and that it would not be feasible to lower the existing pole or move the equipment to another location. The applicant's full responses to Staff's questions can be found in the "Exhibits" section of this report.

Based on the answers provided by the applicant, Staff has the following additional questions:

1. How would placing the antennas at a higher elevation on the apartments across the street create interference within the network?
2. Is it possible to not disrupt service by building the new site location at the apartment building across the street, and get it running/turned on before turning the current one off?

Staff does not find the existing stealth wireless pole or the proposed modifications to it to be appropriate in size, height and location for the character of the district. That said, Staff also realizes the challenges of completely relocating the equipment and keeping up with technological advances for better service. Staff also realizes that some form of the pole has existed relatively innocuously for nearly 26 years. Staff is unaware of any complaints regarding the pole, nor has Staff received any concerns from the neighborhood regarding the current proposal. The 2011 height increase was supported by the neighborhood as well.

Based on the information above, Staff is conflicted and does not have a preferred recommendation; therefore, Staff is deferring to the Commission. If the Commission finds a request to be inappropriate, a Certificate of Authorization could be granted, but only if the request meets one of the following criteria:

1. *Denial would result in substantial hardship.*
2. *Denial would deprive the owner of all reasonable use and benefit of the subject property, or*
3. *The effect of approval upon the historic area would be insubstantial.*

Staff recommends that the Commission discuss the case and continue it to the April 3, 2024, hearing if the Commission would like for the applicant to continue to explore other locations or equipment. Or, if the Commission finds that the request would meet one of the tests for a Certificate of Authorization, the Commission may grant a Certificate of Authorization.

STAFF RECOMMENDED MOTION

OPTION 1:

To continue the case to the April 3, 2024, Commission hearing to allow the applicant to continue to explore other, smaller equipment options and/or other locations to install the new equipment.

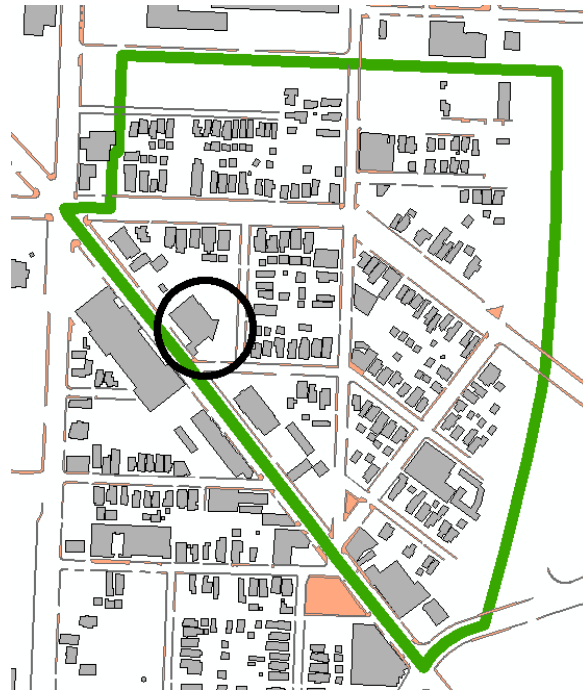
OPTION 2:

To approve a Certificate of Authorization to modify size of existing cell tower for larger antennas; per submitted documentation and subject to the following stipulations:

1. The total width of the stealth pole shall not exceed 3 feet in width.
2. The entire pole shall be painted the same brick red color as the existing pole.
3. Notify IHPC staff prior to making unexpected repairs.
4. No changes to the proposed design, location, configuration, or method of installation are permitted without prior consultation with IHPC staff.
5. Any deviation from this approach shall be approved by IHPC staff prior to construction.
6. No equipment is to be attached to the exterior of the building.

NOTE: Owner is responsible for complying with all applicable codes.

LOCATION OF SUBJECT PROPERTY IN FLETCHER PLACE



Subject property is indicated by a star.

APPLICANT RESPONSE TO STAFF QUESTIONS

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January 31, 2024

INDIANAPOLIS HISTORIC
PRESERVATION COMMISSION



AT&T MOBILITY SITE IN0147

Per the request of the Historic Review board with the City of Indianapolis. I am requested to provide responses to the below questions before the public hearing will be set. Please review the responses and call me with any questions.

1. Does AT&T Mobility have any smaller equipment that can be used that will eliminate the need for the expansion of the stealth flagpole.

The current equipment AT&T Mobility is upgrading too, on the existing flagpole stealth structure is the smallest equipment that we can use that will allow us to upgrade this current macro site to the new 5G technology. Since this is a macro site it covers a larger area that could not be serviced with the installation of small cells or any other smaller type of equipment. With the 5G technology the radios have to be right next to the antenna thus creating the need for larger diameter of pole to support the antenna and radio at the same location.

2. What other locations were considered for the location of the new, larger equipment? (i.e. – rooftops of apartments across Virginia, which are not located within the boundaries of the IHPC-protected Fletcher Place district).

The current macro site location is an existing site within the AT&T Mobility network. Upgrading this existing site must

PBM Wireless Services, LLC
2894 Aldersgate Drive, Greenwood, IN 46143 – (317) 446-7747



Think outside the triangle.

RECEIVED

January 31, 2024

**INDIANAPOLIS HISTORIC
PRESERVATION COMMISSION**

take place at the current location of the current stealth pole because the existing stealth pole is built into the network. Moving the location across the street to the rooftop of the apartment building would require the moving of the whole site location thus creating a disruption in the network. The apartment building across the street is 108' feet tall thus creating a higher elevation of the antenna locations thus creating interference within the existing network.

3. Can the tower be lowered? The tower is much taller than the buildings and trees around it.
Lowering the tower will cause a reduction in the area that the current tower location serves and cause areas that are currently served by the macro cell site to lose the ability to cover the area. The tower was approved at its current height when it was granted approval to place the tower in its current location. We are not increasing the height of the tower just the diameter of the pole.

4. The plans state the current tower is only 2 feet in diameter, but it looks much larger in the photos and Google Street views. Our staff is a bit concerned about that, and we would like confirmation on the diameter, please.
See attached a photo of the base of the pole with a tape measure showing the diameter of the pole. Also the drawings we included with our application request show the drawings stamped by an engineer.

PBM Wireless Services, LLC
2894 Aldersgate Drive, Greenwood, IN 46143 – (317) 446-7747



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If you have any questions or need additional information to review our request to expand the diameter of the top of the pole please call Stephen E. Carr at 1-317-446-7747 or email me at scarr@stevecarr.hostpilot.com

Sincerely,

Stephen Carr

PBM Wireless Services
Stephen E. Carr
Project Director

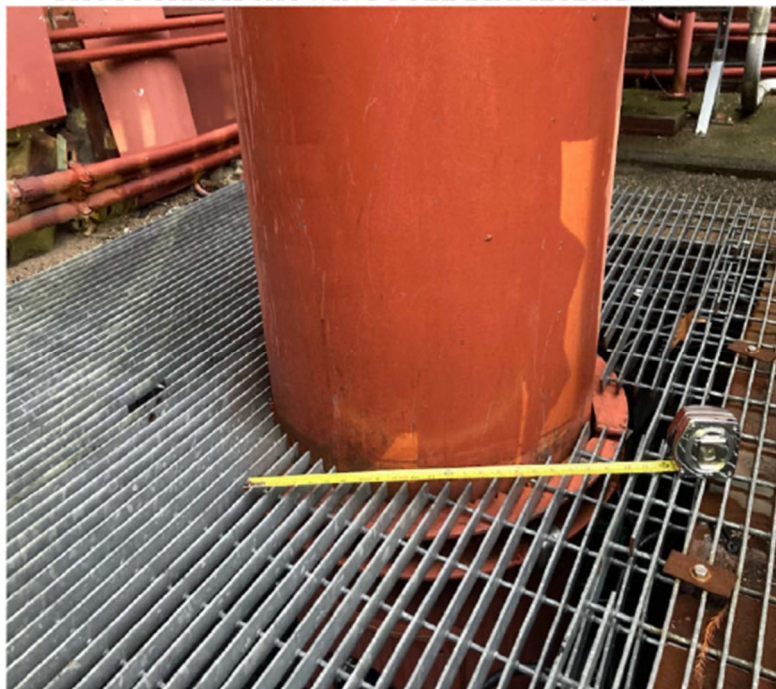


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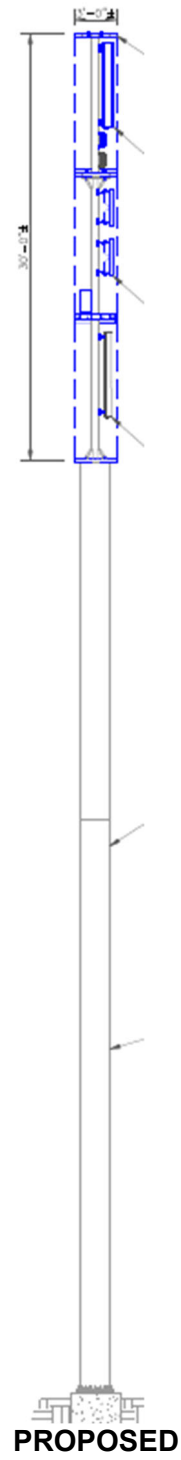
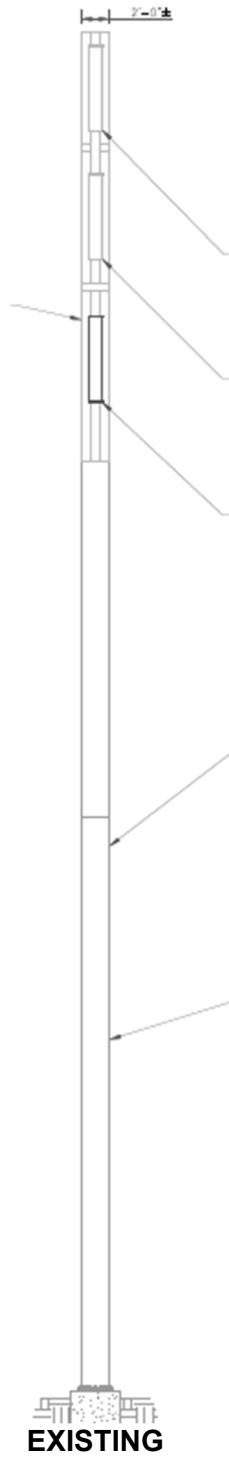
January 31, 2024

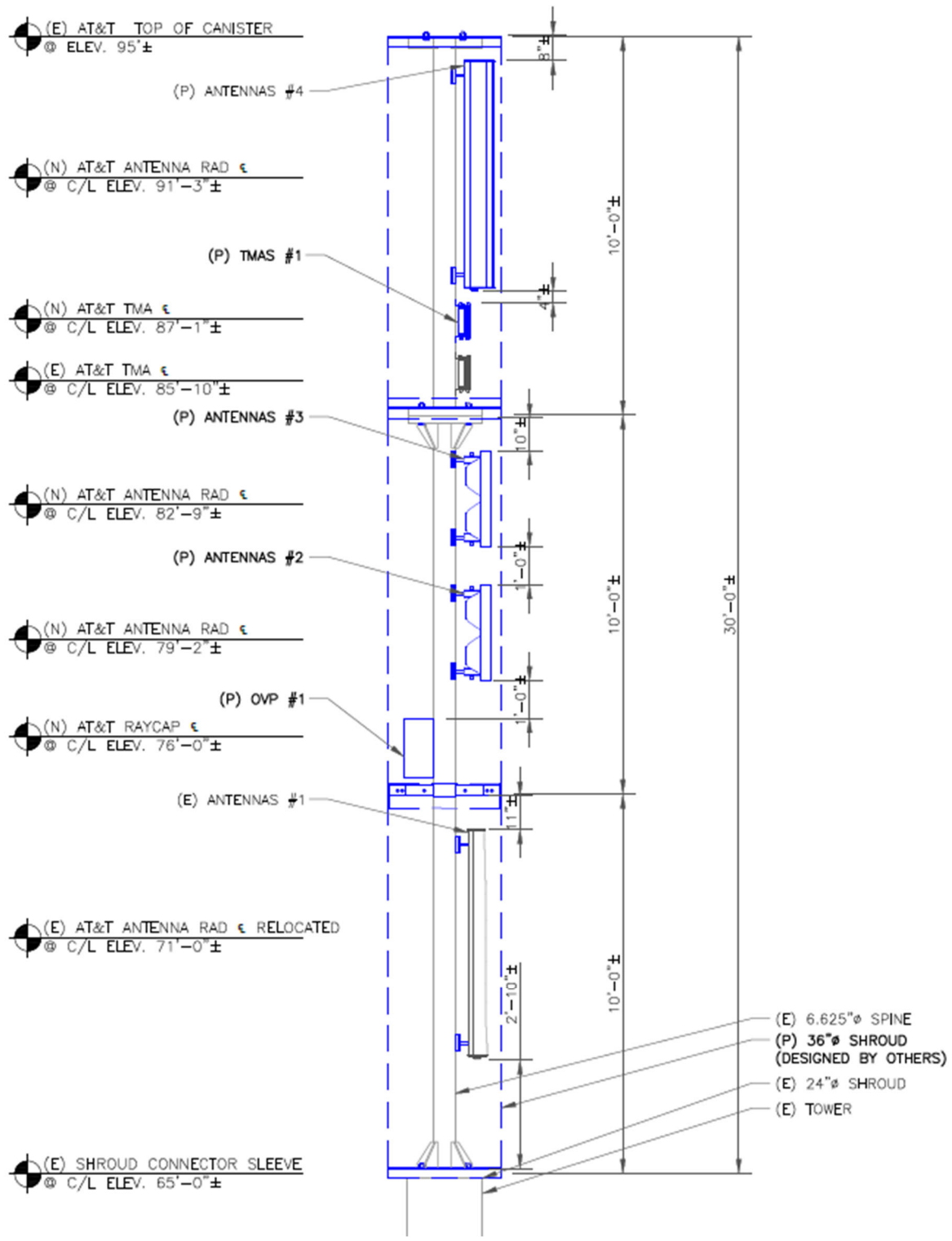
INDIANAPOLIS HISTORIC
PRESERVATION COMMISSION

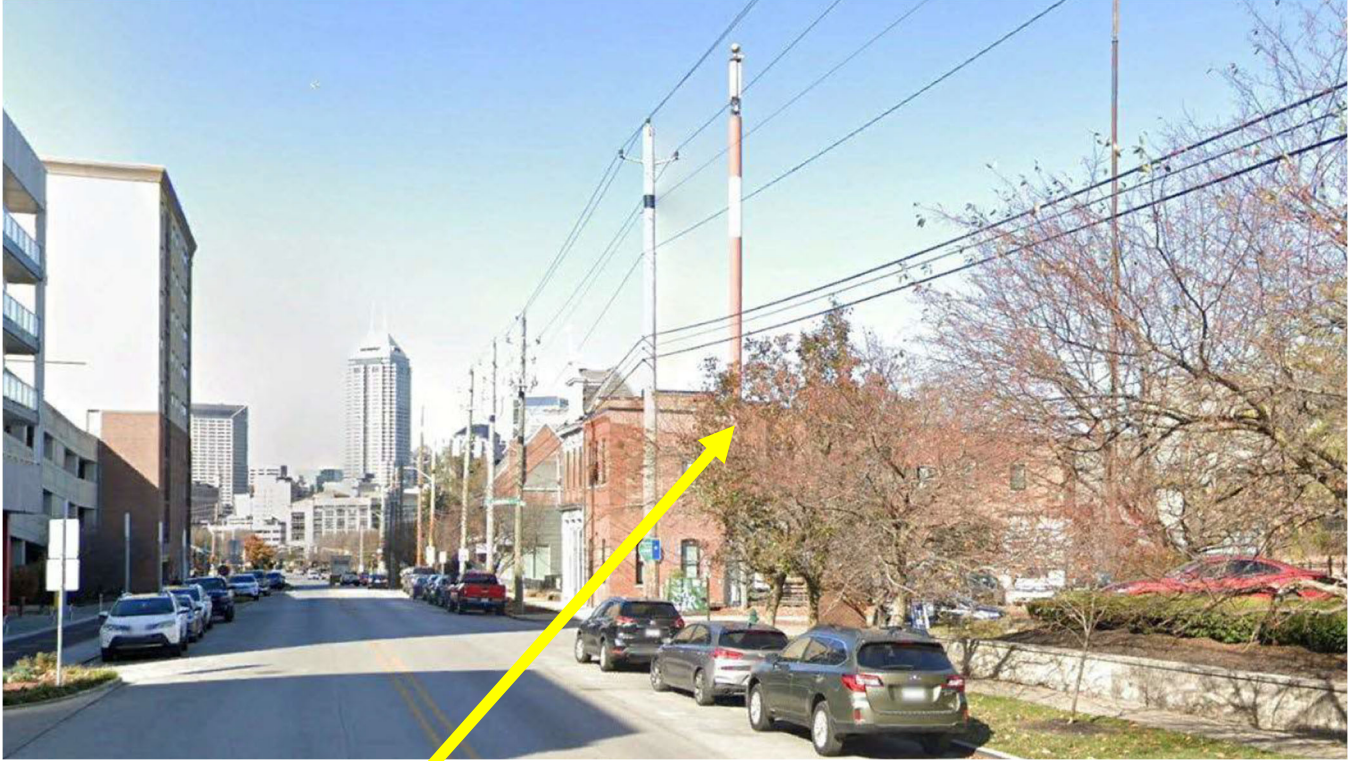
PHOTOGRAPH SHOWING POLE DIAMETER 2'.



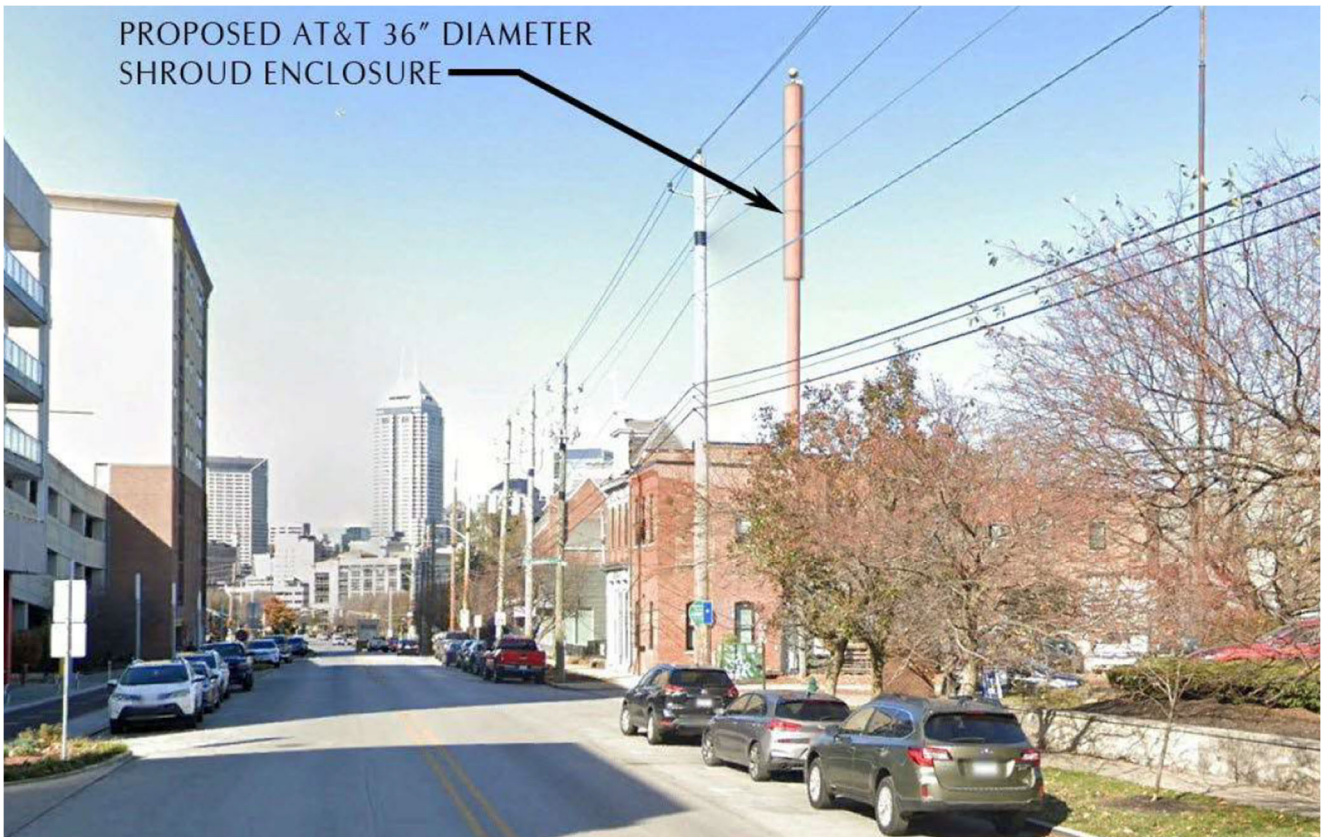
PLANS







Existing pole. Looking northwest from Virginia Ave.



Proposed, looking northwest from Virginia Ave.



Existing pole looking southeast from Virginia Ave.



Proposed, looking southeast from Virginia Ave.



View of existing pole from Lexington Ave. to the south



View from intersection of Lexington Ave. and Park Ave. Trees help to block view of pole.



View from farther east on Lexington. Pole is here behind trees.



View of pole looking southwest on Park Ave. from in front of 426 Park Ave.



Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date:	March 6, 2024
Case Type:	New
Continued From:	
Case Number:	2024-COA-034
Property Address:	1806 N. Alabama Street
Historic Area:	Herron-Morton Place
Township:	Center
Council District:	12
Applicant:	Melissa Iannucci
Owner:	New Revelation Baptist Church
Request:	Demolish historic building
Staff Recommendation:	APPROVAL, with conditions
Staff Reviewer:	Emily Jarzen

BACKGROUND OF PROPERTY

The 1898 Sanborn map shows three houses on three lots along this stretch of N. Alabama. The three lots have been combined into one large lot. Timeline of the site's history:

- On the northern lot (location of the single extant building), the previous frame dwelling was demolished ca. 1920, after the owner built the combination photo shop/residence at the back of the lot. The shop developed photos for drug stores. The building has an added stucco finish (Sanborn maps indicate the building was frame). All windows have been replaced. The first concrete block addition was constructed between 1941 and 1954, on the south façade.
- The middle house was demolished between 1962 and 1972.
- The house on the southernmost lot was demolished between 1972 and 1979.
- 1979 – Variance granted for religious use
- 1993 – IHPC granted a COA to retain the asphalt surfacing of a previously existing parking lot.
- 2002 – IHPC approved a 1-story concrete block & EIFS addition on the south façade, in front of the ca. 1940s addition. At this time, the IHPC also approved a special exception for expansion of a religious use.
- 2004 – IHPC granted a Certificate of Authorization to expand the parking lot. Another special exception to expand a religious use was granted.
- 2022 – Parking lot expanded directly in front of the building, with no approvals.
- 2023 – Property (building, parking lots, vacant lots) put up for sale.

REQUEST

The request is to demolish the building. Plans for new construction would come back for approval at a later date.

HISTORIC AREA PLAN RECOMMENDATION

The Herron-Morton Place Plan outlines the following regarding when demolition might be considered:

- *Demolition is not permitted if the building is of historic or architectural significance or displays a quality of material and craftsmanship that does not exist in other structures in the area.*
- *Demolition is not permitted if the building contributes to the neighborhood and the general street's appearance and has an affect on other buildings in the area.*
- *Demolition may be considered if the building is beyond all feasible economic repair as determined by the Commission and/or consultants it wishes to employ.*

The goals of the Land Use Plan list the following:

- *Recognize, re-establish and strengthen residential use as the primary use in Herron-Morton Place.*
- *Support the construction of compatible infill housing in the district, strengthening the remaining residential fabric.*
- *Provide for the eventual elimination of inappropriate non-neighborhood serving uses through replacement housing or commercial development.*

The only non-commercial or non-residential use noted in the Land Use Plan is the Greater Faith Apostolic Church located at 2102 Central Avenue. While not explicitly stated, this indicates to staff that the building and use at the subject site of 1806 N. Alabama are considered inappropriate to the neighborhood.

STAFF RECOMMENDATION

Staff is recommending approval of the application due to its compliance with the HMP Plan.

Historic/Architectural Significance: Due to the highly impactful building alterations, it does not display a quality of material and craftsmanship that does not exist on other structures in the area. The stucco was added, a concrete block addition that is not reflective at all of the original architecture was added in the 1940s-1950s, and all windows have been replaced. Another addition almost fully obscuring the south façade was approved by the IHPC in 2003 with a Certificate of Appropriateness. Additions obscuring highly visible facades are not considered appropriate on historically significant structures.

Contribution to the neighborhood & the general street's appearance and affect on other buildings in the area: The location decreases the building's significance and contribution to the neighborhood, and staff believes it negatively impacts the context by its inconsistent setback, vacant lots associated with the use, and parking lots to support the use. The building was once mistakenly considered an accessory building, but was designed and built as a primary building with a commercial use. Its highly inconsistent setback, and its commercial and institutional uses have led to inappropriate additions, demolition of nearby houses, and continual growth of the parking lot footprints.

Recognize and re-establish elimination of non-neighborhood serving uses: The current use is in direct conflict with the Herron-Morton Place Plan, which recommends this site for D-8 residential use. The lots are zoned D-8. For any commercial use, a rezone or variances will be required. The HMP Plan does not include the church use at this site as a non-commercial/non-residential use considered appropriate to the neighborhood. A continued commercial/institutional use will likely require continued use of some or all of the surface parking lots covering multiple residential lots.

Staff is recommending that a stipulation be included that a wrecking permit not be issued until final construction drawings have been approved for new construction on the northernmost 50' of the lot.

EXISTING ZONING VIOLATIONS

While the current conditions are not being pursued for legalization at this time (since the property was put up for sale and the buyer wants to remove the parking areas their totality), if the church use or another non-residential use is eventually pursued, the current added parking area requires multiple variances. After multiple conversations with Current Planning, since the religious use has continued to expand over time since originally approved in 1979, that if that use is to continue, a rezone to SU-1 should strongly be considered.

Current deficiencies require the following Variances of Development Standards:

- Allow a front yard parking lot to exceed 30' in width.
- Deficient parking stalls
- Deficient aisle width
- Deficient width required for ADA parking spaces
- Deficient landscaping in required transitional yards.
- Special Exception or rezone to again expand the religious use.

CERTIFICATE OF AUTHORIZATION

Staff is recommending this for a Certificate of Appropriateness, based upon the HMP Plan and alterations previously approved by the IHPC. However, if the commission is more comfortable, a Certificate of Authorization could also be an option. A certificate of authorization can be granted if the Commission finds the request to be inappropriate but one of the following conditions is met:

1. Denial would result in substantial hardship.
2. Denial would deprive the owner of all reasonable use and benefit of the subject property, or
3. The effect of approval upon the historic area would be insubstantial

STAFF RECOMMENDED MOTION

COA #2024-COA-034 (HMP):

To approve a Certificate of Appropriateness to demolish the building located at the alley, per the submitted documentation and subject to the following stipulations:

DBNS: Stipulation #1 must be fulfilled before the issuance of wrecking or other permits.

- 1. Project must have final construction drawings approved prior to wrecking permit being pulled. Approved: _____ Date: _____**

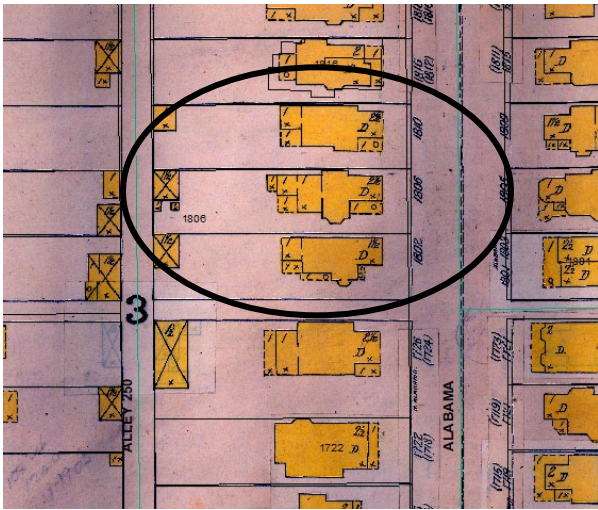
- 2. All debris must be removed from the site within 7 days of demolition.**
- 3. Any changes to the approved scope or design shall be approved by IHPC staff prior to starting work.**

NOTE: Owner is responsible for complying with all applicable codes.

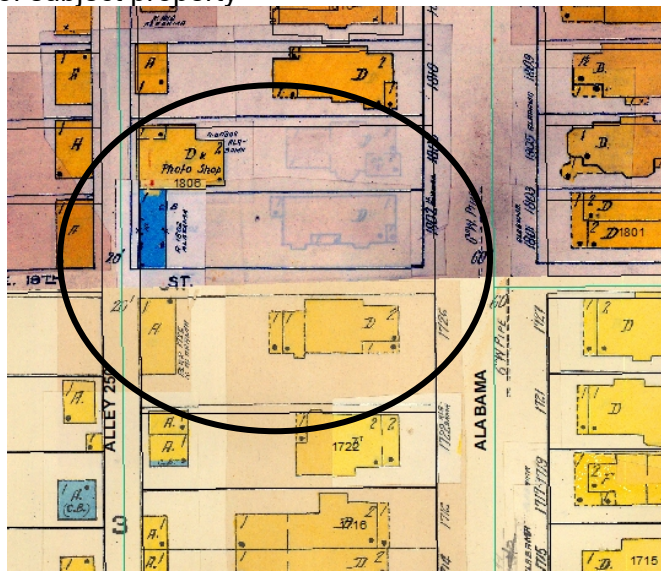
EXHIBITS



Location of subject property



1898 Sanborn map



1915 Sanborn (updated to early-mid 1960s)



Project site



View of subject lots & building, looking northwest



View of subject lot & building, looking southwest



1806 N. ALABAMA ST. 1986/2 GSB-JH
1986 Photo



South façade before IHPC approved addition, 2002



Subject property, with south and east facades visible



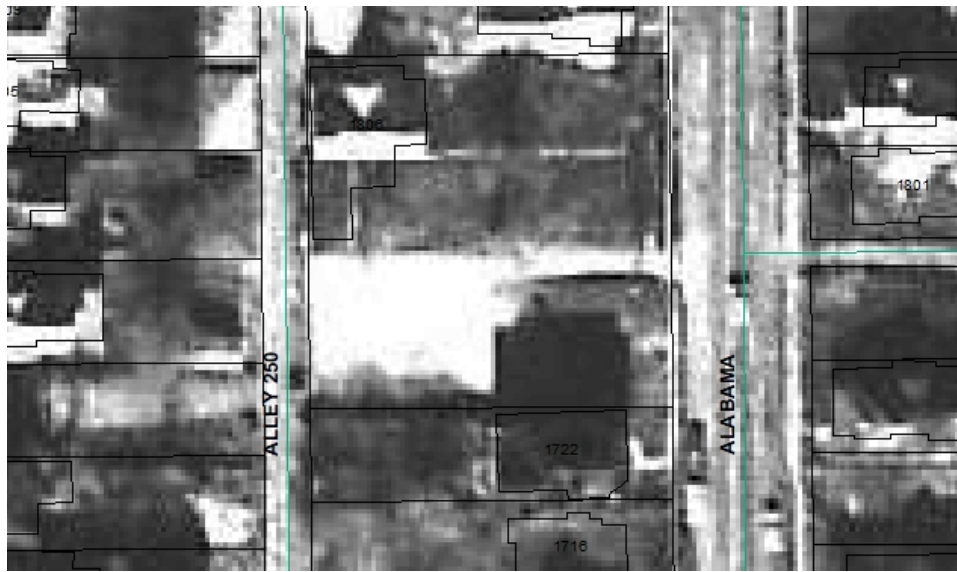
South façade with coated concrete block additions (1940s/50s, left and 2003, right)



North façade



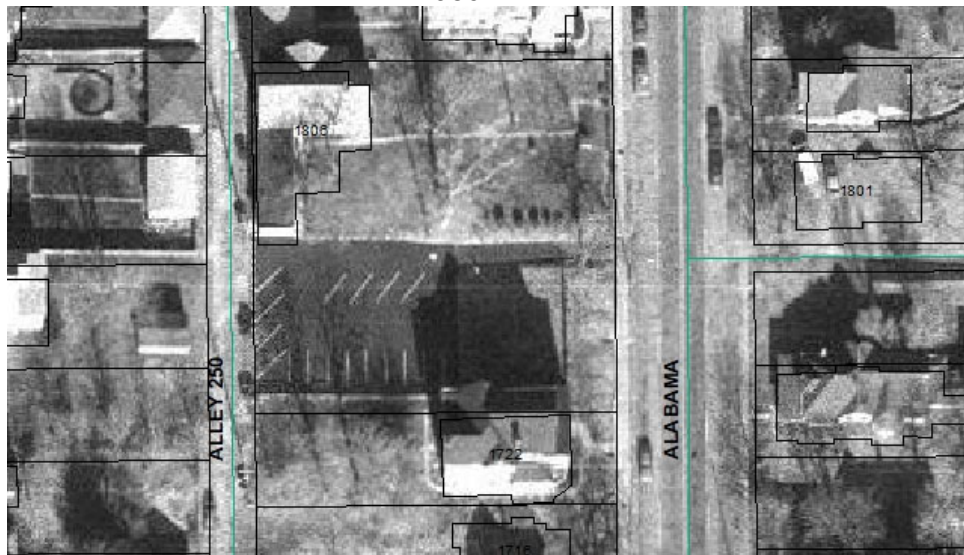
1972 Aerial



1979 Aerial



1986 Aerial



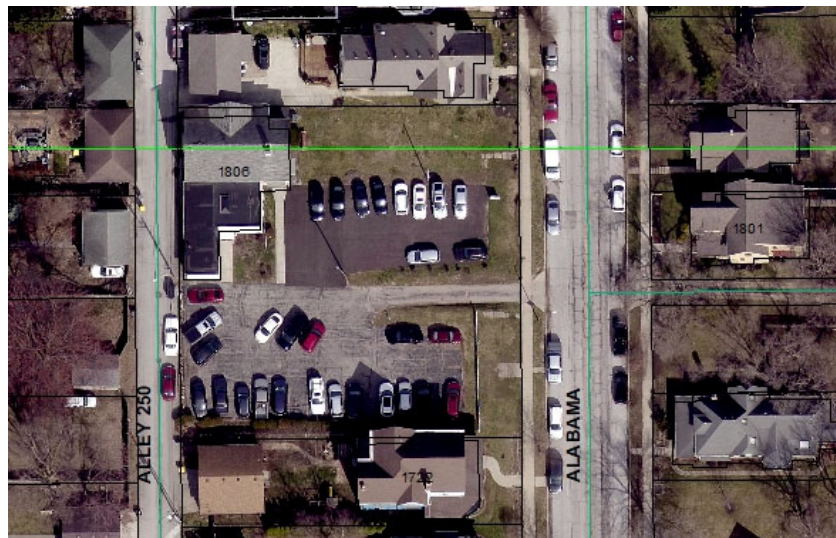
1995 Aerial



2003 Aerial



2022 Aerial



2023 Aerial



The Indiana Album: Donna (Farley) Winsted Collection

Photo Shop interior, 1950s/1960s



The Indiana Album: Donna (Farley) Winsted Collection

Photo Shop Interior 1950s/1960s



The Indiana Album: Donna (Farley) Winsted Collection

Exterior, ca. 1960



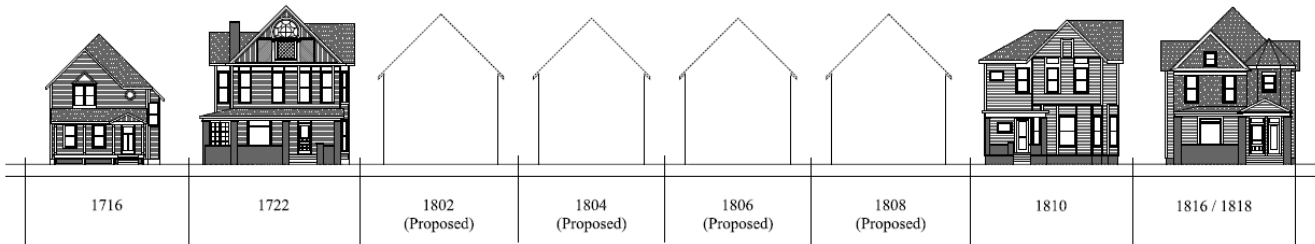
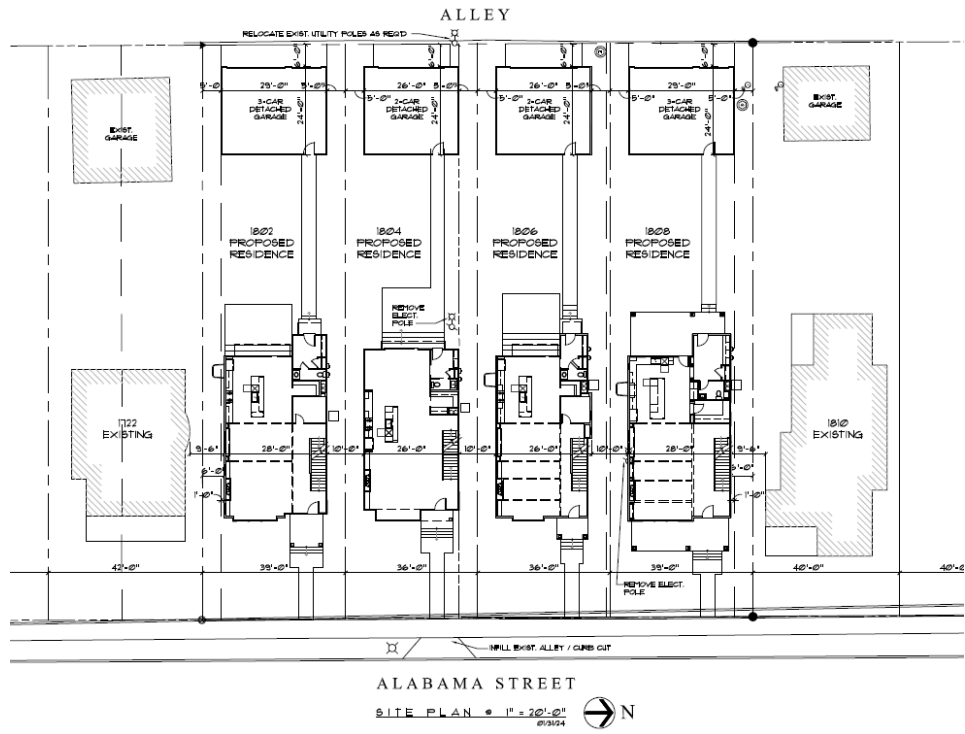
Current interior



Current interior



Future Project Concept if demolition is approved: NOT currently under review



Neighborhood Remonstrance Letter



Indianapolis Historic Preservation Commission
200 East Washington Street, Room #1801
Indianapolis, IN 46204
Attn: Emily Jarzen, Principal Architectural Reviewer
RE: 2024-COA-034 | 1806 N Alabama Street

February 23, 2024

Dear Indianapolis Historic Preservation Commission:

The Historic Preservation and Land Use Committee of Herron-Morton Place (LUC) would like to voice concern about the proposal by M3 Urban Investment Group LLC to demolish the historic structure at 1806 N. Alabama Street for the construction of four single-family homes with standard two-car garages facing the alley.

The Historic Area Preservation Plan for Herron-Morton Place states that “only in extreme cases can demolition of any historically and/or architecturally important building in Herron-Morton Place be justified,” adding that “the fact that so many historic buildings have already been demolished makes the remaining buildings all the more valuable.”

The plan further stipulates that “demolition is not permitted if the building is of historic or architectural significance or displays a quality of material and craftsmanship that does not exist in other structures in the area,” or “if the building contributes to the neighborhood and the general street’s appearance and has an effect on other buildings in the area.” There are two exceptions to this: a structure may be demolished if it is “beyond all feasible economic repair as determined by the Commission,” or “an immediate threat to health and safety.”

It is the position of the Herron-Morton Neighborhood that proposals for demolition of historic structures should be approached with great trepidation and preferably reserved for situations where keeping the structure is not an option.

The HMP LUC has seen no sign that either listed exception is met. This month the building was still actively used as a church, and there is no sign of threat to health and safety. From the outside, the building appears in decent condition, though it is admittedly in need of significant work. We further believe that the structure is of

historic and architectural significance, as defined by the neighborhood's Preservation Plan.

Absent on the 1896 Sanborn map, the surviving stucco structure adjacent to the alley first appears drawn in on the 1915 Sanborn map. It is identified as "photo shop." It also appears in the 1927 Baist atlas. The Sanborn also shows an additional structure, in blue (indicating this is a concrete and cinderblock building) that fits the profile of part of the surviving one-story cinderblock structure connected to the stucco house. The 1896 Sanborn map shows for 1806 N Alabama a large house at the street side that is washed out on the 1915 map and the area between the surviving stucco structure has remained vacant since, while a thin concrete walkway connected the stucco structure to Alabama street.

The structure has an interesting history as well. It was built by Inda (Snider) Myers (1880–1972) to house her film and photo processing lab, called the Myers Photo Shop. She and her husband Frederick A. Myers had operated a photo studio on the site as early as the 1910s. This venture ended abruptly in 1920 when Inda shot and killed her husband in self-defense in their home/studio. After serving a short time in prison, no longer wanting to live in the house, Inda built the existing studio and shop, with upstairs living quarters on the back of the lot, and she demolished the original, street-facing house at 1806 N Alabama St.



Photo Shop Workshop (1957) and Studio (c.1960)
Indiana Album: Donna (Farley) Winsted Collection

Herron-Morton Place Neighborhood Association ❖ *Herron-Morton.com*

Combined with the Sanborn/Baist data, this puts the origin of the structure in the early- to mid-1920s. The Myers Photo Shop continued to be in operation until the 1960s, making it a long-time fixture in the neighborhood, in addition to being a nice illustration of architecture designed to accommodate an early 20th century (single)-woman-owned and -operated small business. Subsequently, the structure has been the church of two predominantly black congregations—the New Baptist Revelation Church and The Sanctuary Church. The latter use makes it one of the few remaining structures in the neighborhood exemplifying part of the culture and experience of black community in the more recent past.

Since the applicants have been emphasizing that demolishing the structure is justified because it is not significant, we would like to add that in our view preservation in a historic neighborhood is not just about conserving the highlights, but pertains to the overall texture of the neighborhood, how it feels when you walk its streets *and* alleys, and where you stumble on things that are different, unexpected, because of how they evolved historically, often in obscure and circuitous ways.



Myers Photo Shop (c.1960)
Indiana Album: Donna (Farley) Winsted Collection

Considering all of this, we question the applicant's contention that this is not a building worth preserving, a position that was presented to us earlier this week as based on the condition of the building, its lack of historic or architectural

Herron-Morton Place Neighborhood Association ❖ *Herron-Morton.com*



significance, and the fact that it was not the original structure on the site (suggesting that history stops at construction).

It was also portrayed as impeding new development on the site.

This last point however seems premised on the proposed plan of four single-family homes with alley-facing garages; a plan that the applicant sees as restoring what was originally there (though the applicant does not envision bringing back the vacated alley to make this restoration complete).

It seems to the HMP LUC that this is not the only option for this site. There are no doubt numerous other solutions as well, suggesting that a more creative approach to the space negates the demand for demolition. The historic structure does not block progress, but it helps shape it.

Submitted respectfully on behalf of the Historic Preservation and Land Use Committee by,

A handwritten signature in cursive script that reads "Cornelis de Waal".

Cornelis (Kees) de Waal



Indianapolis Historic Preservation Commission (IHPC) **STAFF REPORT**

IHPC STAFF REPORT SUMMARY

Hearing Date:	March 6, 2024
Case Type:	Work Started Without Approval
Continued From:	January 3, 2024; February 7, 2024
Case Number:	2023-COA-506B (ONS)
Property Address:	1201 North Delaware Street
Historic Area:	Old Northside
Township:	Center
Council District:	13
Applicant:	Mike Lynch and Jamey Smith
Owner:	Traders Point Christian Church INC % Attn Controller
Request:	Maintain non-matching siding and cornice wrap installed without approval
Staff Recommendation:	DENIAL
Staff Reviewer:	Shelbi Long

BACKGROUND OF PROPERTY

The subject property is a Neo-Classical Revival church constructed in 1912 and designed by Spencer, Solon, Beman of Chicago. The building was designed for the Second Church of Christ Scientists and is noted in the district plan as one of the best examples of Neo-Classical Revival style in Indianapolis. In December 2020, IHPC staff granted a COA for a variety of work to the building including the replacement of the asbestos shingles on the clerestory with fiber cement shake wall panels to match the existing siding and the replacement of the clerestory's metal cornice wrap also to match the existing (2020-COA-547).

In September of 2023 IHPC staff discovered uneven shake shingle siding on the west and south elevations of the clerestory. Staff researched the property and its previous cases to find the 2020 approval for replacing the asbestos shingles. Upon reviewing previous images of the property, it was determined the new material did not match the previous as was approved and the work was therefore in violation. The Department of Business and Neighborhood Services inspected the property and opened case VIO23-006618. The applicants reached out to staff about maintaining the work as installed, and they were advised to apply for a COA.

In reviewing images of the building for the January 2024 Commission hearing report, staff noticed differences between the previous clerestory cornice wrap and the replacement. The cornice had two insets on the west/front elevation that were not replicated in the new wrap. This change in the profile of the cornice was not permitted by the COA, and so that portion of the work was added to this request.

REQUEST

Siding

Fiber cement shake shingles with an uneven hanging pattern have been installed on the clerestory. The shakes are finished in a grey color. Per 2020-COA-547 the width, exposure and layering of the replacement shingles was to match the asbestos shingles and the new product was required to be hung straight horizontally. The request is to maintain the siding as installed. The applicants have stated that they are concerned that the original windows and new cornice piece may be damaged if additional work is required.

Based on historic photographs taken shortly after the completion of the building it appears that the clerestory was finished in a type of stucco, so the asbestos was a later alteration. It is unknown when the shingles were added. The production of asbestos shingles in the United States began in the early 20th century and quickly grew in popularity, so it is possible that their installation was a very early alteration.

Cornice

A new metal cornice wrap has been installed on the clerestory. On the west elevation the profile of the wrap has been altered. It is flat rather than having the same inset features of the previous. The new cornice wrap is a grey color, matching the new siding. Per 2020-COA-547, the new wrap was to match the dimensions and profile of the previous. The applicants have stated that there was no wood framing under the previous cornice wrap that indicated these insets, and the new wrap was fabricated based on the framing. Similar insets and profile changes are found on the north and south sides which were replicated in the new wrap. The applicants noted that this change in profile allowed for a straight drop at the downspout, creating less of a chance of freezing in the built-in gutter. The request is to maintain the cornice as installed.

Based on historic photographs of the building the original cornice had these two insets which then continued down into the wall, near the corners on the west/front elevation. That feature is still present on the north and south sides of the clerestory. Prior to the work under this request being completed, the insets in the wall on the west/front elevation were removed. That feature only remained in the cornice on this elevation of the clerestory. It is unknown when that alteration work took place.

CONTEXT

The subject property is located at the southern boundary line of the district, bordering Interstate 65. To the north are a brick Italianate dwelling and frame Italianate cottage, both of which are currently occupied by commercial uses, and the historic Windsor apartment building. Directly to the east are residential uses, and to the west is the Benjamin Harrison Presidential site.

HISTORIC AREA PLAN RECOMMENDATION

Masonry Buildings

- Consider repairing or replacing, where necessary, deteriorated material with new material that duplicates the old as closely as possible.
- Avoid applying new material which is inappropriate or was unavailable when the building was constructed.

Roof

- Consider preserving the original roof shape.
- Consider preserving or replacing, where necessary, all architectural features which give the roof its essential character, such as dormer windows, cupolas, cornices, brackets, chimneys, cresting, and weather vanes.
- Avoid stripping the roof of architectural features important to its character.

STAFF RECOMMENDATION

Staff finds the request to maintain the non-matching, rusticated shake siding and non-matching cornice wrap on the clerestory to be in direct conflict with the district plan and is recommending denial of the request.

If the Commission finds a request to be inappropriate, a Certificate of Authorization could be granted, but only if the request meets one of the following criteria:

- 1. Denial would result in substantial hardship
- 2. Denial would deprive the owner of all reasonable use and benefit of the subject property, or
- 3. The effect of approval upon the historic area would be insubstantial.

Staff does not believe the criteria for a Certificate of Appropriateness or Authorization as outlined in the IHPC’s State Statute is met in this case for the following reasons:

- 1. Any financial hardship that might exist was self-imposed caused by failure on the part of the owner/applicants to seek approval for the non-matching materials prior to the commencement of work.
- 2. Denial will not deprive the owner of the use of the property.
- 3. The shake shingles used for the project are residential in nature and not compatible with the Neo-Classical Revival style of the church. Their installation is in direct conflict with the historic district plan, which states replacement materials should duplicate the old, and there are products available on today’s market that better replicate the dimensions and patterning of the previous material. The use of uneven rusticated shakes is not permitted in IHPC districts, even on new construction.

The alteration of a cornice profile is in direct conflict with the plan. Cornices are an important element of a roof’s historic character and are to be maintained. It appears that the area had alterations prior to this work taking place, but in the event historic materials have been previously altered or removed they should be restored when new work takes place.

STAFF RECOMMENDED MOTION

To deny a Certificate of Appropriateness or Authorization to maintain the replacement shingle siding on the west and south sides of clerestory and denial to retain non-matching metal cornice wrap as installed without approval.

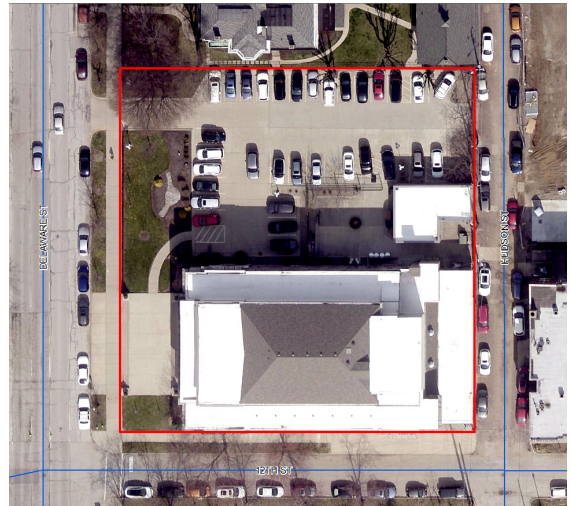
Siding and cornice wrap must be replaced with appropriate materials to match the previous materials per original COA no later than September 6, 2024. The applicant must receive approval from IHPC staff for the new products, prior to purchase and installation.

Once the work is complete, the applicant/owner must contact IHPC staff to set a time for an inspection.

Materials - Approved _____ Date _____
Final Inspection _____ Date _____

Failure to comply will result in this case being forwarded to the City Prosecutor for enforcement.

SUBJECT PROPERTY



**Second Church of Christ Scientist - 1915 (Bass #43348F),
Bass Photo Co Collection, Indiana Historical Society**



**Close up of clerestory of Second Church of Christ Scientist - 1915 (Bass #43348F),
Bass Photo Co Collection, Indiana Historical Society**

Clerestory conditions in 2018



West elevation



South elevation

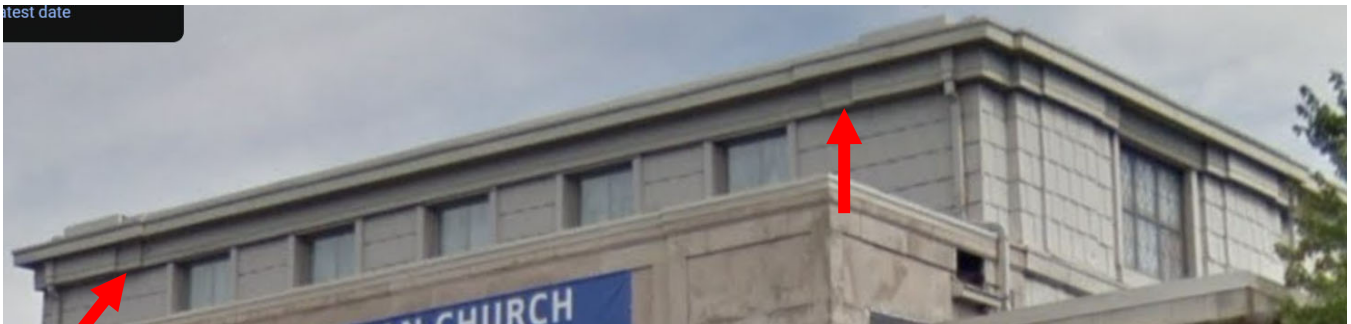
SIDING & CORNICE INSTALLED



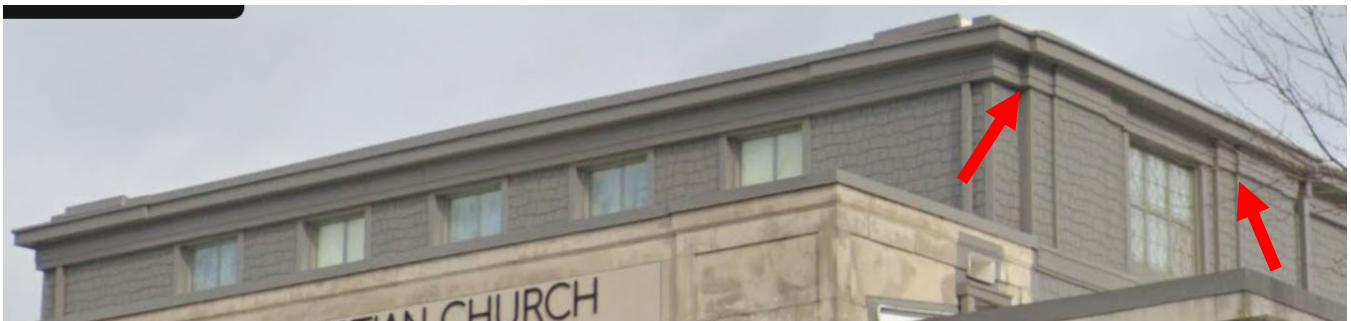
Before – front/west elevation (arrows: inset elements removed)



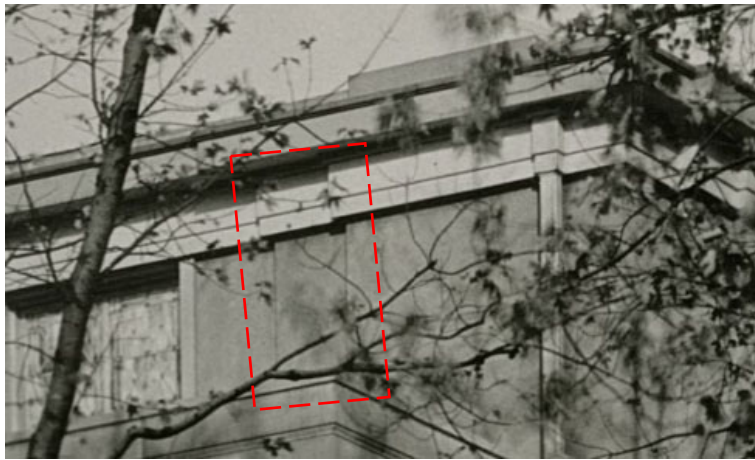
After – front/west elevation



Before – front/west and partial south elevations (arrows: inset elements removed)



**Before – front/west and partial south elevations
(arrows: similar insets elements remaining on south elevation)**



**1915 image of clerestory showing two insets in the cornice, that continued down the wall
Second Church of Christ Scientist - 1915 (Bass #43348F),
Bass Photo Co Collection, Indiana Historical Society**



View of siding and cornice installed



Shingles that were replaced

Views from ground



Front/west façade





Views of the west and south sides

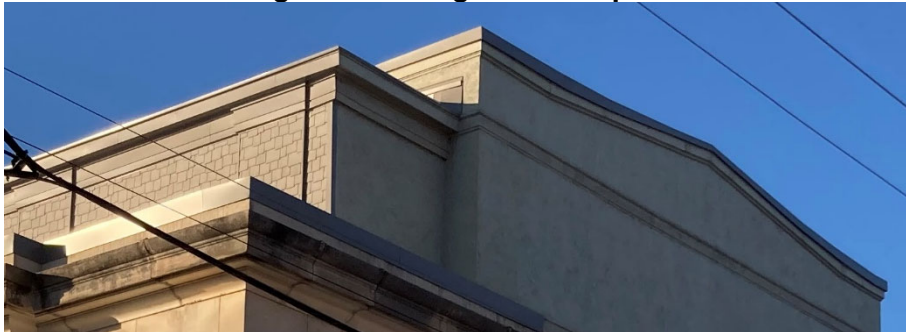


South side

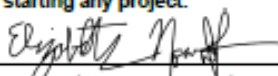
Northwest corner showing where shingles and exposed stucco material meet



Southeast corner showing where shingles and exposed stucco material meet



Previous case COA for siding and cornice wrap

INDIANAPOLIS HISTORIC PRESERVATION COMMISSION		
<p style="color: blue; font-weight: bold; font-size: 1.2em;">APPROVED</p> <p style="color: red; font-weight: bold; font-size: 1.1em;">DEC 10, 2020</p> <p style="font-size: 0.8em;">INDIANA POLIS HISTORIC PRESERVATION COMMISSION</p>	<h1 style="margin: 0;">CERTIFICATE OF APPROPRIATENESS</h1>	<p style="color: blue;">This certificate should be displayed in a location visible from the street.</p>
FILE NUMBER: 2020COA547	DATE APPROVED: December 10, 2020	HISTORIC AREA: Old Northside
<p>FOR WORK TO BE DONE AT: 1201 N. DELAWARE ST</p> <p>APPLICANT: Frank J. Smith II</p> <p>ADDRESS: 9750 E 150th Street CITY/STATE: Noblesville, IN ZIP CODE: 46060</p>		
<p>TYPE OF WORK APPROVED UNDER THIS CERTIFICATE:</p> <p>Approval of a Certificate of Appropriateness to replace asbestos wall panels with Hardie Panel Shake wall panels; replace metal cornice wrap; fabricate new gutters to match originals; install Owens-Corning Oakridge shingles on upper roof; per submitted documentation and subject to the following stipulations:</p> <ol style="list-style-type: none"> 1. Replacement gutters and downspouts must be located in the same location as the original and retain the same dimensions and finish. 2. Roof decking may be repaired or replaced where necessary. Where roof decking is exposed at eaves, the decking shall match the existing historic material that it replaces. Plywood or OSB decking material may be used in areas where it will be covered by roofing or overhang materials. 3. New shingles shall be OWENS CORNING in DRIFTWOOD. 4. No alterations to roof size, shape, or pitch are permitted with this approval. 5. Replacement aluminum wrap on cornice trim shall be painted or prefinished. 6. Replacement metal cornice items shall match the existing dimensions and profile of the existing. 7. Exposure and layering of replacement HARDIEPLANK SHINGLES shall match the asbestos shingles on west and south elevations on the building. 8. New shingle siding shall be horizontally straight and shall match the width of the existing shingle siding; uneven "rustication" is NOT permitted. 9. Notify IHPC staff prior to making unexpected repairs. 10. No changes to the proposed design, location, configuration, or method of installation are permitted without prior consultation with IHPC staff. 11. Any deviation from this approach shall be approved by IHPC staff prior to construction. 12. NOTE: Owner is responsible for complying with all applicable codes. 13. NOTE: Owner is responsible for assuring that no construction occurs in the public right-of-way. <p style="font-size: 0.8em; margin-top: 10px;">General Note: Permits are required for some work. Please contact the Permits office at 1200 Madison Ave, (317) 327-8700, to acquire all applicable permits prior to starting any project.</p> <p style="text-align: right; font-size: 0.8em;">BY:  Elizabeth Nowak, Preservation Planner</p> <p style="font-size: 0.8em; margin-top: 10px;"> <input type="checkbox"/> IHPC HEARING <input type="checkbox"/> ADMINISTRATIVE HEARING <input checked="" type="checkbox"/> STAFF APPROVAL </p>		
<p>NOTICE: THIS CERTIFICATE WILL BECOME VOID AFTER: 12/10/2021. CONTACT THE IHPC OFFICE IF AN EXTENSION OF THE EXPIRATION DATE IS NEEDED.</p> <p style="font-size: 0.7em;">THIS CERTIFICATE IS A PREREQUISITE TO THE ISSUANCE OF ANY BUILDING OR DEMOLITION PERMITS, IMPROVEMENT LOCATION PERMITS, WHEN REQUIRED, AND TO THE GRANTING OF ANY USE VARIANCES OR REZONINGS IN ALL DESIGNATED HISTORIC AREAS OF MARION COUNTY, INDIANA.</p> <p style="text-align: center; font-weight: bold; font-size: 0.8em;">INDIANA CODE 36-7 CHAPTER 11.1</p> <p style="font-size: 0.7em;">THIS CERTIFICATE IS NOT IN AND OF ITSELF PROOF THAT THE MATERIALS AND DOCUMENTS PRESENTED TO OBTAIN A BUILDING, DEMOLITION, IMPROVEMENT LOCATION, OR OTHER PERMITS REFLECT THE SCOPE OF WORK APPROVED BY THE IHPC, UNLESS SAID MATERIALS OR DOCUMENTS BEAR AN APPROVAL STAMP AND DATE FROM THE INDIANAPOLIS HISTORIC PRESERVATION COMMISSION.</p>		
<input type="checkbox"/> RECORDS <input type="checkbox"/> BUILDING FILE <input checked="" type="checkbox"/> APPLICANT		