

2024-COA-018 (HMP)
414 E. 17TH ST.



HAMPTON - GARAGE

414 E 17TH ST

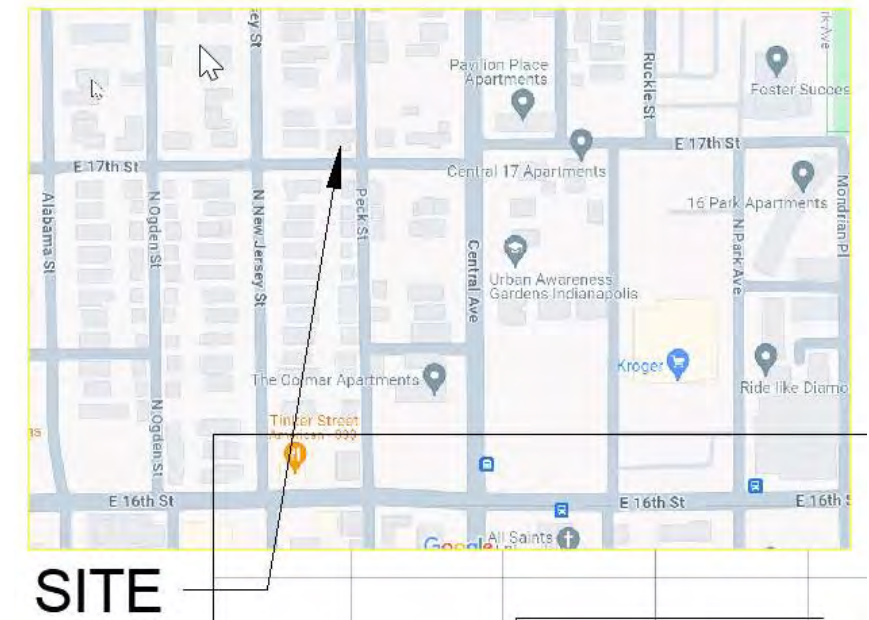
PARCEL # 1101223

HERRON-MORTON PLACE

OWNER: THEODORE & CASEY HAMPTON

IHPC SUBMITTAL PACKAGE 1/5/2024

REV 2/9/2024



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414 E 17TH ST

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HERRON-MORTON PLACE

OWNER: THEODORE & CASEY HAMPTON

ZONING D8 COMPACT

SUBDIVISION: ALLEN & ROOTS NORTH ADDITION

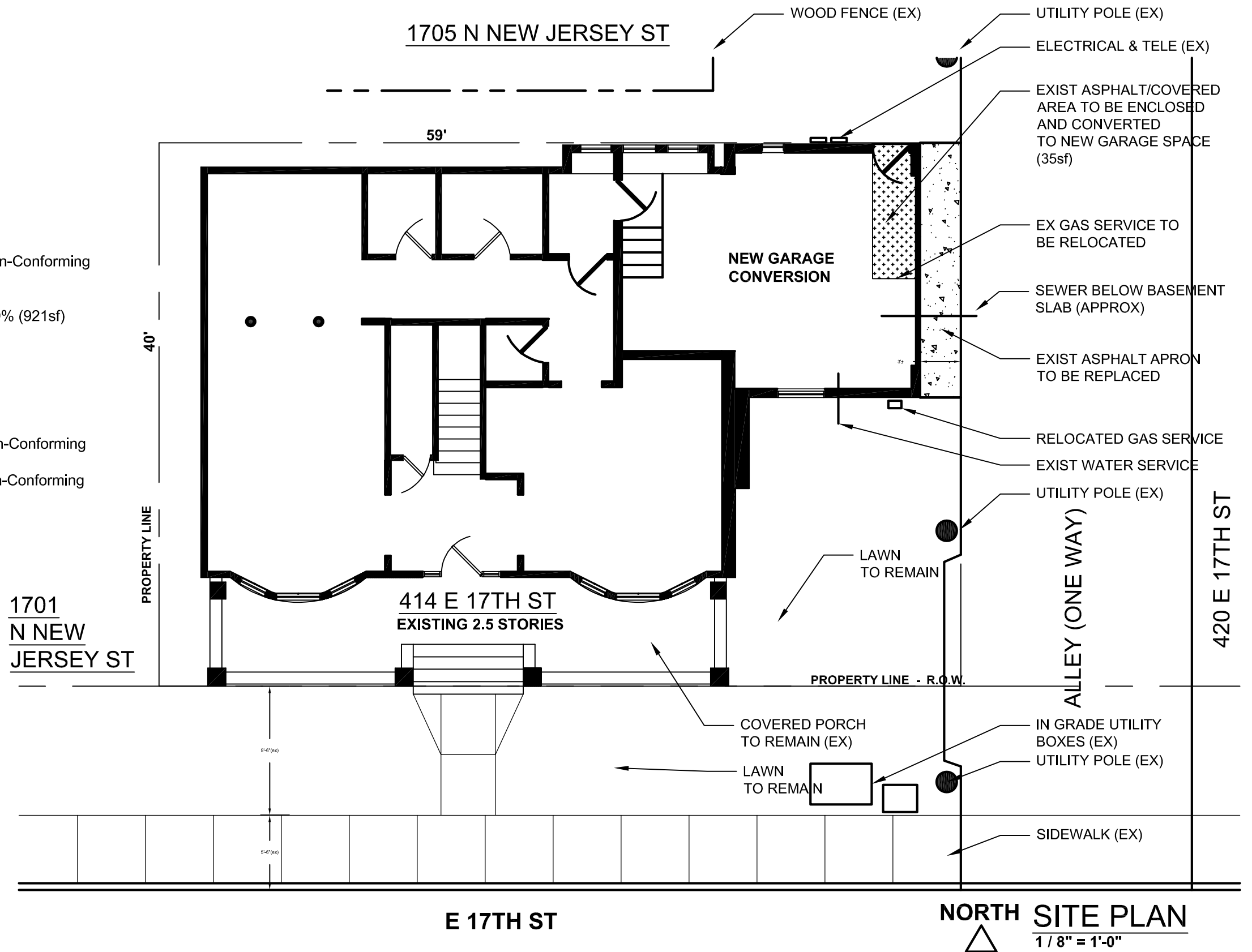
HERRON-MORTON PLACE HISTORICAL DISTRICT

USE: SINGLE FAMILY DETACHED

FRONTAGE	REQ 30' min	PROV 59'	No Changes (744.201-1)
MIN LOT AREA:	2.5K >	2,360 sf	No Changes - Existing Non-Conforming (742.103.03)
OPEN SPACE	20% (472sf)	37.5%(885sf)	(742.103.03) - Existing 39% (921sf)
COVERED/ IMPERVIOUS AREA		1,927 sf	No Changes
SETBACKS (744-201-2):			
FRONT:	REQ 20'	PROV 0'	No Changes - Existing Non-Conforming
SIDE:	3'	3' ea	No Changes
REAR:	15'	0'	No Changes - Existing Non-Conforming
HEIGHT	35' max	+/- 35'	No Changes (742.103.03)
STORIES	2.5 max	2.5	No Changes (742.103.03)

Code:
2020 Indiana Residential Code

Rev 2024/02/09

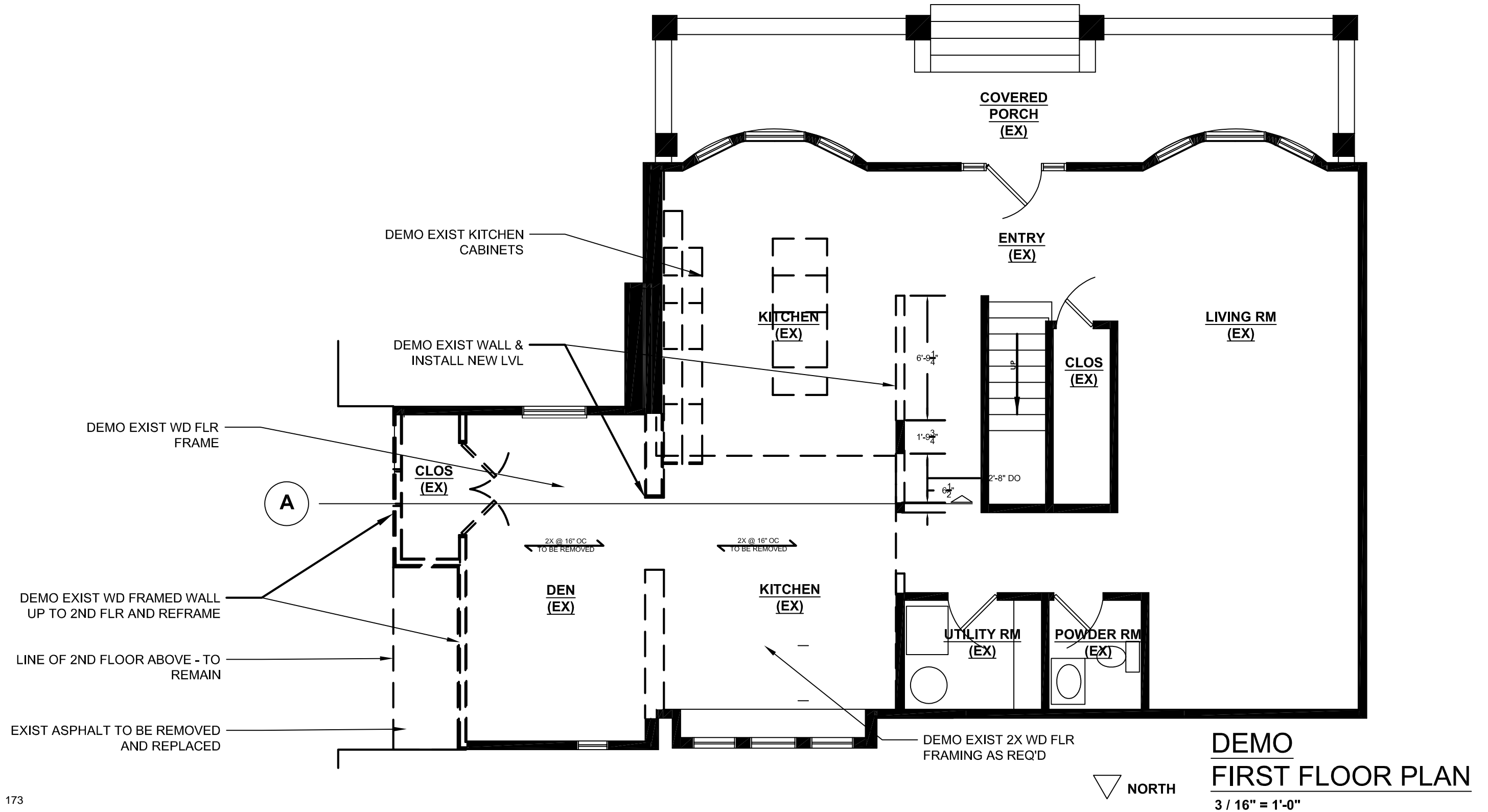


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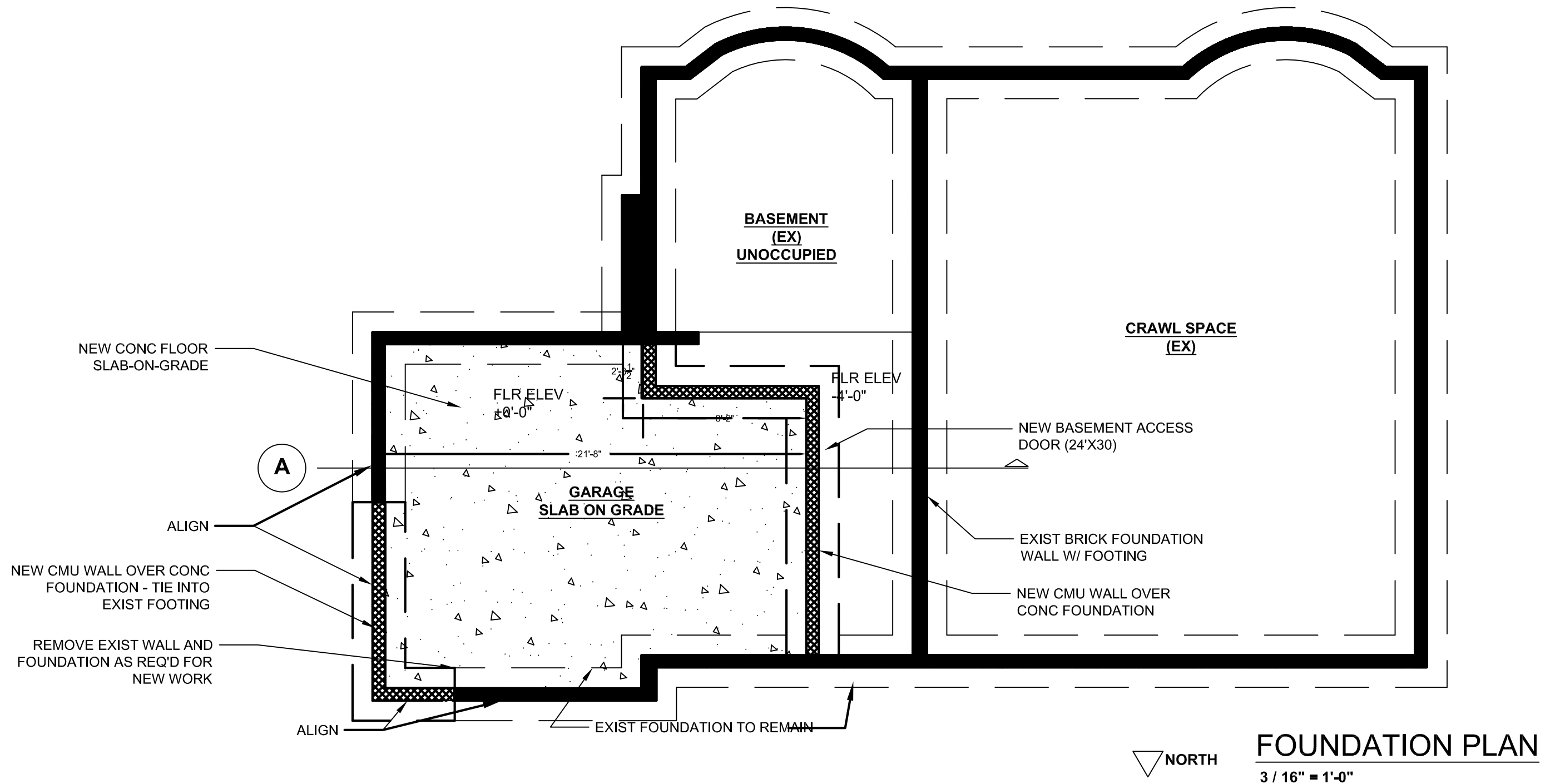


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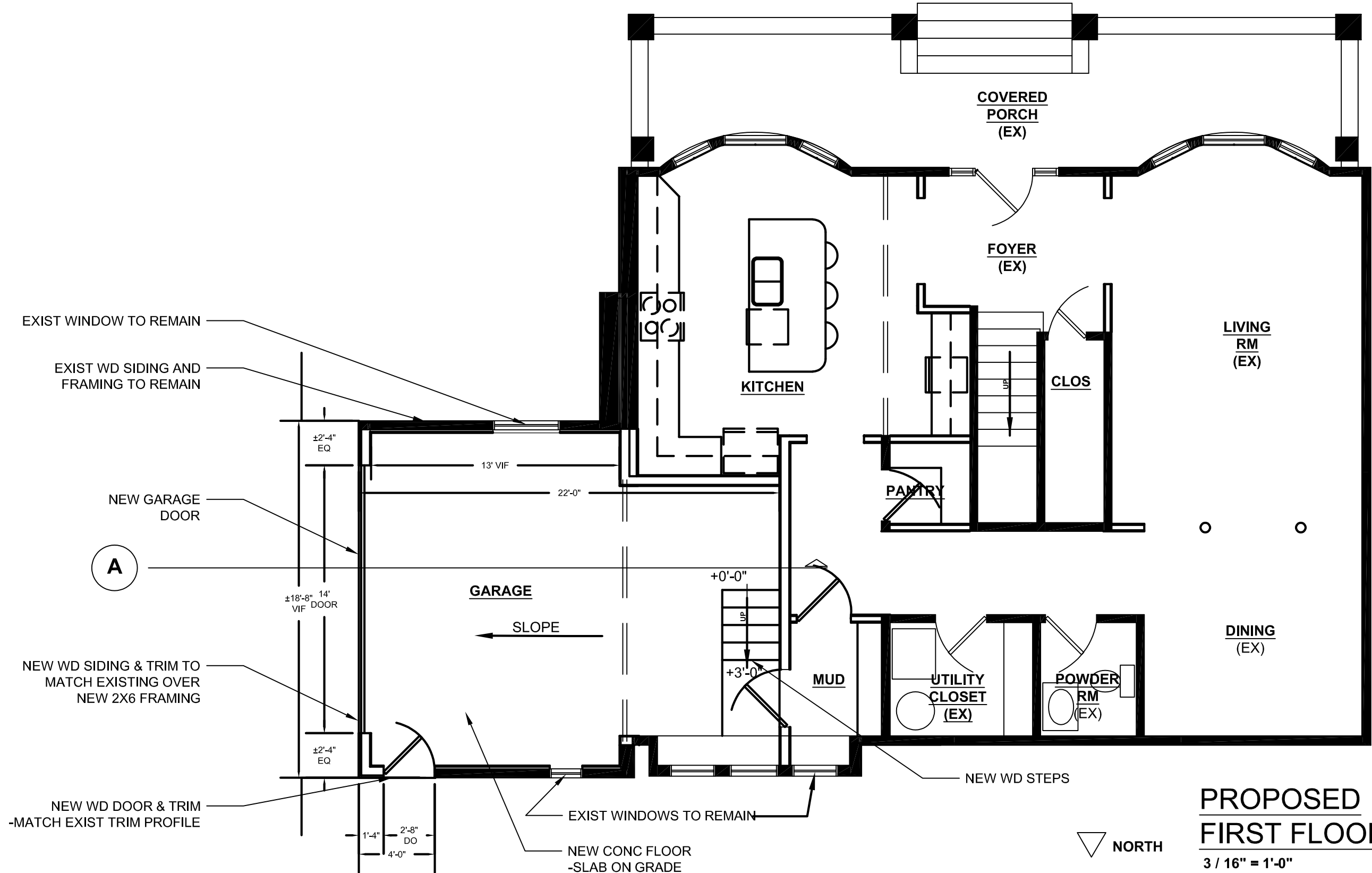
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Rev 2024/02/09



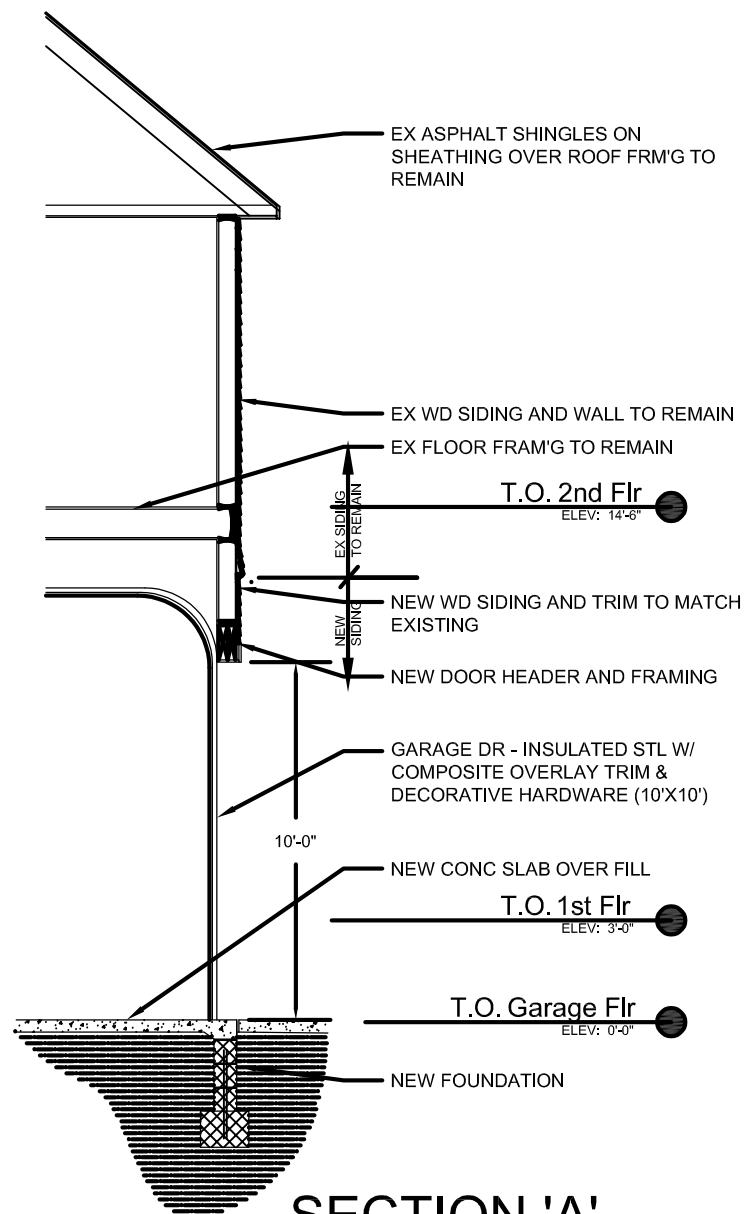
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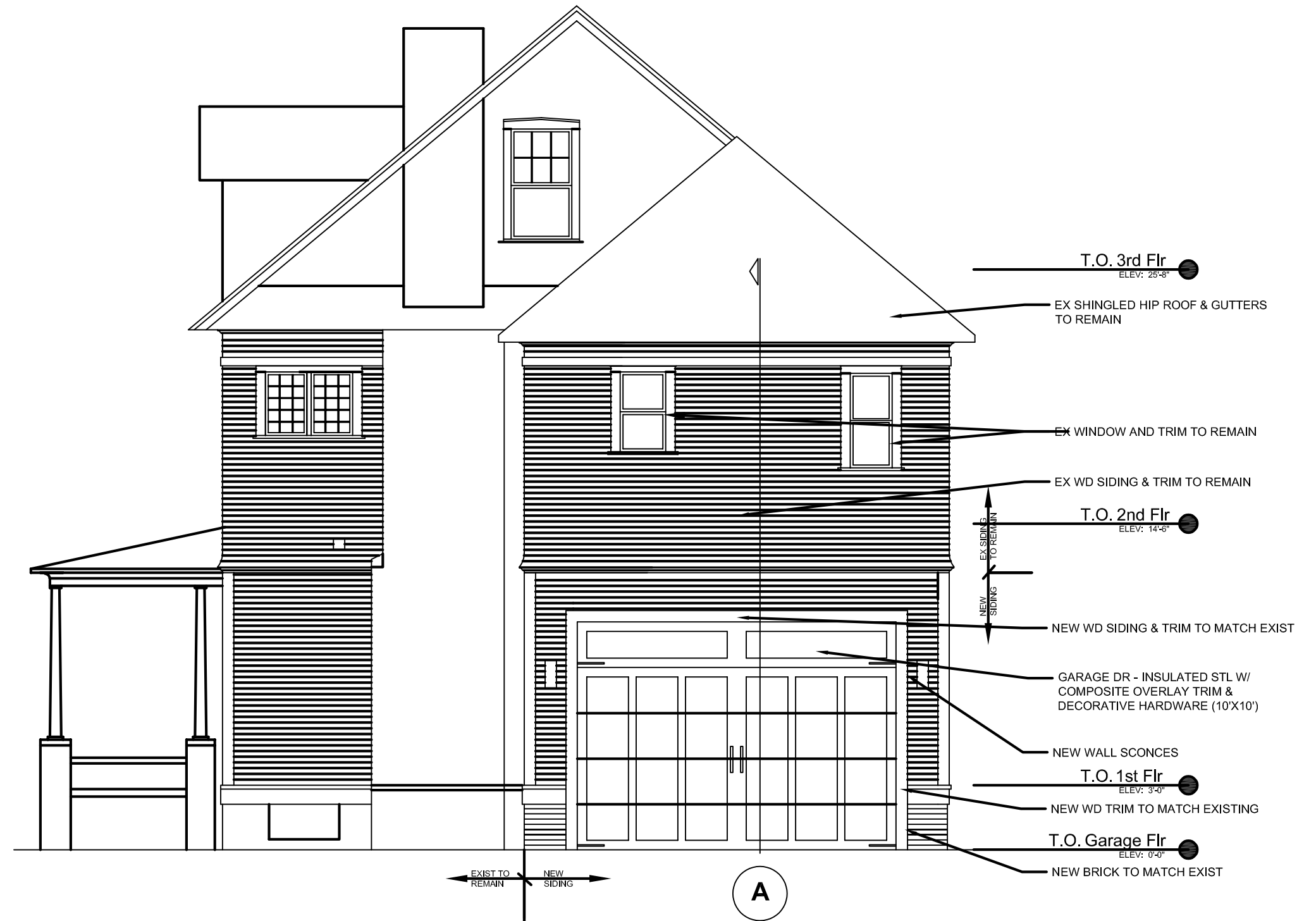
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HERRON-MORTON PLACE

Rev 2024/02/09



SECTION 'A'
3 / 16" = 1'-0"



EAST ELEVATION
3 / 16" = 1'-0"

HAMPTON - GARAGE
414 E 17TH ST



Proposed Exterior Sconces

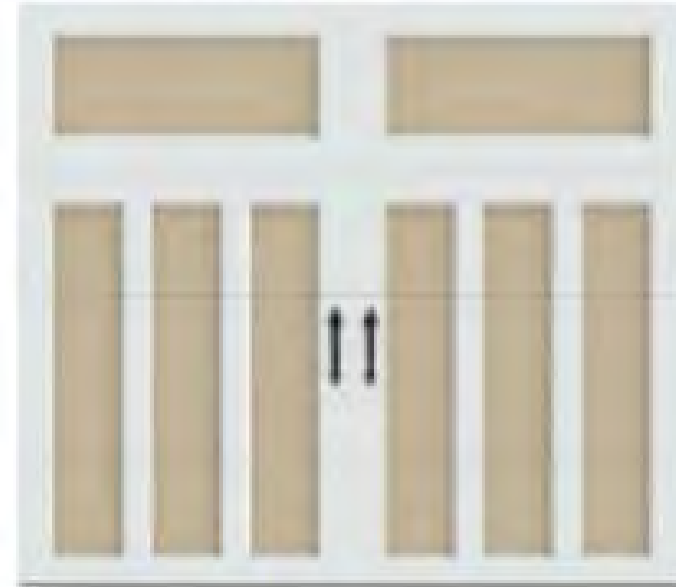


Proposed Garage Door



Amarr® Carriage Court CC4000
Steel Overlay Carriage House Garage Doors

BRADBERRY (BB)



CLOSED SQUARE (181104)

SPECIFICATIONS

	CARRIAGE COURT CC4000
PANEL DESIGNS	
Carriage House	18 Designs
INSULATION¹	Polystyrene
R-VALUE²	6.48
ENERGY EFFICIENCY	Superior
QUIET OPERATION	Extra Quiet
DOOR THICKNESS	2"
WINDOW GLASS OPTIONS	
DSB Glass	•
Obscure Glass	•
Insulated Glass	•
WIND LOAD³ AVAILABLE	•
PAINT FINISH WARRANTY⁴	Lifetime
WORKMANSHIP / HARDWARE WARRANTY⁴	5 Years
WINDOW / OVERLAY DISCOLORATION⁴	10 Years
OVERLAY DELAMINATION⁴	5 Years

¹ Insulation has passed self-ignition, flamespread and smoke developed index fire testing.

² Calculated door section R-value is in accordance with ASTM E90-10.

³ It is your responsibility to make sure your garage door meets local building codes.

⁴ For complete warranty details, visit amarr.com or contact your local Amarr dealer.



① 414 E 17th St - South Elevation

② 414 E 17th St - South Elevation - East End

③ 414 E 17th St - East Elevation from corner





④ 414 E 17th St - Partial East Elevation

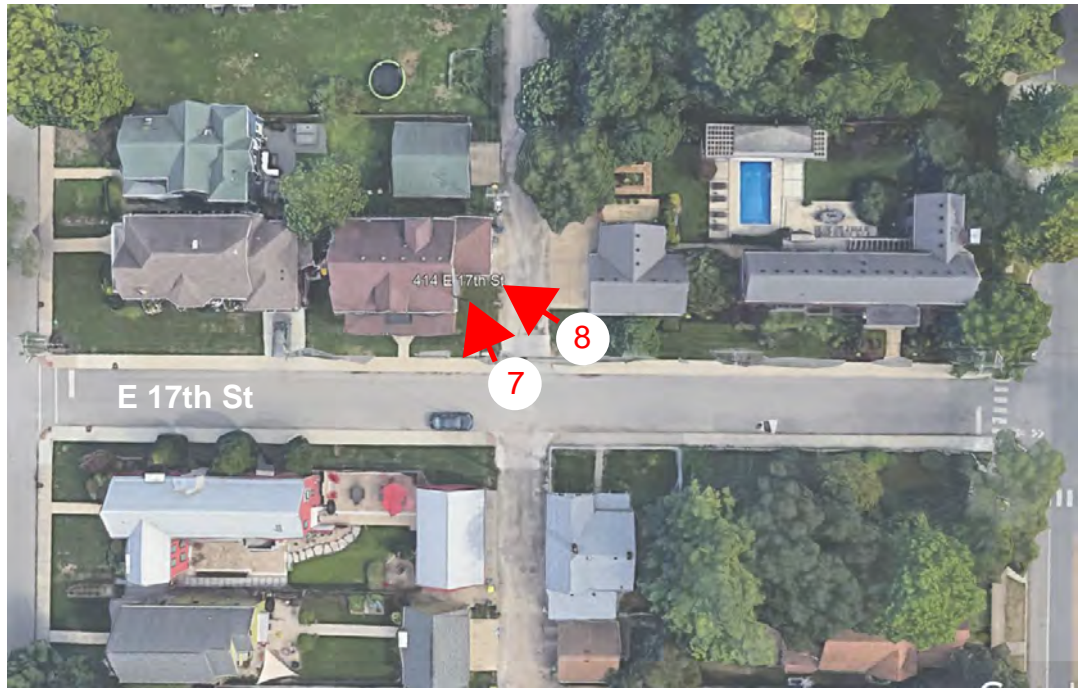


⑤ 414 E 17th St - East Elevation



⑥ 414 E 17th St - Partial East Elevation





7 414 E 17th St -Partial South East Elevation



8 414 E 17th St - South East Elevation



9 Siding Detail





10 North property line - facing east



11 North east elevation at renovation area facing south



12 North east corner facing south west





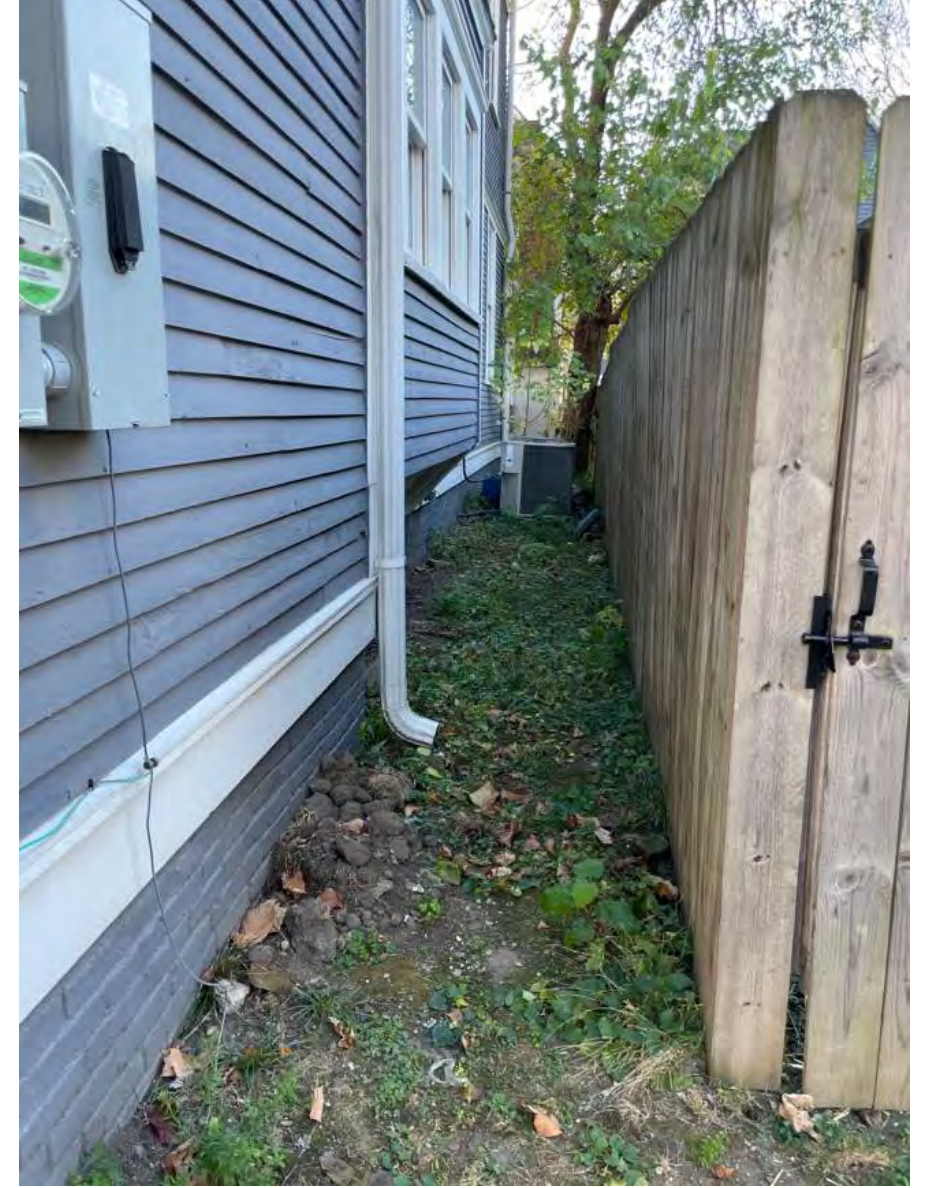
13 Looking west on 17th St to neighbor



14 414 17th St west elevation facing 1701 N New Jersey St



15 North property line - facing west





16 Looking south from property corner



17 Looking north up alley



18 Looking west down 17th St

