

2022-COA-447 (IURS)
39 JACKSON PL.

DESIGN REVIEW - AMENDMENT 1 | IHPC HEARING | 03.06.2024

UNION STATION

BRIDGE AND STREET ENHANCEMENT PROJECT



PREPARED BY:



THEMATIC FRAMEWORK - SIX URBAN ROOMS

THE EXPLORER
CAPITOL AVE.

THE ARTIST
ILLINOIS ST.

THE HISTORIAN
THE MUSICIAN
MERIDIAN ST.

THE POET
PENNSYLVANIA

THE SCIENTIST
DELAWARE

GEORGIA STREET

SOUTH STREET

BANKERS LIFE
FIELDHOUSE

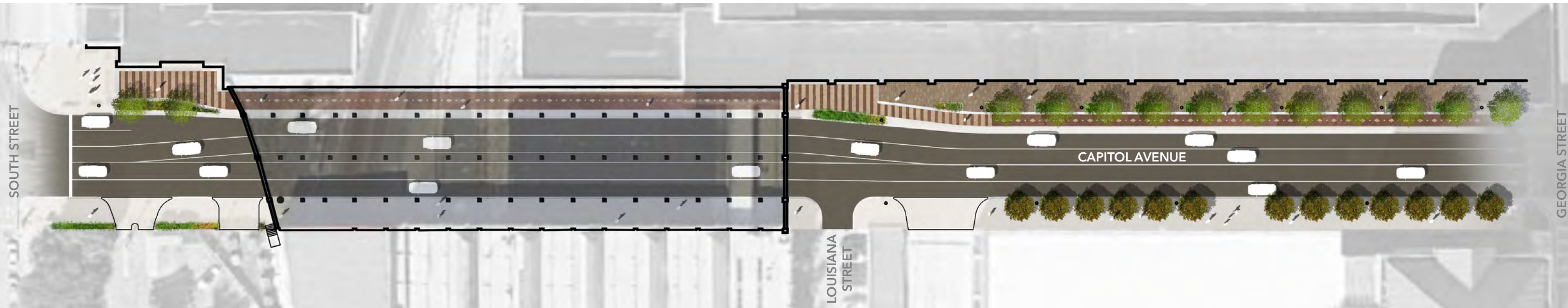


Wholesale District Limits

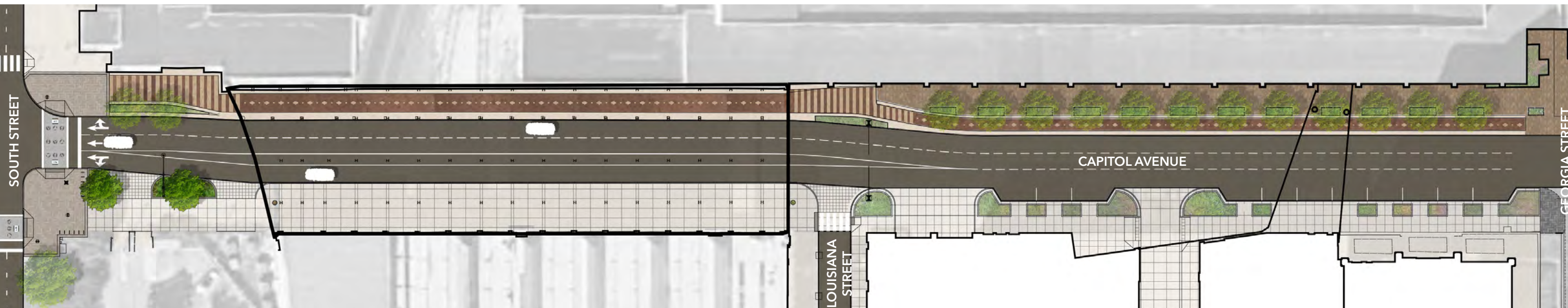


Union Station Limits

CAPITOL AVENUE

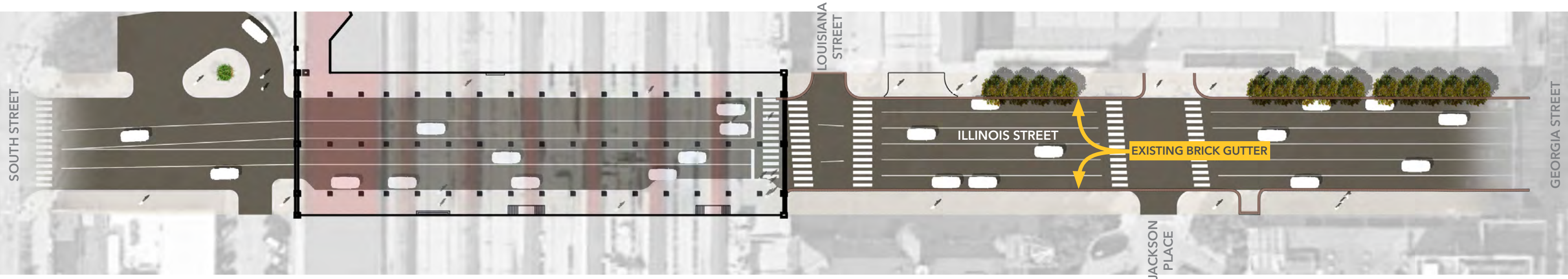


EXISTING CONDITION

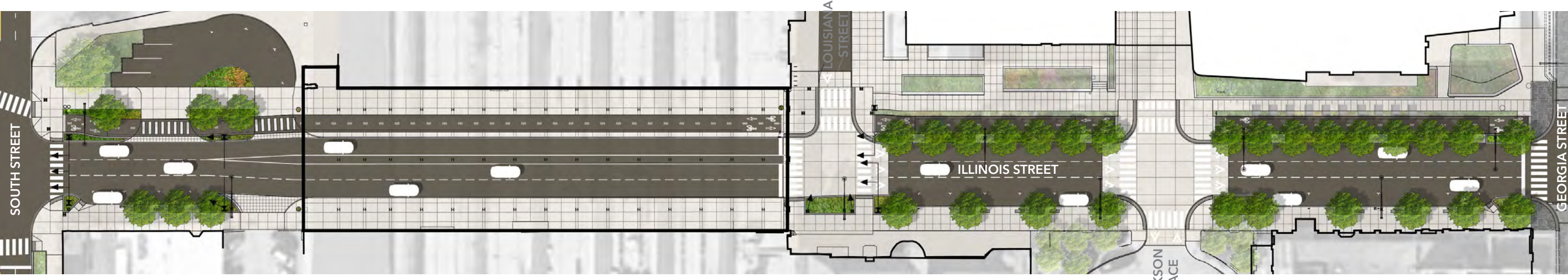


PROPOSED ENHANCEMENTS

ILLINOIS STREET



EXISTING CONDITION



PROPOSED ENHANCEMENTS

Questions / Feedback

2024-COA-002 (MCD)
38 E. WASHINGTON ST.



1938 STREETSCAPE



CURRENT STREETSCAPE



EXISTING SIDEWALK
TO BE PROTECT DURING CONSTRUCTION AND PRESERVED

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February 20, 2024

**INDIANAPOLIS HISTORIC
PRESERVATION COMMISSION**

BUILDING RENOVATION FOR:
J₉₂ BENZAL Menswear
38 EAST WASHINGTON STREET, INDIANAPOLIS, IN 46204

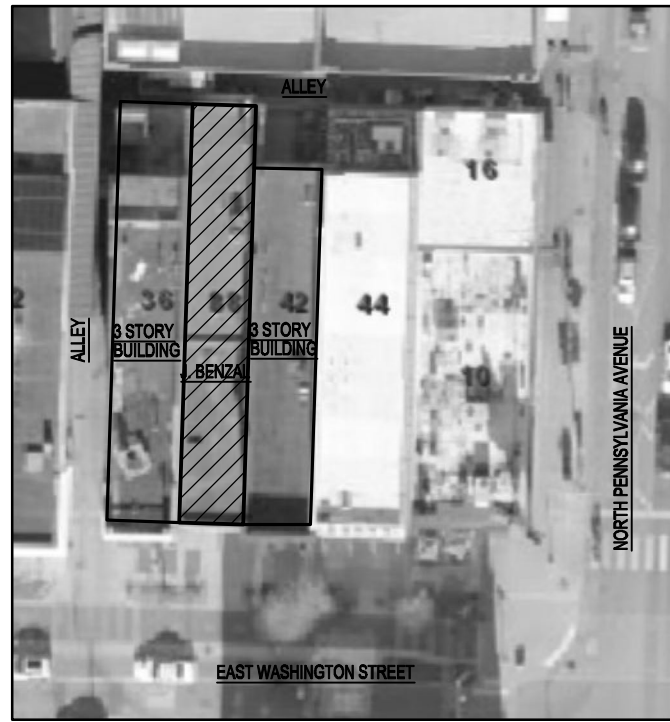
NO. 2024-COA-002 (MCD) & 2024VHP001

PROPOSED STREETScape

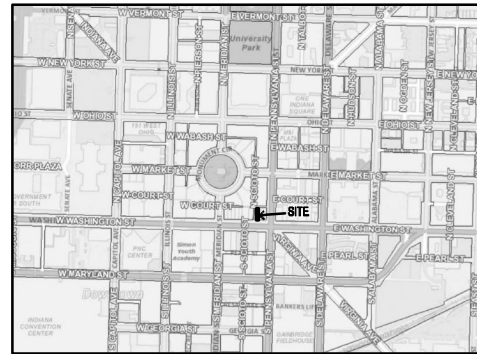
Architectural Consulting
1728 West 57th Street Indianapolis, IN. 46228
cheeks92@msn.com 317-374-3680

BUILDING RENOVATION FOR : J. BENZAL Menswear

38 EAST WASHINGTON STREET INDIANAPOLIS, INDIANA 46204



EXISTING SITE PLAN
SCALE: 1" = 60'-0"



PROJECT LOCATION MAP
NO SCALE

CODE INFORMATION

INDIANA BUILDING CODE, 2014 EDITION (IBC, 2012 EDITION 1st PRINTING)

675 IAC 13-2.6 AND ADOPTED RULES AS FOLLOWS:

- 675 IAC 18: PLUMBING CODE.
- 675 IAC 17: ELECTRICAL CODE.
- 675 IAC 17: ELECTRICAL CODE.
- 675 IAC 18: MECHANICAL CODE.
- 675 IAC 19: ENERGY CONSERVATION CODES.
- 675 IAC 22: FIRE PREVENTION CODES.
- 675 IAC 25: FUEL GAS CODE.

ACCESSIBILITY STANDARDS ANSI A117.1-2009

BUILDING CONSTRUCTION TYPE /OCCUPANCY CLASSIFICATION

TYPE III B (SPRINKLERED) M (RETAIL), B (OFFICE) R-3 (RESIDENTIAL)

OCCUPANCY CLASSIFICATION :

ZONING: COMMERCIAL

ALLOWABLE AREA

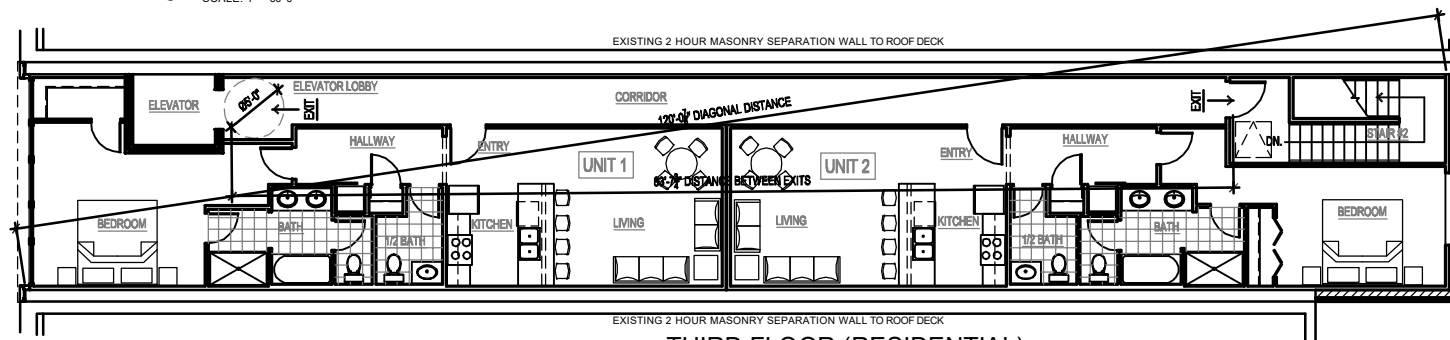
BASIC ALLOWABLE AREA FOR M OCCUPANCY

TOTAL ALLOWABLE AREA 14,000 Sq. Ft.

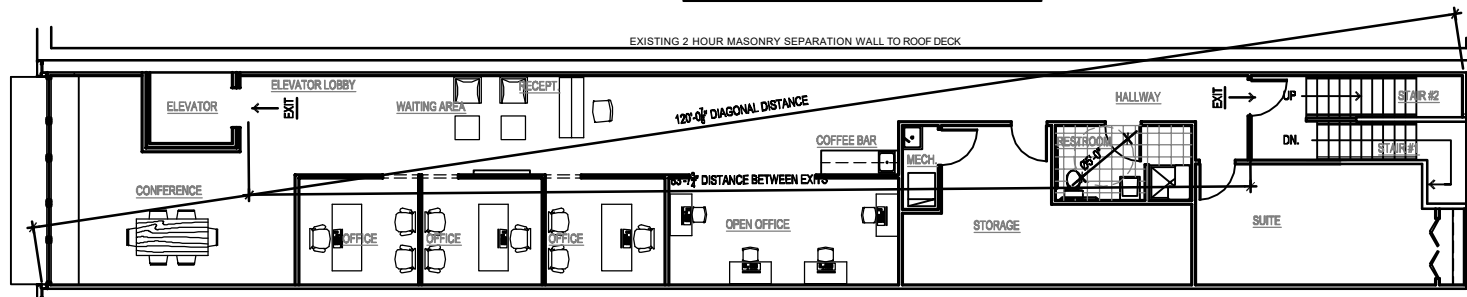
BUILDING FLOOR AREAS

BASEMENT FLOOR AREA	2,373 Sq. Ft.
1st FLOOR REMODELING FLOOR AREA	2,373 Sq. Ft.
2nd FLOOR REMODELING FLOOR AREA	2,373 Sq. Ft.
3rd FLOOR REPLACEMENT FLOOR AREA	2,373 Sq. Ft.
TOTAL BUILDING AREA	9,492 Sq. Ft.

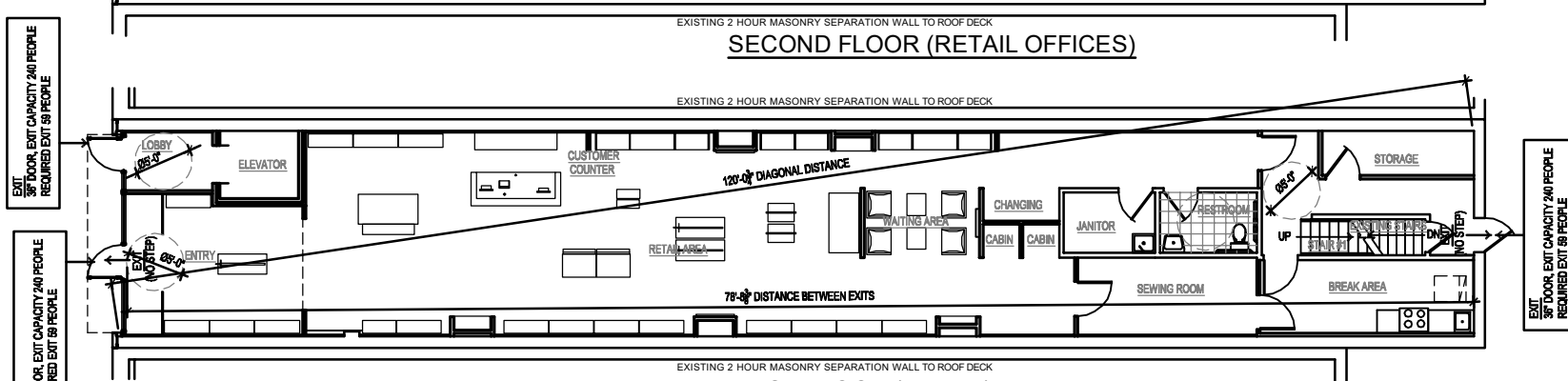
INDEX OF DRAWINGS	
SHEET	DESCRIPTION
	COVER SHEET
	<u>ARCHITECTURAL :</u>
A-100	DEMOLITION PLANS
A-101	BASEMENT & FIRST FLOOR PLANS
A-102	SECOND FLOOR PLAN
A-103	THIRD FLOOR PLAN
A-104	ROOF PLAN & DETAILS
A-201	FACADE PLANS, ELEVATION & DETAILS
A-202	DOOR & WINDOW SCHEDULES, ELEVATIONS & DETAILS
A-301	BUILDING SECTIONS AND DETAILS
A-302	WALL SECTIONS AND DETAILS
	<u>STRUCTURAL :</u>
S-101	THIRD FLOOR & ROOF FRAMING PLANS
S-102	STRUCTURAL SECTIONS & DETAILS



THIRD FLOOR (RESIDENTIAL)



SECOND FLOOR (RETAIL OFFICES)



FIRST FLOOR (RETAIL)

LIFE SAFETY PLANS
SCALE: 1/16" = 1'-0"

OCCUPANT LOADS (3rd FLOOR)

SPACE	AREA	LOAD
UNIT 1	770 Sq. Ft.	2 OCCUPANTS
UNIT 2	728 Sq. Ft.	2 OCCUPANTS
TOTAL	1,498 Sq. Ft.	4 OCCUPANTS

OCCUPANT LOADS (2nd FLOOR)

SPACE	AREA	LOAD
WAITING AREA	212 Sq. Ft.	2 OCCUPANTS
RECEPT.	195 Sq. Ft.	2 OCCUPANTS
CONFERENCE	278 Sq. Ft.	3 OCCUPANTS
OFFICE	97 Sq. Ft.	1 OCCUPANTS
OFFICE	97 Sq. Ft.	1 OCCUPANTS
OFFICE	97 Sq. Ft.	1 OCCUPANTS
OPEN OFFICE	185 Sq. Ft.	2 OCCUPANTS
STORAGE	230 Sq. Ft.	2 OCCUPANTS
SUITE	220 Sq. Ft.	2 OCCUPANTS
TOTAL	2,373 Sq. Ft.	24 OCCUPANTS

OCCUPANT LOADS (1st FLOOR)

SPACE	AREA	LOAD
RETAIL AREA	1,535 Sq. Ft.	51 OCCUPANTS
SEWING ROOM	118 Sq. Ft.	4 OCCUPANTS
BREAK ROOM	132 Sq. Ft.	4 OCCUPANTS
STORAGE	113 Sq. Ft.	4 OCCUPANTS
TOTAL	2,373 Sq. Ft.	79 OCCUPANTS

OCCUPANT LOADS (BASEMENT)

SPACE	AREA	LOAD
NON-OCCUPIABLE SPACE	2,373 Sq. Ft.	0 OCCUPANTS
TOTAL	2,373 Sq. Ft.	0 OCCUPANTS

GENERAL CONSTRUCTION

ALL WORK SHALL CONFORM WITH INDIANA BUILDING CODE, 2014 EDITION 675 IAC 12-1. 1-1.

675 IAC 18: PLUMBING CODE.
675 IAC 17: ELECTRICAL CODE.
675 IAC 17: ELECTRICAL CODE.

675 IAC 19: ENERGY CONSERVATION CODES.
675 IAC 22: FIRE PREVENTION CODES.
675 IAC 25: FUEL GAS CODE.

MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION OR OPERATION OF ANY PART OF THE WORK AS DETERMINED BY THE ARCHITECT SHALL BE INCLUDED IN THE WORK AS IF IT WERE SPECIFIED OR INDICATED IN THE DRAWINGS.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING AND NEW CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. ANY DAMAGE CAUSED BY OR DURING THE EXECUTION OF THE WORK IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED TO THE OWNER'S SATISFACTION, AT THE EXPENSE OF THE CONTRACTOR.

CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA FREE AND CLEAR OF ALL DEBRIS AND KEEP OUT ALL UNAUTHORIZED PERSONS. UPON COMPLETION OF THE WORK, THE ENTIRE CONSTRUCTION AREA IS TO BE COMPLETELY CLEANED AND RESTORED TO PRECONSTRUCTION CONDITION.

FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF THE PROJECT.

ALL GLAZING TO CONFORM TO 2006 EDITION INDIANA BUILDING CODE REQUIREMENTS.

DESIGN CRITERIA:
OCCUPANCY CATEGORY - II
SITE CLASS D

ROOF DEAD LOAD : 13 P.S.F.
LIVE LOAD : 40 P.S.F.

FLOOR DEAD LOAD : 60 P.S.F.
LIVE LOAD : 100 P.S.F.

SNOW LOAD : 20 P.S.F. PARTIALLY EXPOSED
SNOW EXPOSURE CATEGORY :
SNOW EXPOSURE FACTOR :
SNOW IMPORTANCE FACTOR : 1.00
THERMAL FACTOR : 1

WIND BASIC WIND SPEED : 115 M.P.H.
WIND IMPORTANCE FACTOR : 1.00
BUILDING CLASSIFICATION :
WIND EXPOSURE CATEGORY : B: URBAN AND SUBURBAN

SEISMIC USE GROUP : 1
SEISMIC DESIGN CATEGORY :
SPECTRAL RESPONSE S_{ds} : 0.144
SPECTRAL RESPONSE S_{dt} : 0.102
SITE CLASS : D
BASIC BUILDING SYSTEM :
BASIC RESISTING SYSTEM :
DESIGN BASE SHEAR : 2,400 W
ANALYSIS PROCEDURE : EQUIVALENT LATERAL FORCE

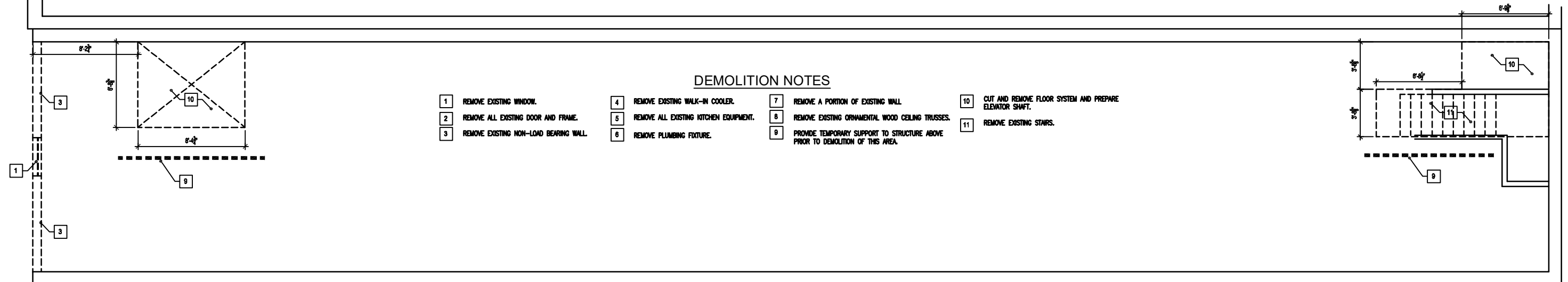
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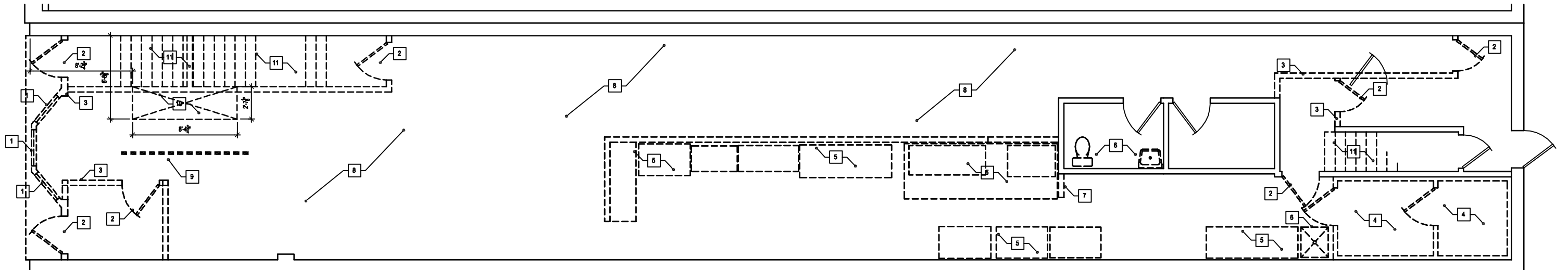
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PRESERVATION COMMISSION

DEMOLITION NOTES

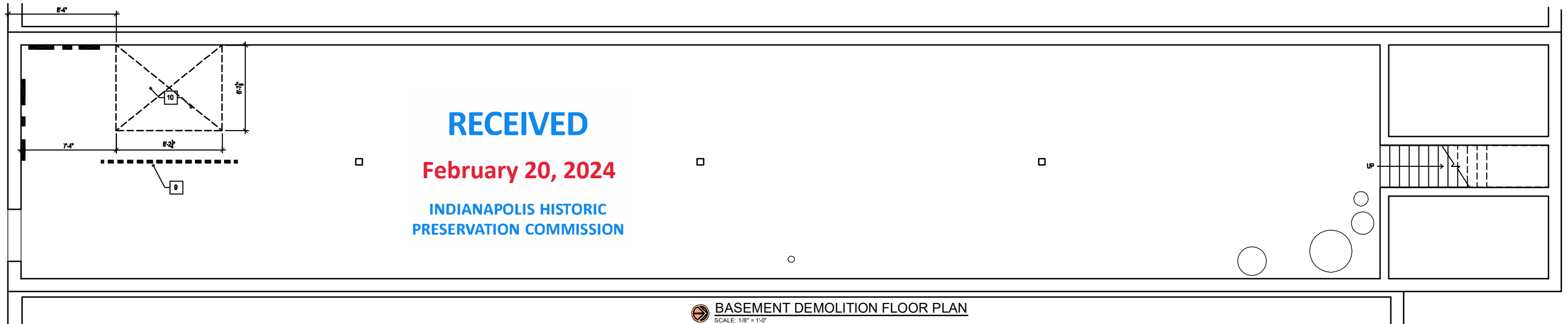
- | | | | |
|--|--|--|--|
| 1 REMOVE EXISTING WINDOW. | 4 REMOVE EXISTING WALK-IN COOLER. | 7 REMOVE A PORTION OF EXISTING WALL. | 10 CUT AND REMOVE FLOOR SYSTEM AND PREPARE ELEVATOR SHAFT. |
| 2 REMOVE ALL EXISTING DOOR AND FRAME. | 5 REMOVE ALL EXISTING KITCHEN EQUIPMENT. | 8 REMOVE EXISTING ORNAMENTAL WOOD CEILING TRUSSES. | 11 REMOVE EXISTING STAIRS. |
| 3 REMOVE EXISTING NON-LOAD BEARING WALL. | 6 REMOVE PLUMBING FIXTURE. | 9 PROVIDE TEMPORARY SUPPORT TO STRUCTURE ABOVE PRIOR TO DEMOLITION OF THIS AREA. | |



SECOND FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



BASEMENT DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"

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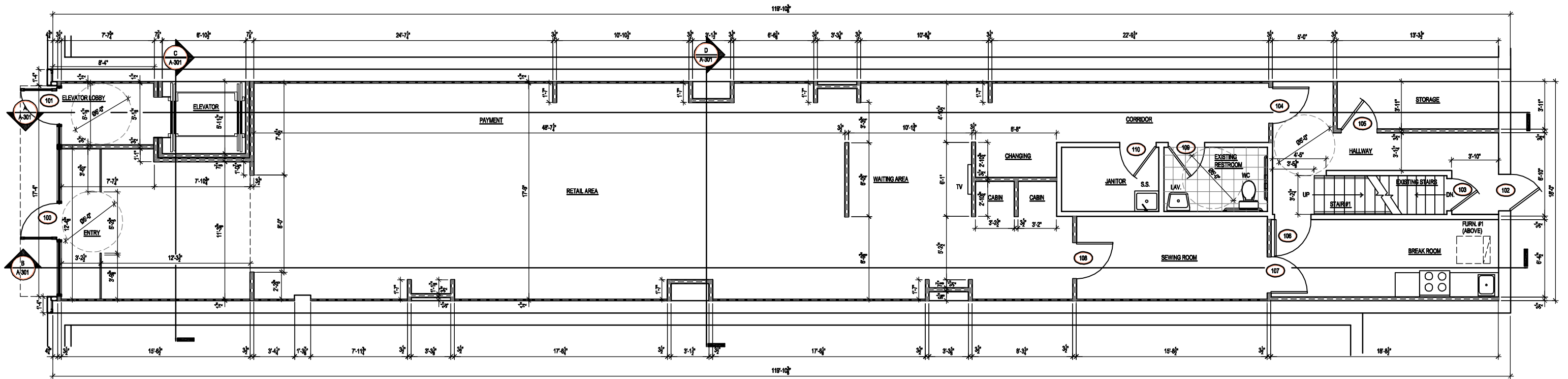
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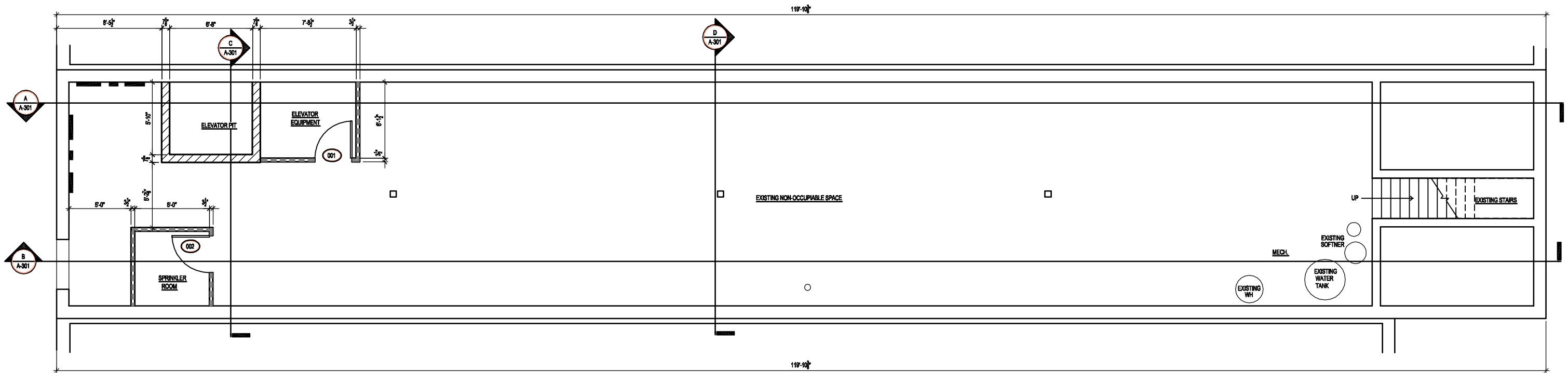
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GENERAL NOTES

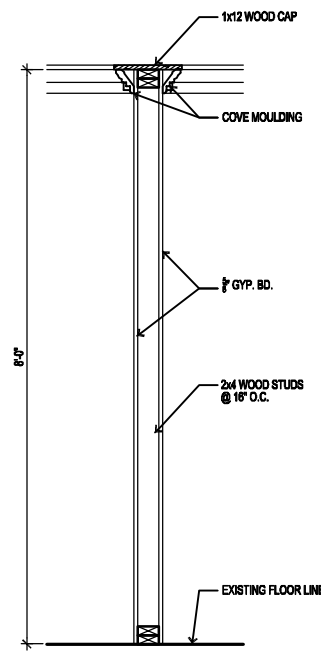
- 1. ALL DIMENSIONS ARE TO FACE OF STUDS AND OUTSIDE FACE OF MASONRY UNLESS NOTED OTHERWISE.
- 2. ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED. ANY CHANGE IN DIMENSIONS WILL BE APPROVED BY THE OWNER PRIOR TO CONTINUATION OF CONSTRUCTION.
- 3. ——— INDICATES EXISTING WALLS TO REMAIN.
- 4. ——— INDICATES NEW 3/4" WOOD STUDS @ 16" O.C. WITH 1/2" TYPE 'X' GYP. BD. ON FINISH SIDES FULL HEIGHT.
- 5. ——— INDICATES NEW 1/2" WOOD FURRING @ 16" O.C. WITH 1/2" TYPE 'X' GYP. BD. ON FINISH SIDES FULL HEIGHT.
- 6. ALL STAIR HANDRAILS SHALL BE 34" TO 38" ABOVE TREADS IN ACCORDANCE WITH (R311.7.8.1).



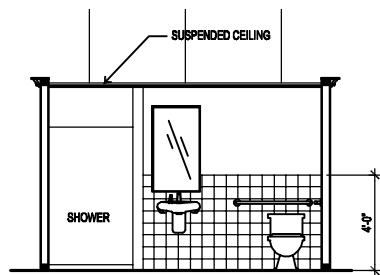
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



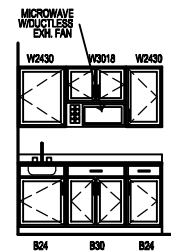
BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



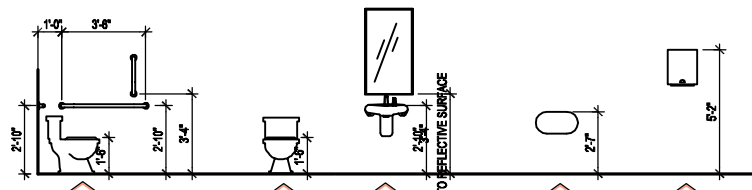
TYPICAL WALL SECTION
SCALE: 3/8" = 1'-0"



RESTROOM ELEVATION
SCALE: 1/8" = 1'-0"



COFFEE BAR ELEVATION
SCALE: 1/8" = 1'-0"



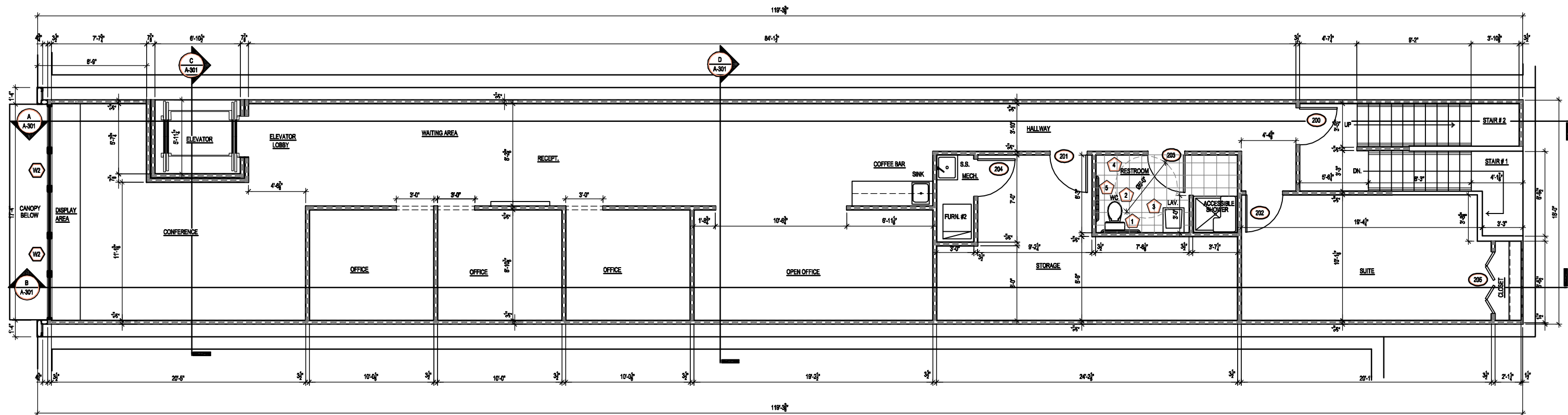
RESTROOM ACCESSORIES ELEVATIONS
SCALE: 1/8" = 1'-0"

GENERAL NOTES

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5. ——— INDICATES NEW 1 1/2" WOOD FURRING @ 16" O.C. WITH 1/2" TYPE "X" GYP. BD. ON FINISH SIDES FULL HEIGHT.
6. ALL STAIR HANDRAILS SHALL BE 34" TO 38" ABOVE TREADS IN ACCORDANCE WITH (R311.7.8.1).

FINISH SCHEDULE									
ROOM NAME	FLR.	BASE	WALLS				CEILING		REMARKS
			N	E	S	W	TYPE	HT.	
CONFERENCE ROOM	CPT	WD	P1	P1	P1	P1	GYP.	11'-6 5/8"	-
OFFICE(S)	CPT	WD	P1	P1	P1	P1	GYP.	11'-6 5/8"	-
WAITING AREA	CPT	WD	P1	P1	P1	P1	GYP.	11'-6 5/8"	-
RECEPTION	CPT	WD	P1	P1	P1	P1	GYP.	11'-6 5/8"	-
COFFEE BAR	CPT	WD	P1	P1	P1	P1	GYP.	11'-6 5/8"	-
OPEN OFFICE	CPT	WD	P1	P1	P1	P1	GYP.	11'-6 5/8"	-
RESTROOM	CT	CTB	CWT	CWT	CWT	P1	GYP.	7'-8"	-
HALLWAY	CPT	WD	P1	P1	P1	P1	GYP.	11'-6 5/8"	-
STORAGE	CPT	WD	P1	P1	P1	P1	GYP.	11'-6 5/8"	-
SUITE	CPT	WD	P1	P1	P1	P1	GYP.	11'-6 5/8"	-
CLOSET	CPT	WD	P1	P1	P1	P1	GYP.	11'-6 5/8"	-
MECH.	CT	CTB	P1	P1	CWT	CWT	GYP.	11'-6 5/8"	-

FINISH DESIGNATIONS					
SYL.	MATERIAL	MANUFACTURER	STYLE	COLOR	REMARKS
FLOORING					
CPT	CARPET	BY OWNER	BY OWNER	BY OWNER	
CT	CERAMIC TILE	BY OWNER	BY OWNER	BY OWNER	
SC	SEALED CONCRETE				
BASE MATERIAL					
WB	WOOD BASE				
CTB	CERAMIC TILE BASE	BY OWNER	BY OWNER	BY OWNER	
WALL FINISHES					
P1	PAINT	BY OWNER	BY OWNER	BY OWNER	
CWT	CERAMIC WALL TILE	BY OWNER	BY OWNER	BY OWNER	4'-0" HIGH WAINSCOT
WP	WALL PANELS	BY OWNER	BY OWNER	BY OWNER	
CEILING MATERIALS					
ACT	ACOUSTICAL TILE	BY OWNER	BY OWNER	BY OWNER	
EX	EXPOSED STRUCTURE	-	-	-	
SURFACE MATERIALS					
PL1	PLASTIC LAMINATE	BY OWNER	BY OWNER	BY OWNER	

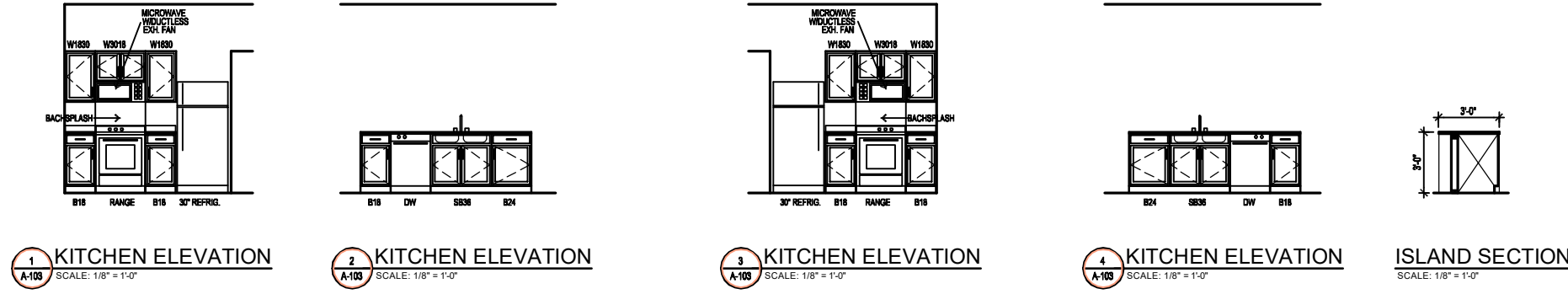


SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

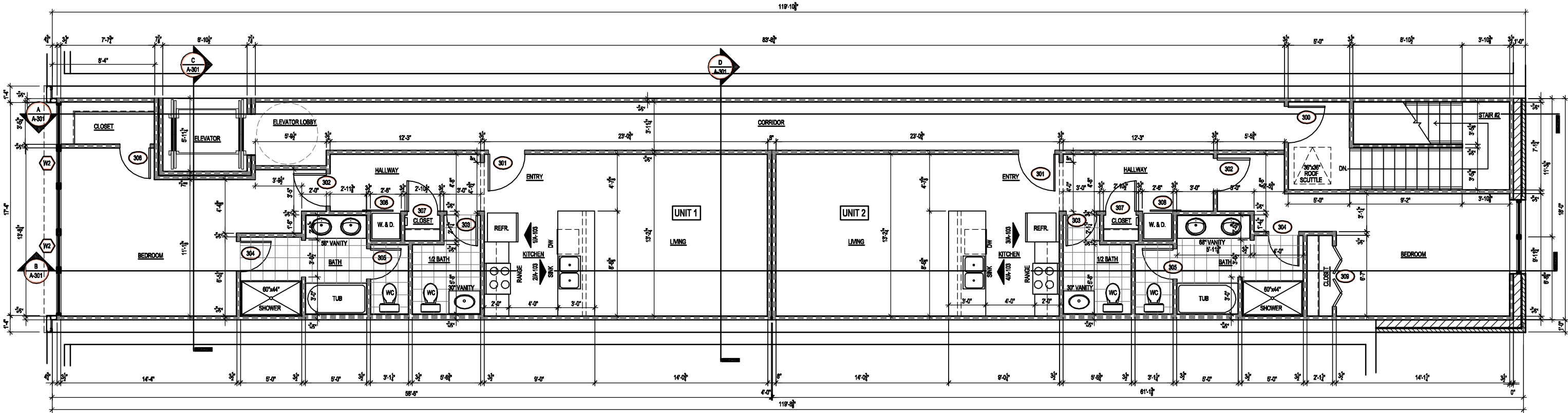
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FINISH SCHEDULE									
ROOM NAME	FLR.	BASE	WALLS				CEILING		REMARKS
			N	E	S	W	TYPE	HT.	
CORRIDOR	CPT	WD	P1	P1	P1	P1	GYP.	8'-0"	-
ENTRY(S)	CPT	WD	P1	P1	P1	P1	GYP.	8'-6 1/2"	-
LIVING(S)	CPT	WD	P1	P1	P1	P1	GYP.	8'-6 1/2"	-
KITCHENS	CPT	WD	P1	P1	P1	P1	GYP.	8'-6 1/2"	-
HALLWAYS	CPT	WD	P1	P1	P1	P1	GYP.	8'-6 1/2"	-
1/2 BATH(S)	CT	CTB	CWT	CWT	CWT	P1	GYP.	8'-6 1/2"	-
CLOSET(S)	CPT	WD	P1	P1	P1	P1	GYP.	8'-6 1/2"	-
BEDROOM(S)	CPT	WD	P1	P1	P1	P1	GYP.	8'-6 1/2"	-
BATH(S)	CT	CTB	CWT	CWT	CWT	P1	GYP.	8'-6 1/2"	-

FINISH DESIGNATIONS					
SYM.	MATERIAL	MANUFACTURER	STYLE	COLOR	REMARKS
FLOORING					
CPT	CARPET	BY OWNER	BY OWNER	BY OWNER	
CT	CERAMIC TILE	BY OWNER	BY OWNER	BY OWNER	
SC	SEALED CONCRETE				
BASE MATERIAL					
WB	WOOD BASE				
CTB	CERAMIC TILE BASE	BY OWNER	BY OWNER	BY OWNER	
WALL FINISHES					
P1	PAINT	BY OWNER	BY OWNER	BY OWNER	
CWT	CERAMIC WALL TILE	BY OWNER	BY OWNER	BY OWNER	4'-0" HIGH WAINSCOT
WP	WALL PANELS	BY OWNER	BY OWNER	BY OWNER	
CEILING MATERIALS					
ACT	ACOUSTICAL TILE	BY OWNER	BY OWNER	BY OWNER	
EX	EXPOSED STRUCTURE	-	-	-	
SURFACE MATERIALS					
PL1	PLASTIC LAMINATE	BY OWNER	BY OWNER	BY OWNER	

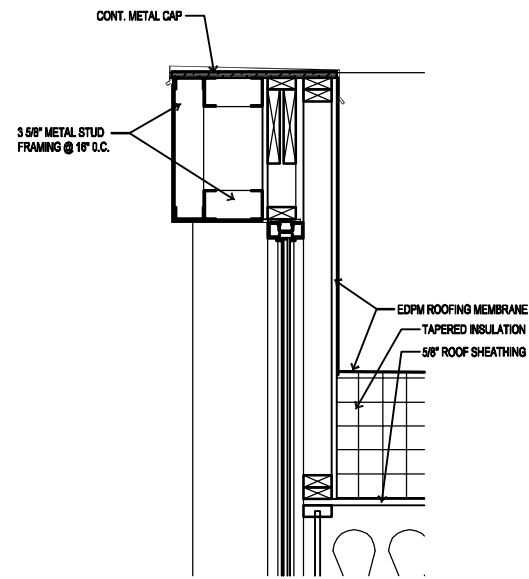


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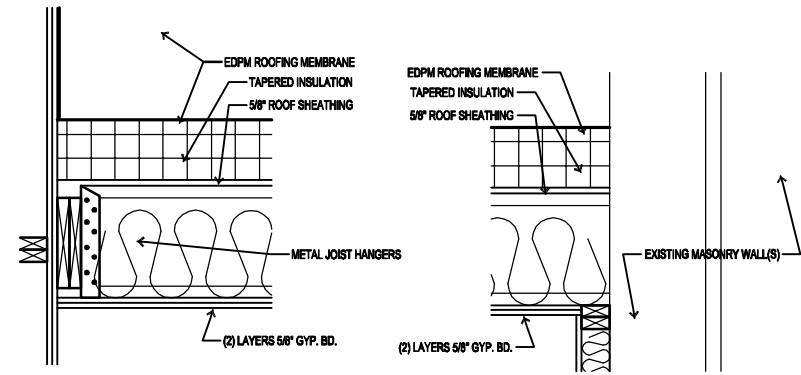


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THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"

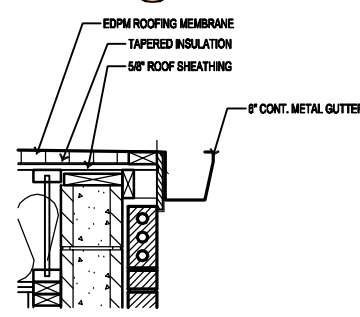


1 SECTION
A-104 SCALE: 1/2" = 1'-0"

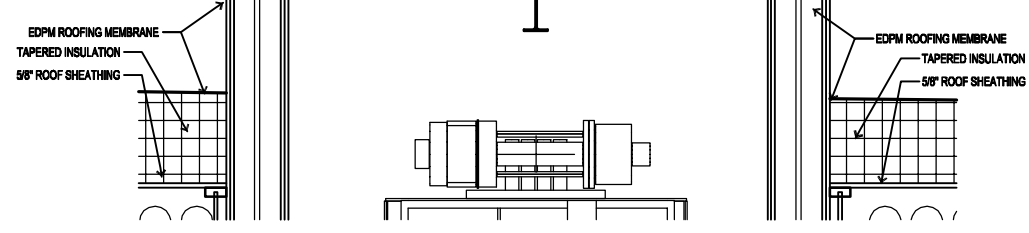


3 SECTION
A-104 SCALE: 1/2" = 1'-0"

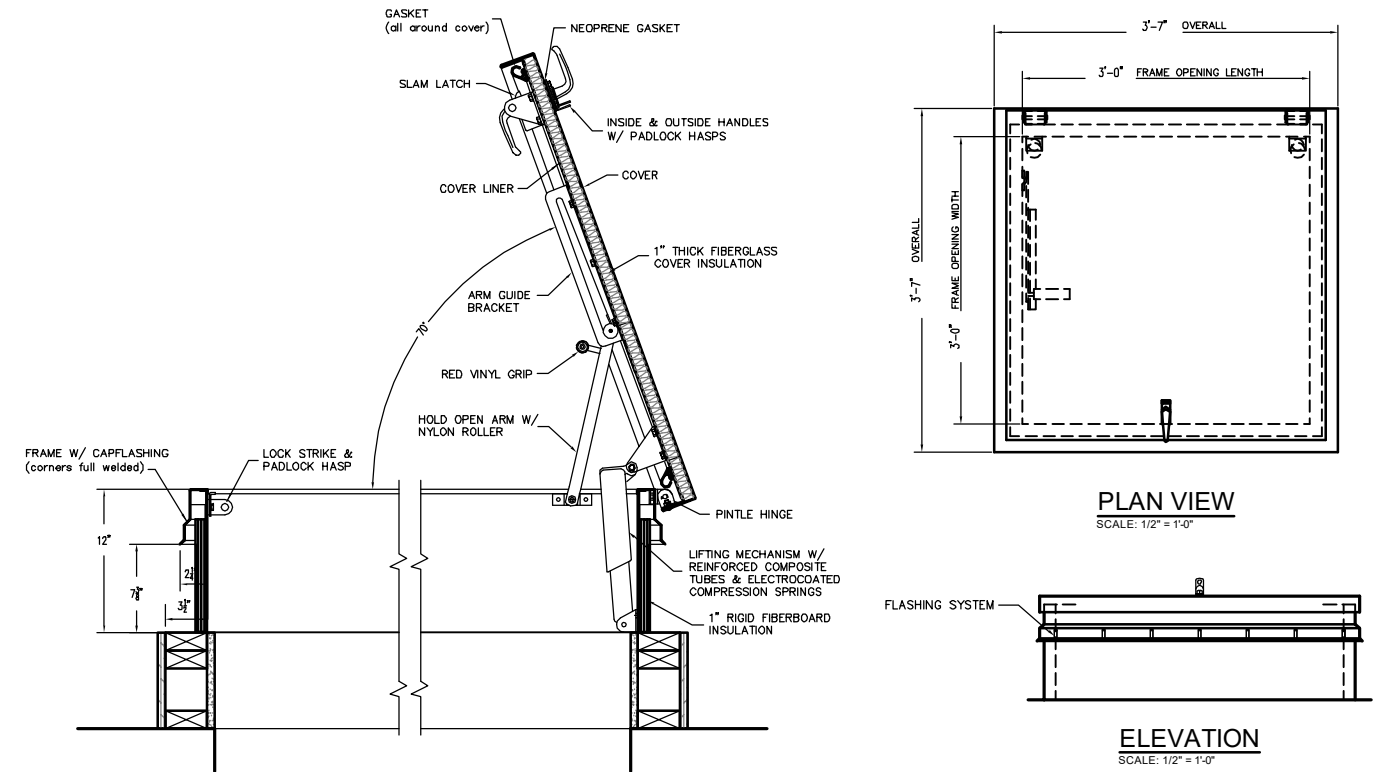
4 SECTION
A-104 SCALE: 1/2" = 1'-0"



2 SECTION
A-104 SCALE: 1/2" = 1'-0"



5 ELEVATOR ROOF SECTION
A-104 SCALE: 3/8" = 1'-0"

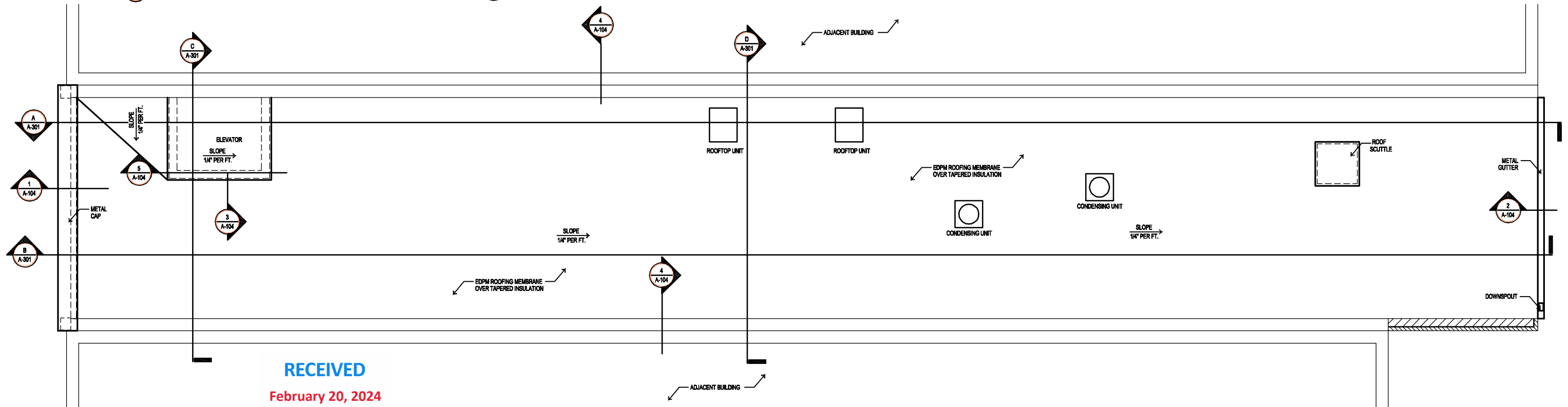


SECTION
SCALE: 3/4" = 1'-0"

PLAN VIEW
SCALE: 1/2" = 1'-0"

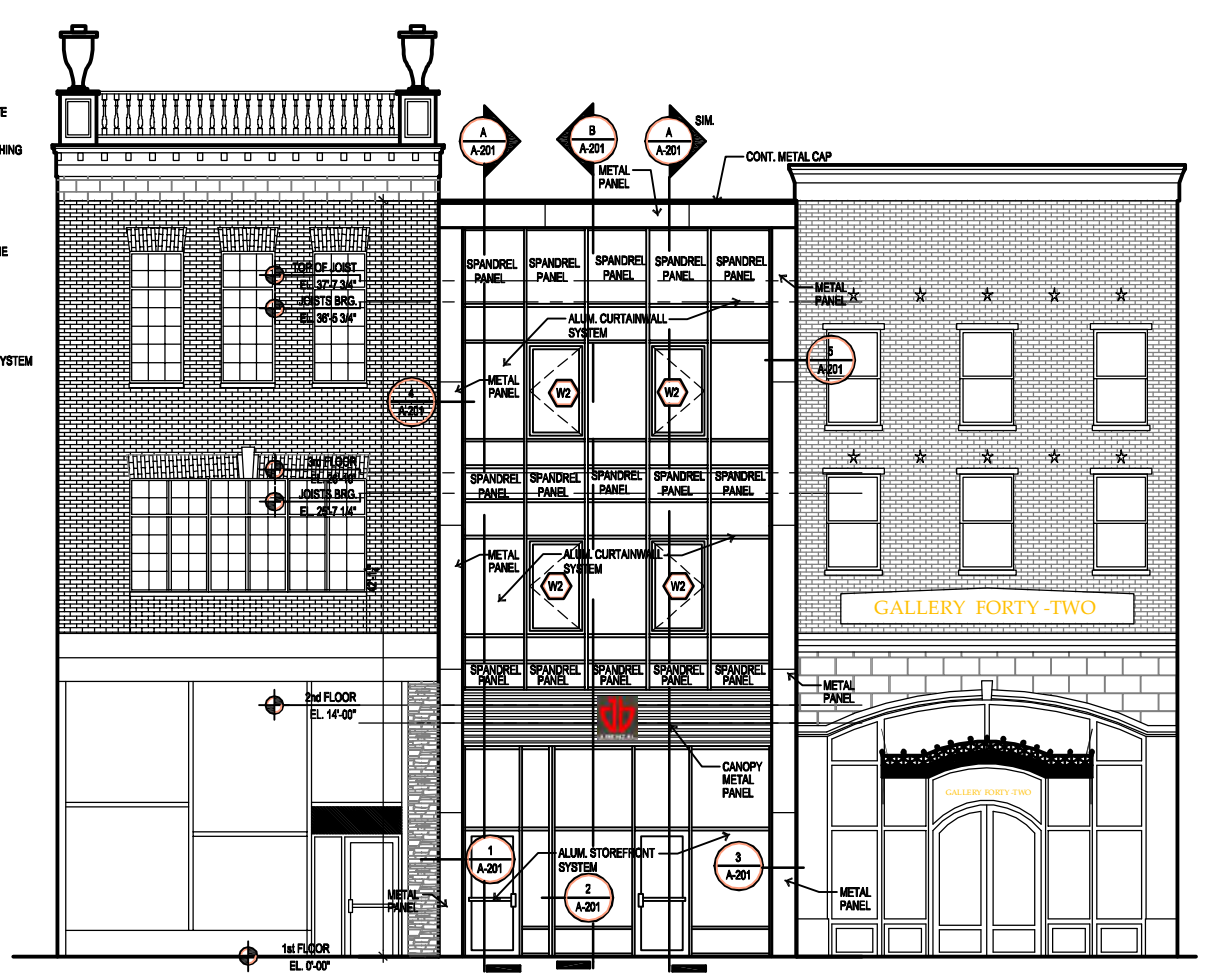
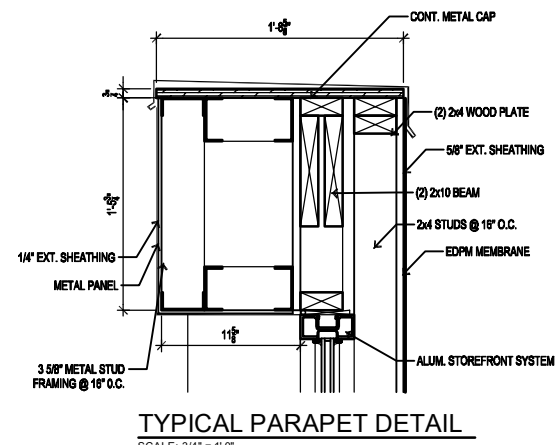
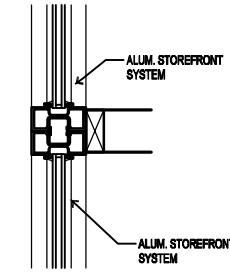
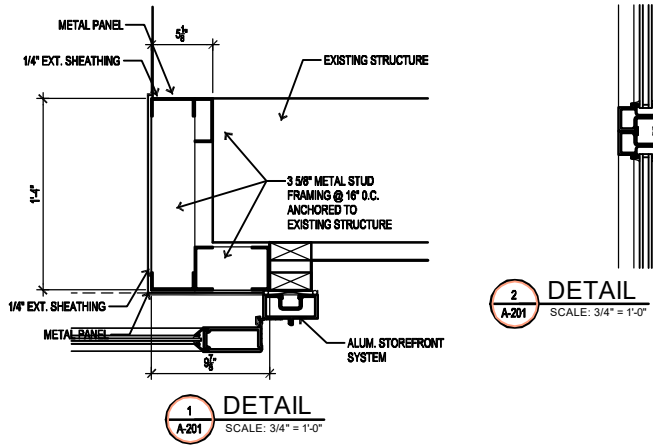
ELEVATION
SCALE: 1/2" = 1'-0"

ROOF SCUTTLE DETAILS



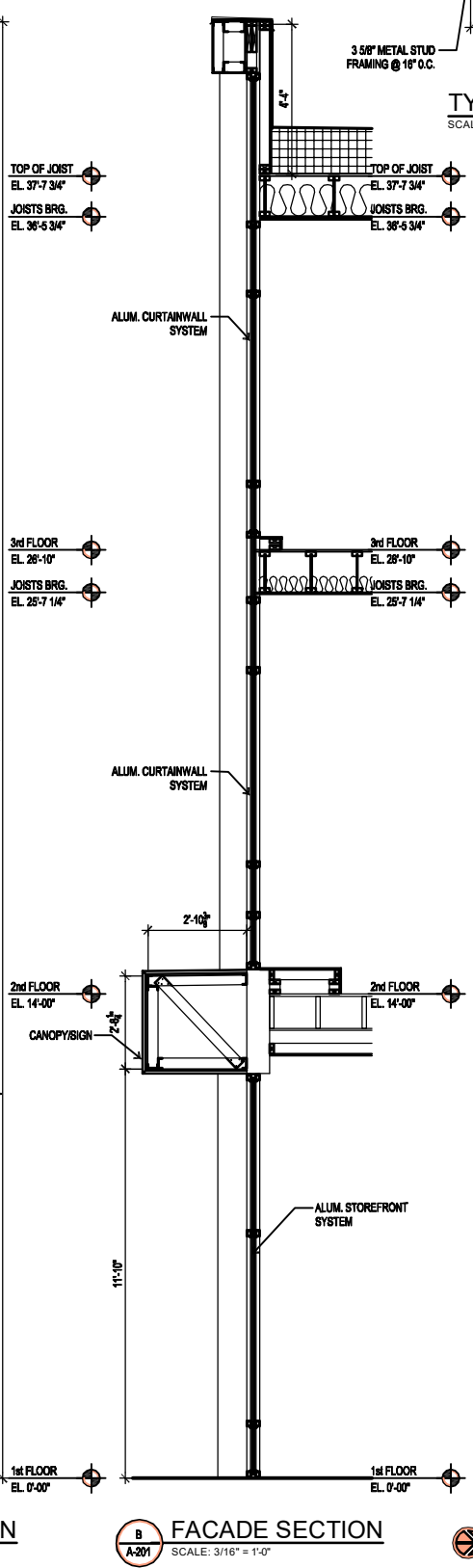
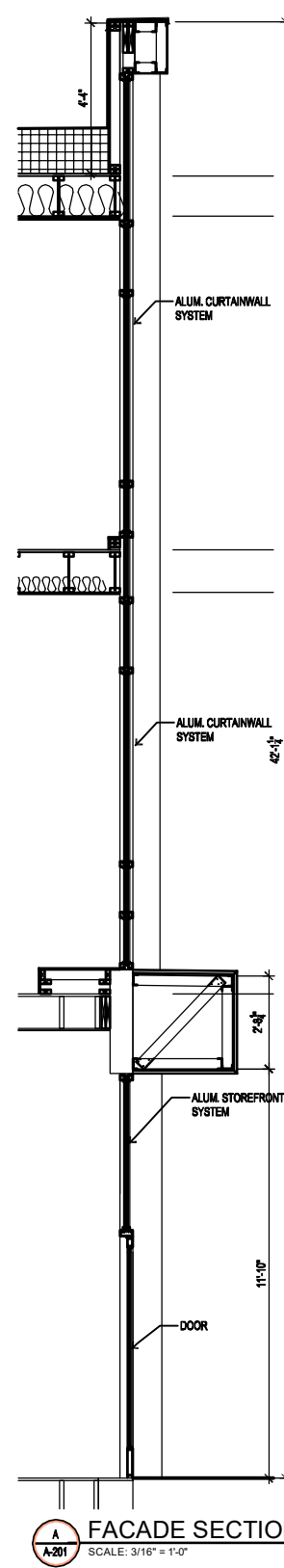
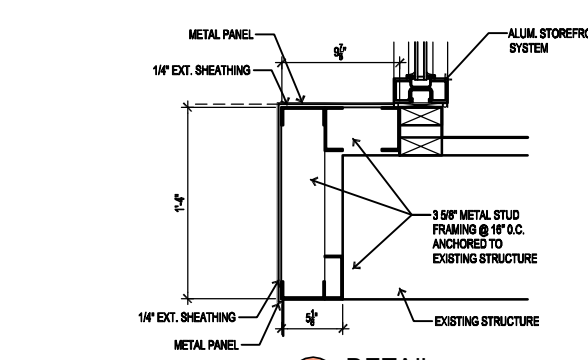
ROOF PLAN
SCALE: 1/8" = 1'-0"

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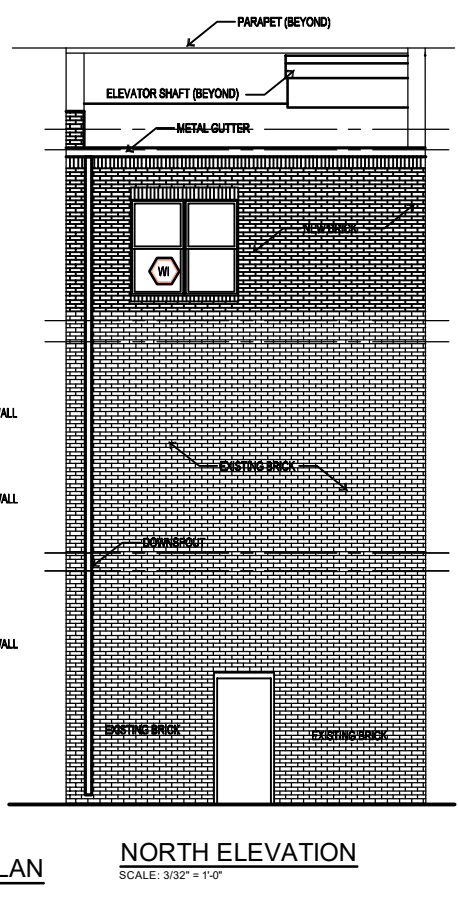
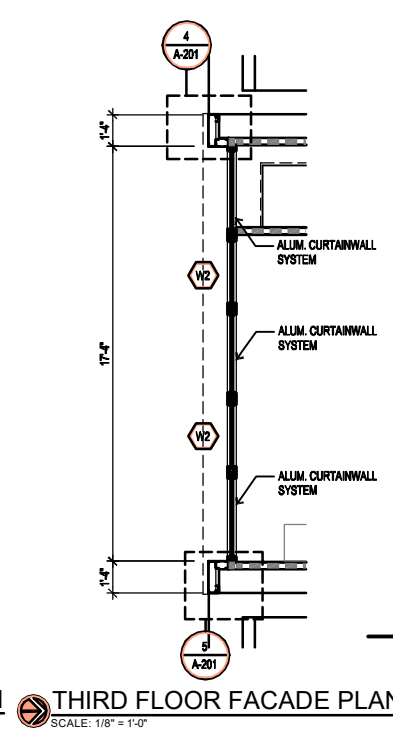
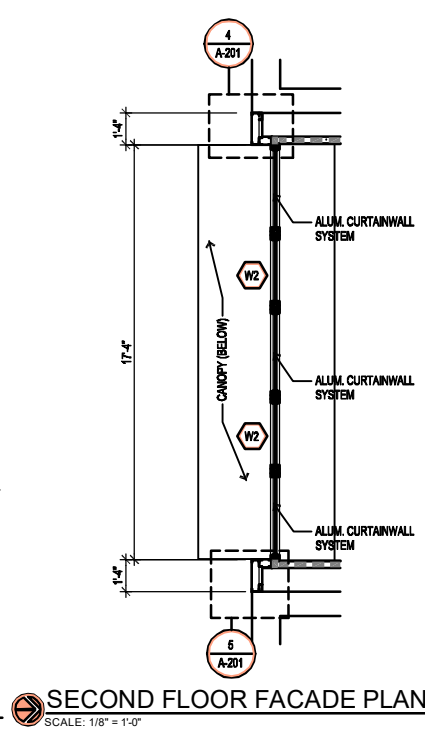
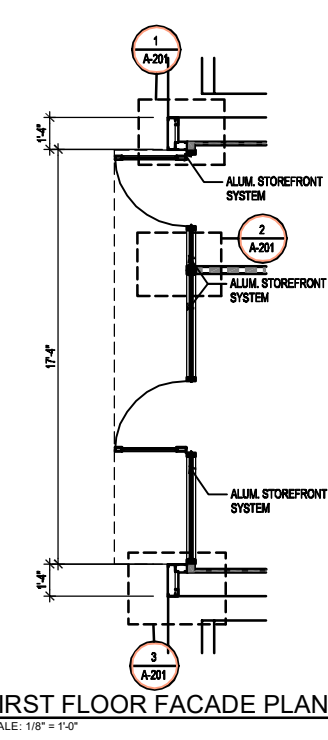


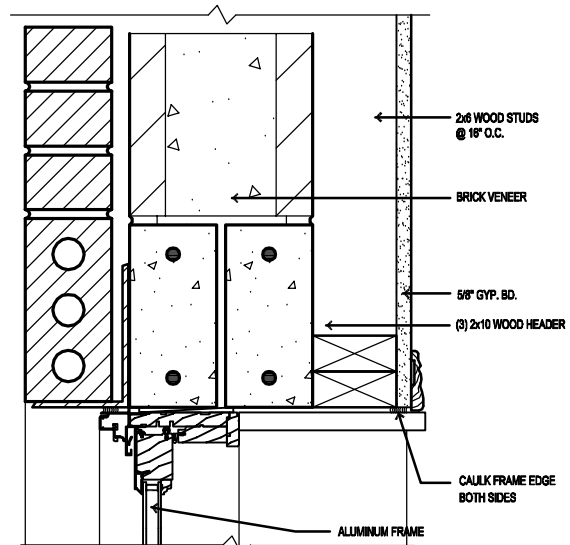
FACADE SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL SPECIFICATIONS:
 ALUMINUM STOREFRONT & CURTAINWALL: FRAME COLOR - "CHARCOAL GRAY"
 GLASS - CLEAR
 SPANDREL COLOR - "FASHION GRAY"
 METAL PANEL (SMOOTH) - "SAHARA SAND"
 CANOPY PANEL: "ECLIPSE GRAY"

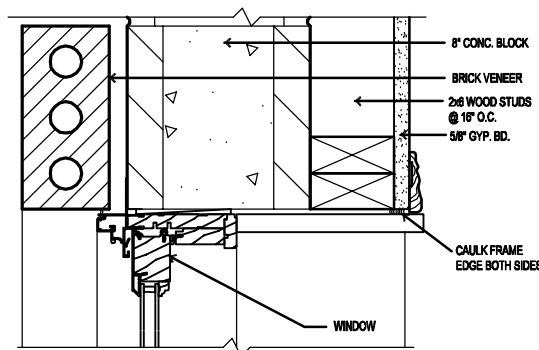


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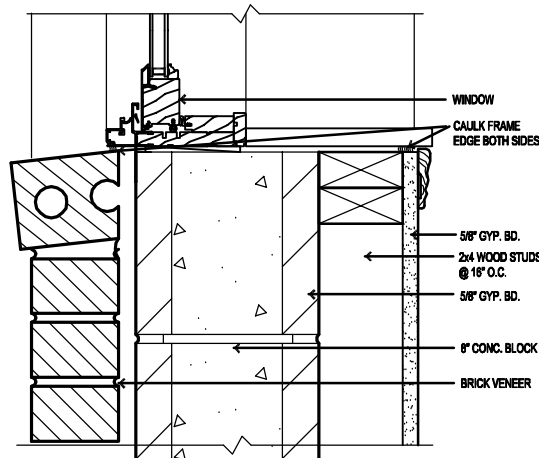




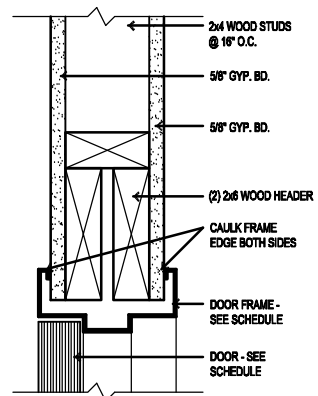
HEAD A A-202



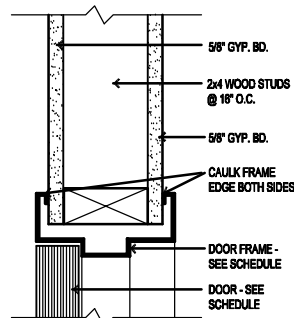
JAMB B A-202



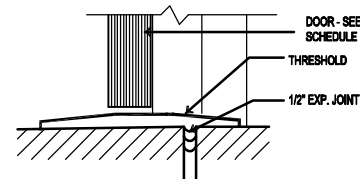
SILL C A-202
WINDOW DETAILS
SCALE: 1 1/2" = 1'-0"



HEAD 1 A-202

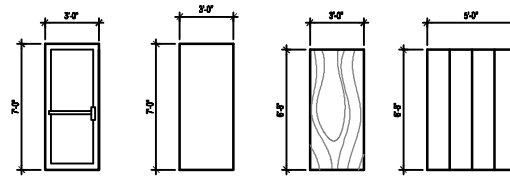


JAMB 2 A-202

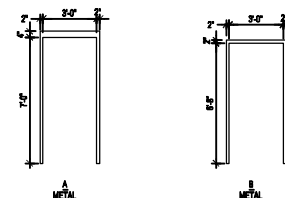


SILL 3 A-202

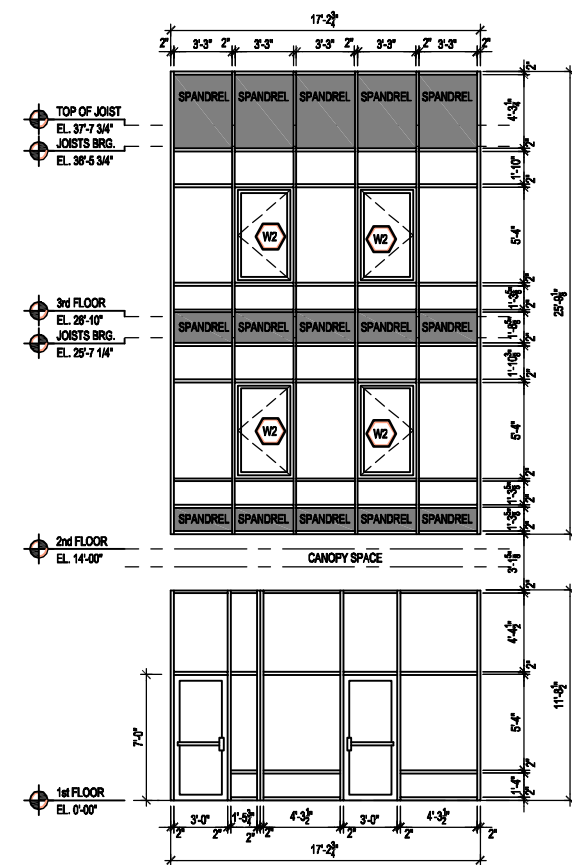
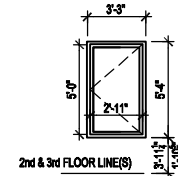
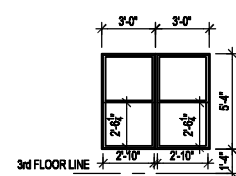
DOOR DETAILS
SCALE: 1 1/2" = 1'-0"



DOOR ELEVATIONS
SCALE: 3/32" = 1'-0"



DOOR FRAME ELEVATIONS
SCALE: 3/32" = 1'-0"



WINDOWS & STOREFRONT ELEVATIONS
SCALE: 3/32" = 1'-0"

DOOR SCHEDULE

NUM	ELEV.	MATL	SIZE	THICK	FINISH	RATING	FRAME			DETAILS				REMARKS
							MATL	FINISH	SILL	HEAD	JAMB	HARDWARE		
001	2	HM	3'-0" X 6'-8"	1-3/4"	PR	45 MIN.	A	MTL	PR	-	-	-	A,B,C,D,G,H	-
002	2	HM	3'-0" X 6'-8"	1-3/4"	PR	45 MIN.	A	MTL	PR	-	-	-	A,B,C,D,G,H	-
100	1	ALUM	3'-0" X 7'-0"	1-3/4"	-	-	-	AL	-	-	-	-	A,B,C,D,G,H	-
101	1	ALUM	3'-0" X 7'-0"	1-3/4"	-	-	-	AL	-	-	-	-	A,B,E,G	-
102	2	HM	3'-0" X 7'-0"	1-3/4"	PR	45 MIN.	B	MTL	PR	3/A-202	1/A-202	2/A-202	A,B,C,D,G,H	-
103	3	HC	3'-0" X 6'-8"	1-3/4"	PR	-	B	MTL	PR	3/A-202	1/A-202	2/A-202	A,B,C,D,G,H	-
104	3	HC	3'-0" X 6'-8"	1-3/4"	PR	45 MIN.	B	MTL	PR	3/A-202	1/A-202	2/A-202	A,E,G	-
105	3	HC	3'-0" X 6'-8"	1-3/4"	PR	-	B	MTL	PR	-	-	-	A,E,G	-
106	3	HC	3'-0" X 6'-8"	1-3/4"	PR	45 MIN.	B	MTL	PR	-	-	-	A,E,G	-
107	3	HC	3'-0" X 6'-8"	1-3/4"	PR	-	B	MTL	PR	3/A-202	1/A-202	2/A-202	A,E,G	-
108	3	HC	3'-0" X 6'-8"	1-3/4"	PR	-	B	MTL	PR	3/A-202	1/A-202	2/A-202	A,F,G	-
109	3	HC	3'-0" X 6'-8"	1-3/4"	PR	-	B	MTL	PR	-	-	-	A,F,G	-
110	3	HC	3'-0" X 6'-8"	1-3/4"	PR	-	B	MTL	PR	-	-	-	A,F,G	-
200	2	HM	3'-0" X 6'-8"	1-3/4"	PR	45 MIN.	B	MTL	PR	3/A-202	1/A-202	2/A-202	A,E,G	-
201	3	HC	3'-0" X 6'-8"	1-3/4"	PR	-	B	MTL	PR	3/A-202	1/A-202	2/A-202	A,E,G	-
202	3	HC	3'-0" X 6'-8"	1-3/4"	PR	-	B	MTL	PR	3/A-202	1/A-202	2/A-202	A,E,G	-
203	3	HC	3'-0" X 6'-8"	1-3/4"	PR	-	B	MTL	PR	3/A-202	1/A-202	2/A-202	A,E,G	-
204	3	HC	3'-0" X 6'-8"	1-3/4"	PR	-	B	MTL	PR	3/A-202	1/A-202	2/A-202	A,E,G	-
205	4	HC	5'-0" X 6'-8" BI-FOLD	1-3/4"	PR	-	-	DW.	PR	-	-	-	A,E,G	-
300	2	HM	3'-0" X 6'-8"	1-3/4"	PR	45 MIN.	B	MTL	PR	3/A-202	1/A-202	2/A-202	A,E,G	-
301	2	HM	3'-0" X 6'-8"	1-3/4"	PR	45 MIN.	B	MTL	PR	3/A-202	1/A-202	2/A-202	A,E,G	-
302	3	HC	2'-8" X 6'-8"	1-3/4"	PR	45 MIN.	B	MTL	PR	3/A-202	1/A-202	2/A-202	A,E,G	-
303	3	HC	2'-8" X 6'-8"	1-3/4"	PR	-	B	MTL	PR	3/A-202	1/A-202	2/A-202	A,E,G	-
304	3	HC	2'-8" X 6'-8"	1-3/4"	PR	-	B	MTL	PR	3/A-202	1/A-202	2/A-202	A,E,G	-
305	3	HC	2'-8" X 6'-8"	1-3/4"	PR	-	B	MTL	PR	3/A-202	1/A-202	2/A-202	A,E,G	-
306	3	HC	2'-8" X 6'-8"	1-3/4"	PR	-	B	MTL	PR	3/A-202	1/A-202	2/A-202	A,E,G	-
307	3	HC	2'-8" X 6'-8"	1-3/4"	PR	-	B	MTL	PR	3/A-202	1/A-202	2/A-202	A,E,G	-
308	3	HC	2'-8" X 6'-8" BARN DR.	1-3/4"	PR	-	-	DW.	PR	-	-	-	-	-
309	4	HC	5'-0" X 6'-8" BI-FOLD	1-3/4"	PR	-	-	DW.	PR	-	-	-	-	-

PR = PRIMED

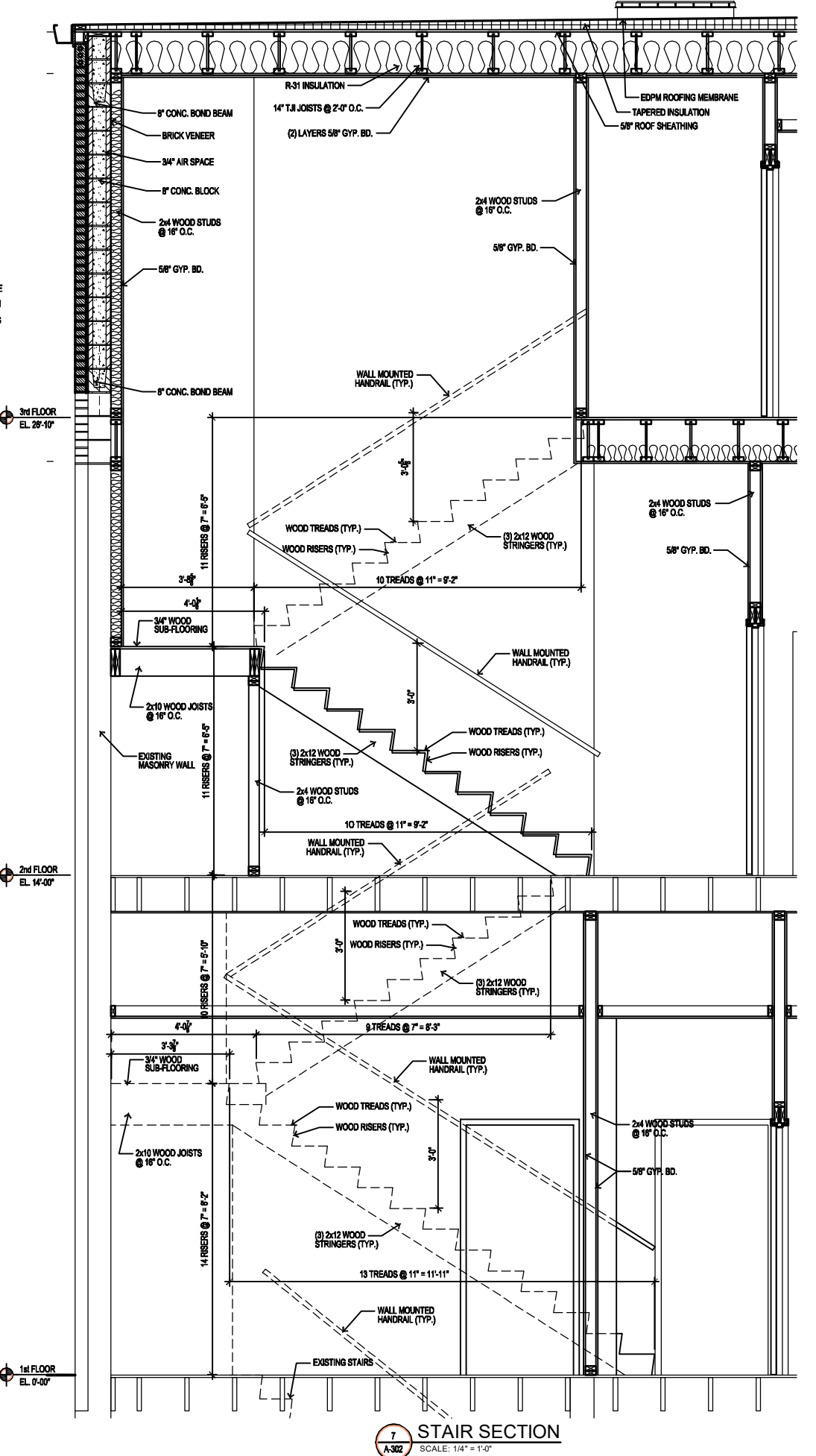
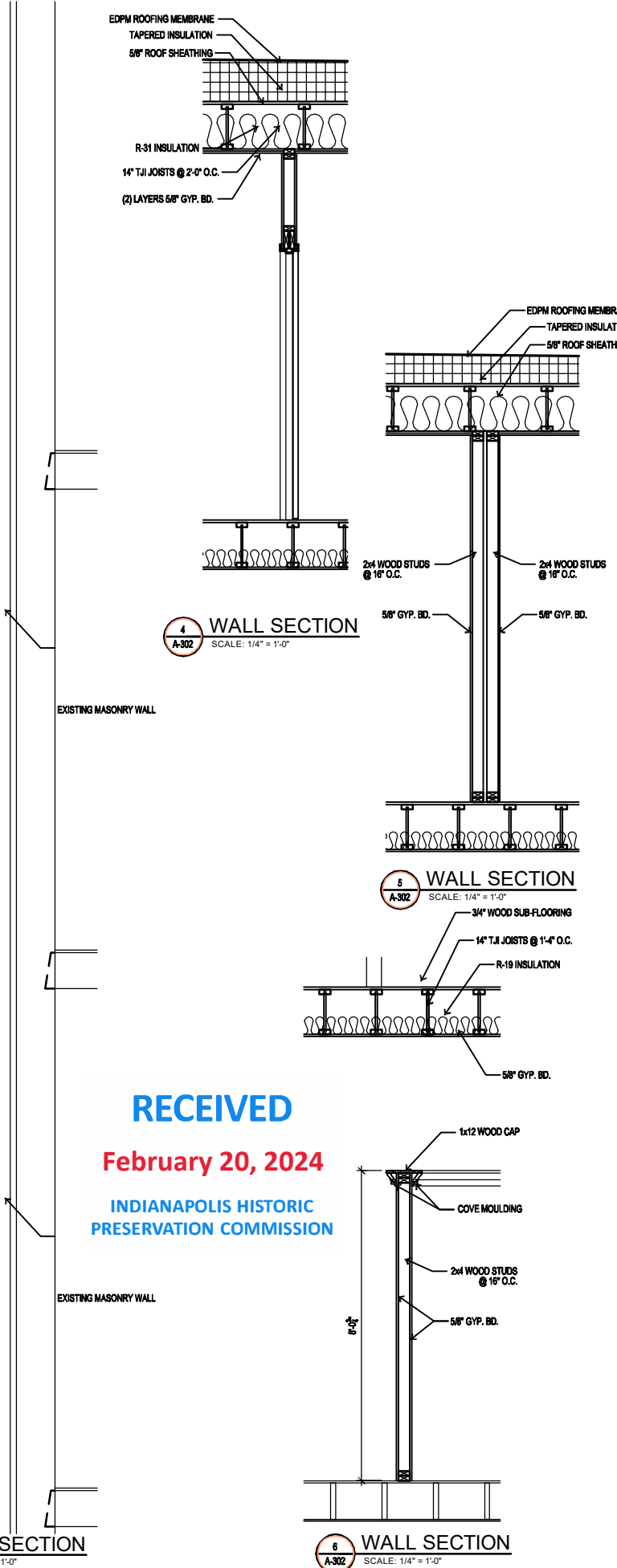
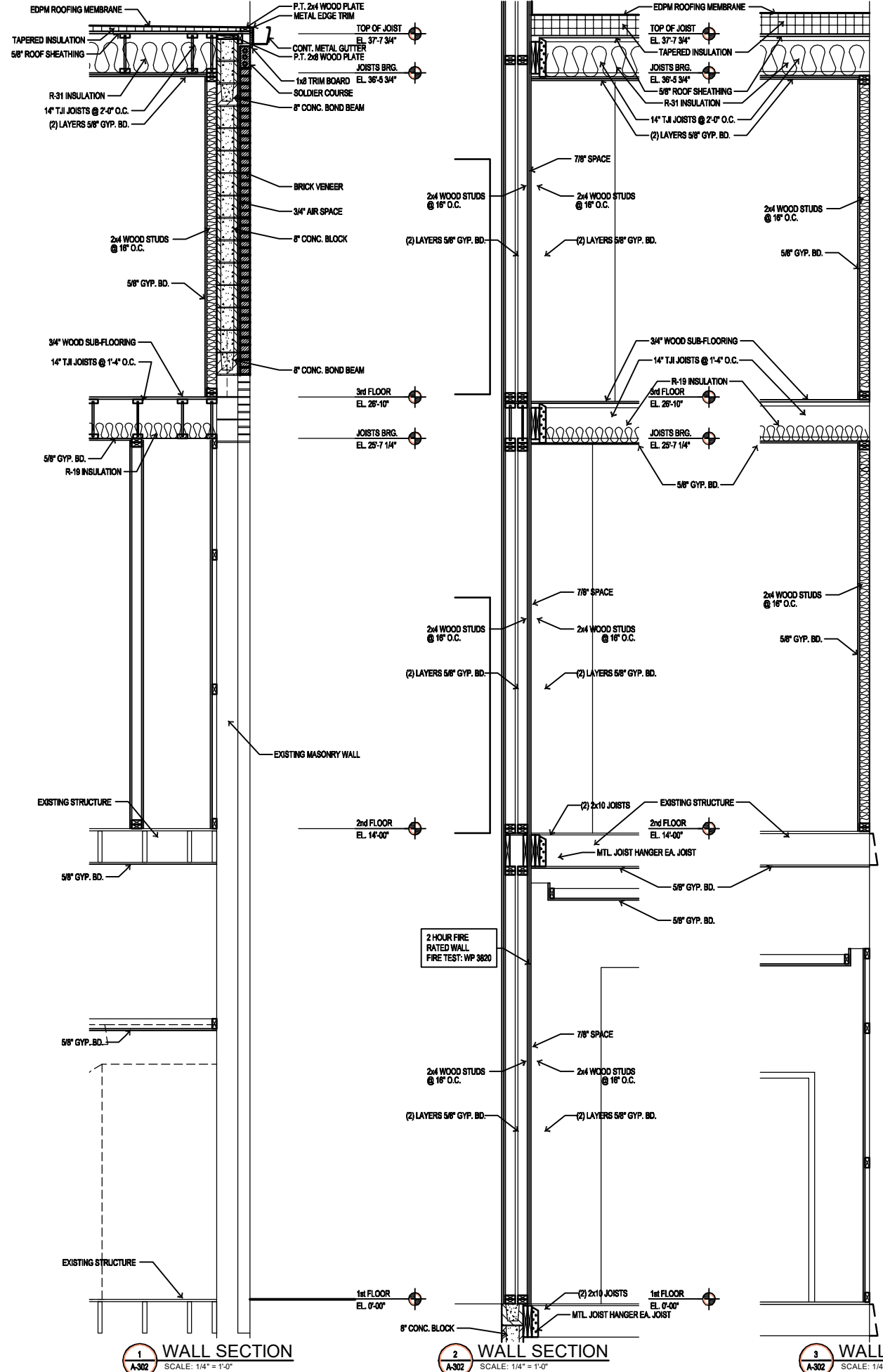
DOOR HARDWARE SCHEDULE

NO.	ITEM	USE	MANUFACTURER	MODEL	FINISH
A	BUTT HINGES	EXTERIOR DOOR	GATEHOUSE	030881	S.S. US 32D
A	BUTT HINGES	INTERIOR DOORS	GATEHOUSE	030881	S.S. US 32D
B	THRESHOLD	EXTERIOR DOOR	MD	14618	ALUMINUM
C	WEATHER STRIPPING	EXTERIOR DOORS	FROST KING	V4438	OFF WHITE
D	ENTRY LOCKSET	H.M. & WOOD DOORS	SCHLAGE	F51CS	SATIN CHROME US 28D
E	PASSAGE LOCKSET	H.M. & WOOD DOORS	SCHLAGE	F10CS	SATIN CHROME US 28D
F	PRIVACY LOCKSET	H.M. & WOOD DOORS	SCHLAGE	F40CS	SATIN CHROME US 28D
G	SELF-CLOSER	EXTERIOR DOOR	VON DUPRIN	-	SATIN CHROME US 28D
H	PANIC HARDWARE	EXTERIOR DOOR	VON DUPRIN	TYPE 33 OR 99	SATIN CHROME US 28D

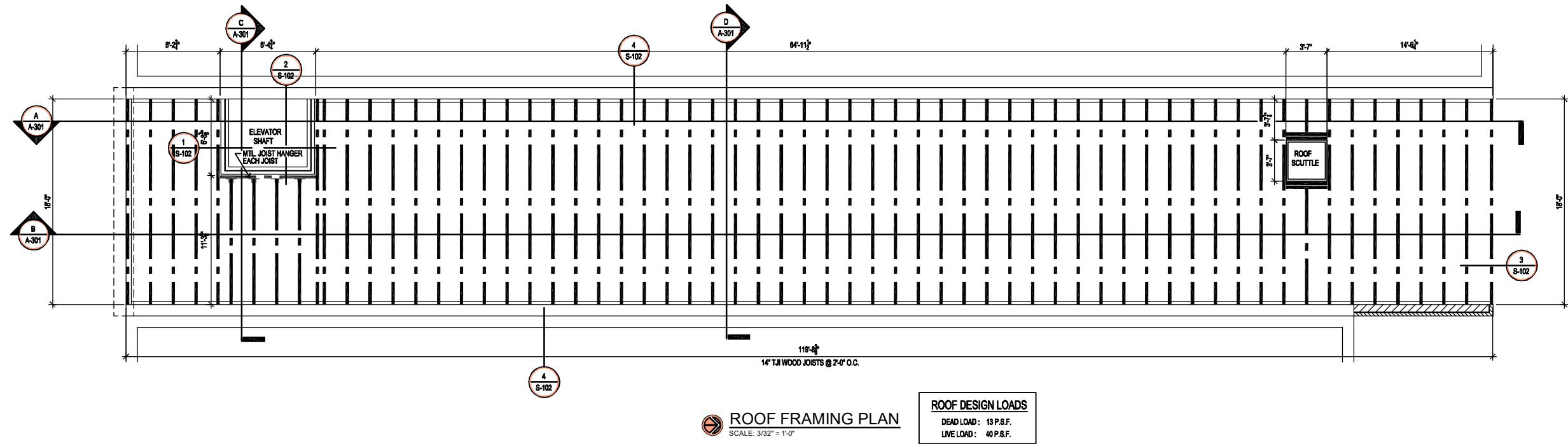
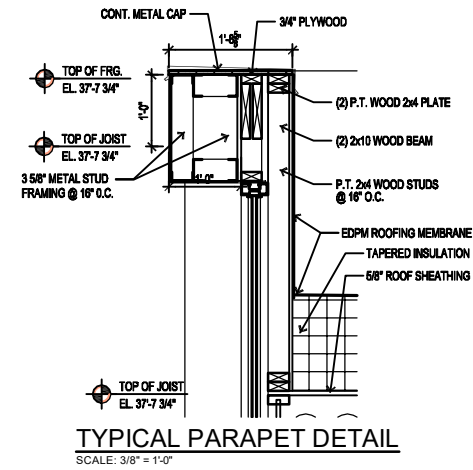
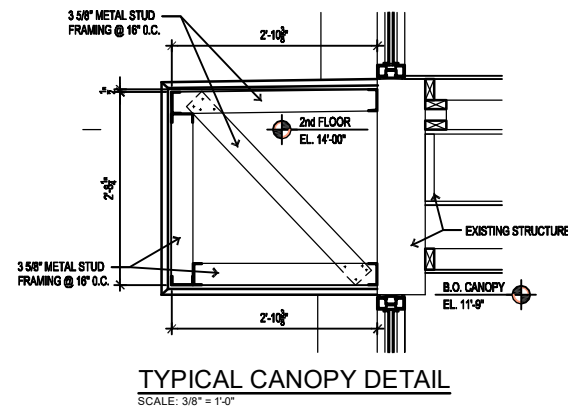
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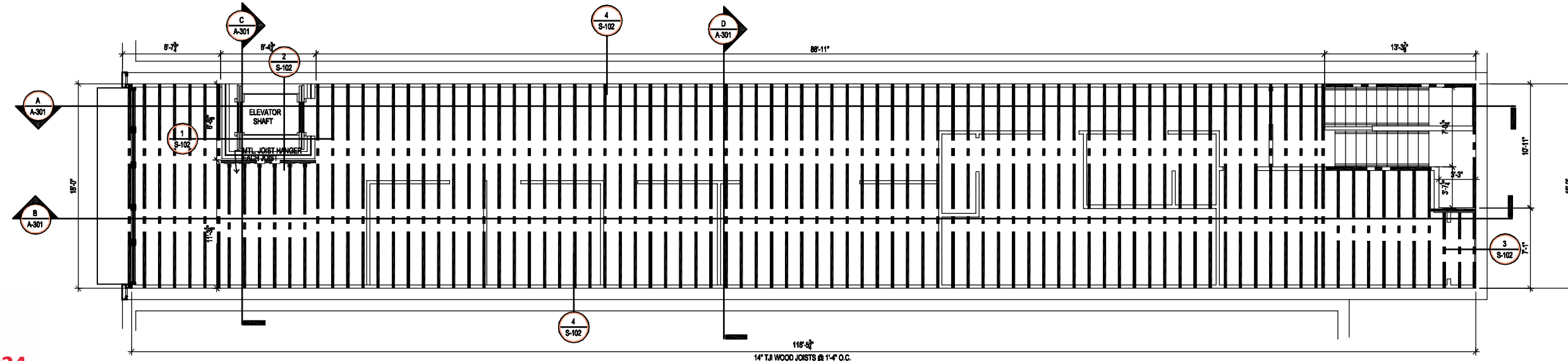
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ROOF DESIGN LOADS
 DEAD LOAD: 13 P.S.F.
 LIVE LOAD: 40 P.S.F.



FLOOR DESIGN LOADS
 DEAD LOAD: 80 P.S.F.
 LIVE LOAD: 100 P.S.F.

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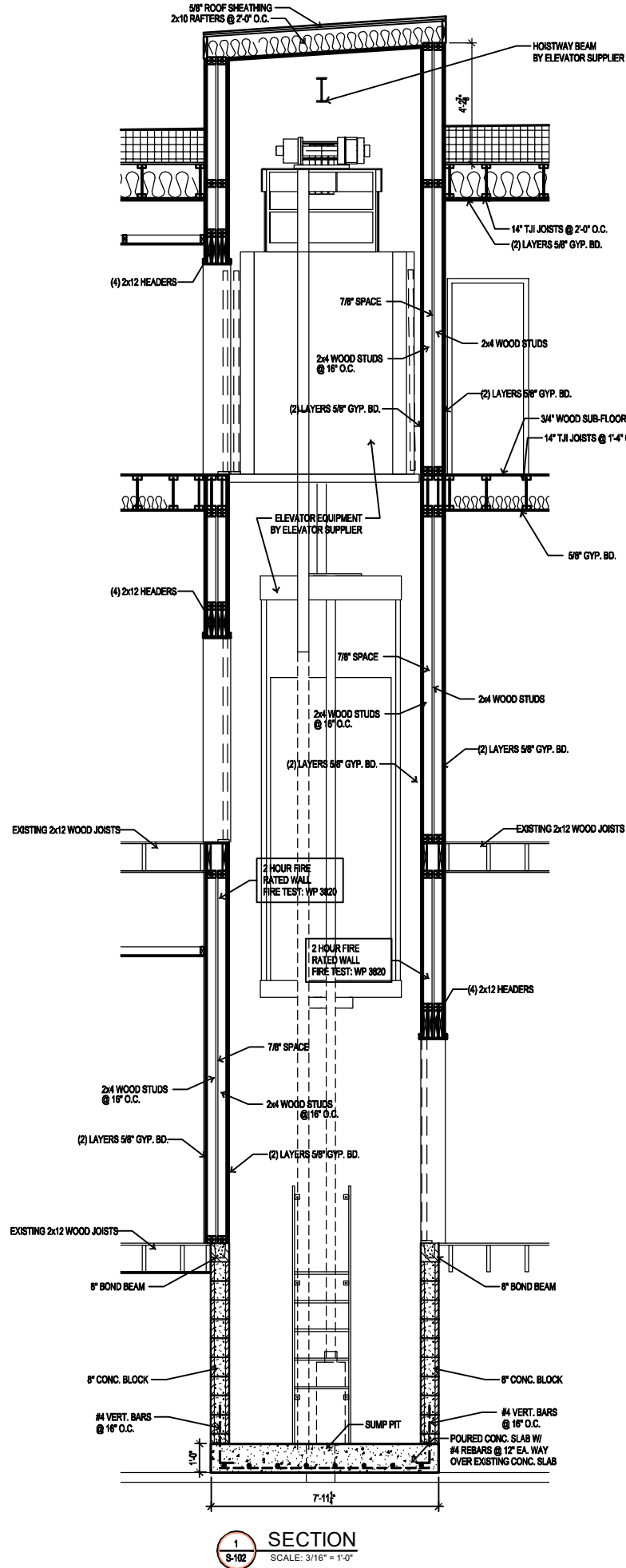
BUILDING RENOVATION FOR:
J. BENZAL Menswear
 38 EAST WASHINGTON STREET, INDIANAPOLIS, IN 46204

NO. 2024-COA-002 (MCD) & 2024VHP001

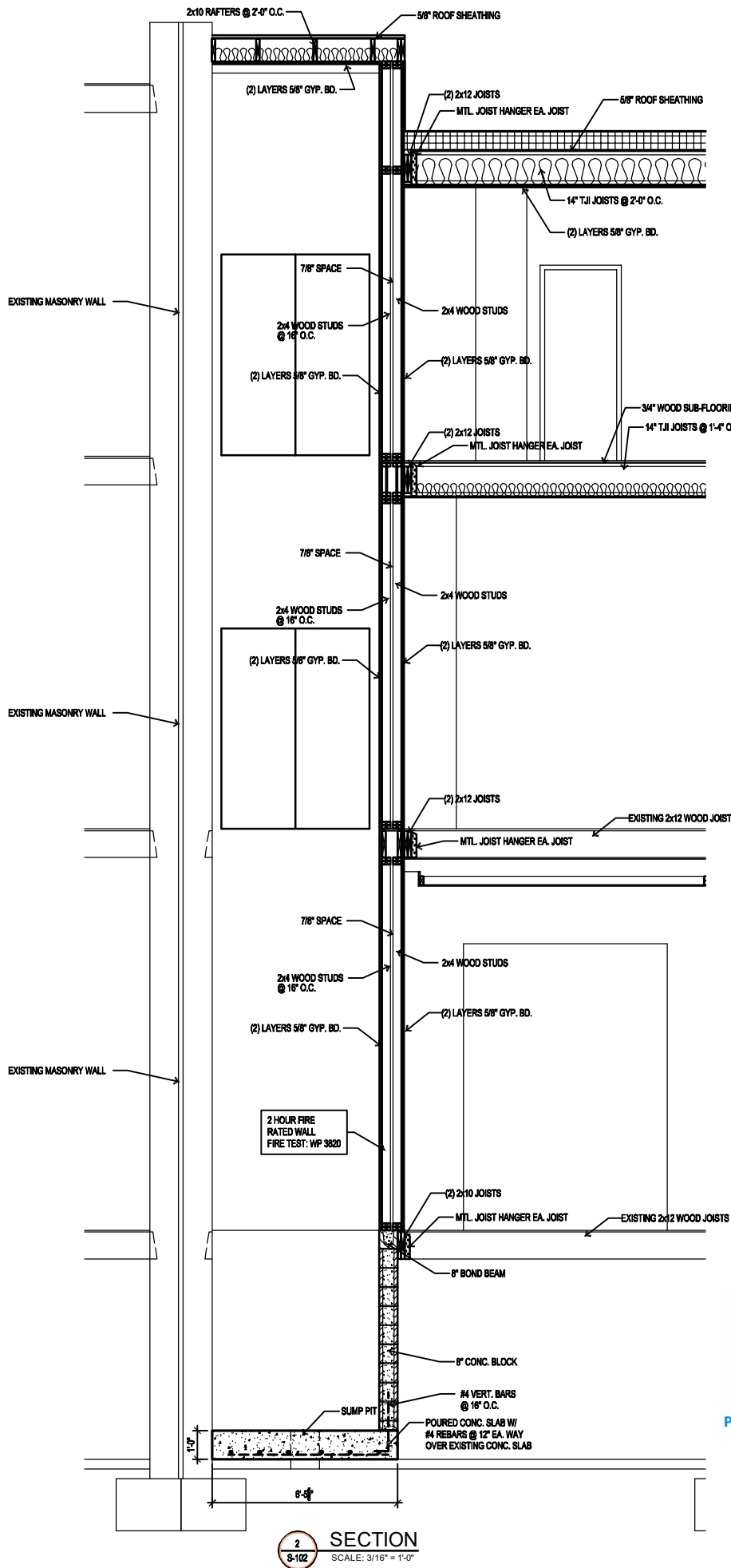
THIRD FLOOR & ROOF FRAMING PLANS

Architectural Consulting
 1728 West 57th Street Indianapolis, IN 46228
 cheeks92@msn.com 317-374-3680

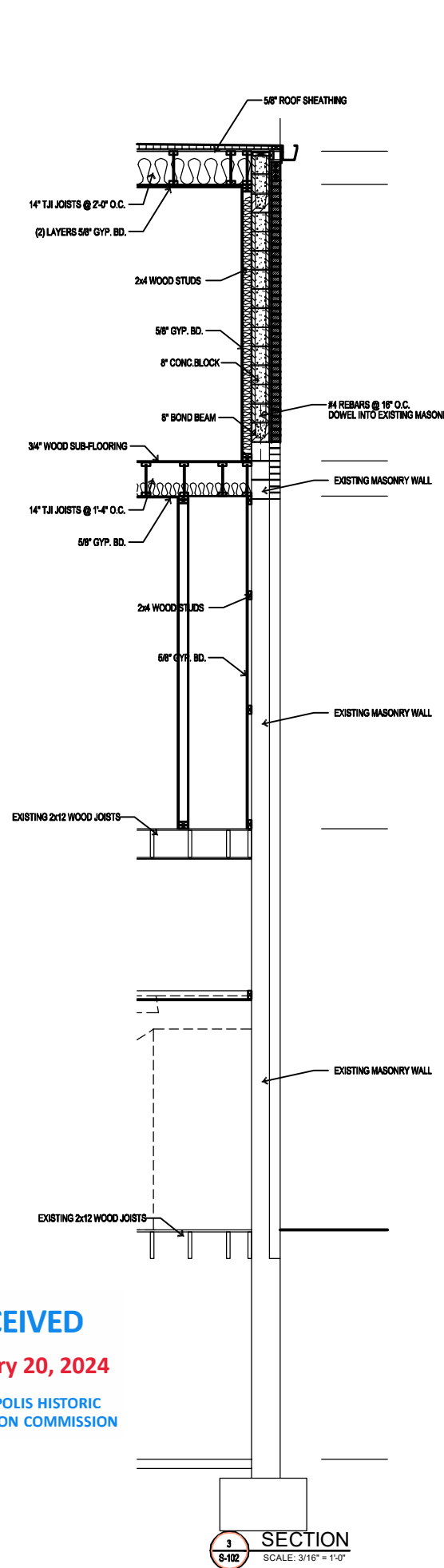
S-101



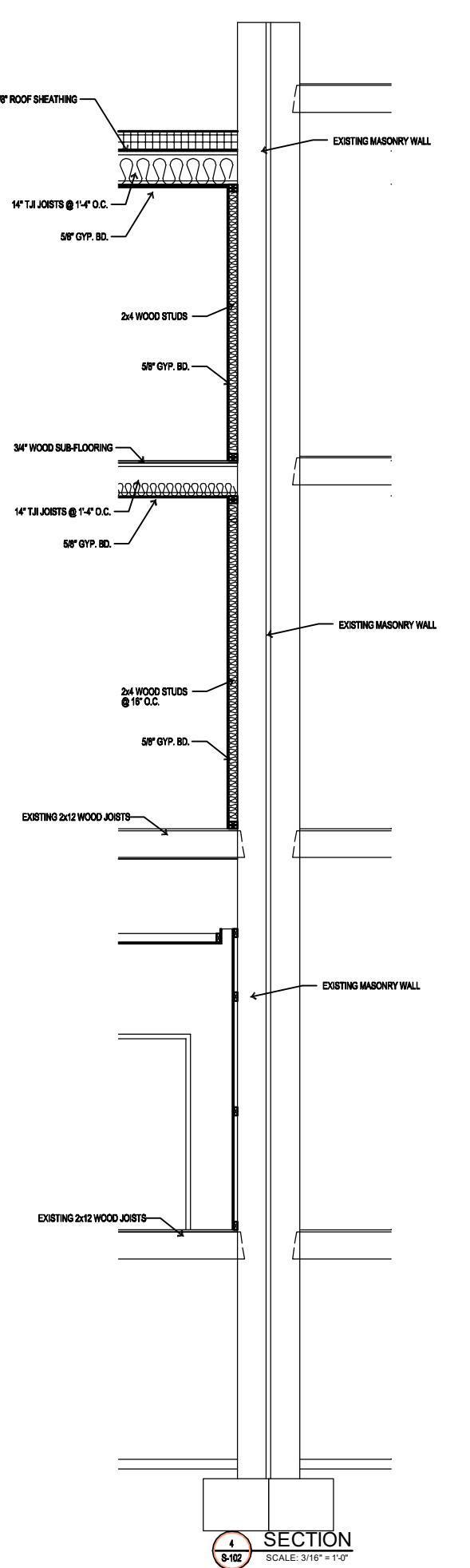
1 SECTION
S-102 SCALE: 3/16" = 1'-0"



2 SECTION
S-102 SCALE: 3/16" = 1'-0"



3 SECTION
S-102 SCALE: 3/16" = 1'-0"



4 SECTION
S-102 SCALE: 3/16" = 1'-0"

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