

**DECEMBER 6, 2023
SUBMITTALS**

2023-COA-252 (HMP)
2133 N. TALBOTT



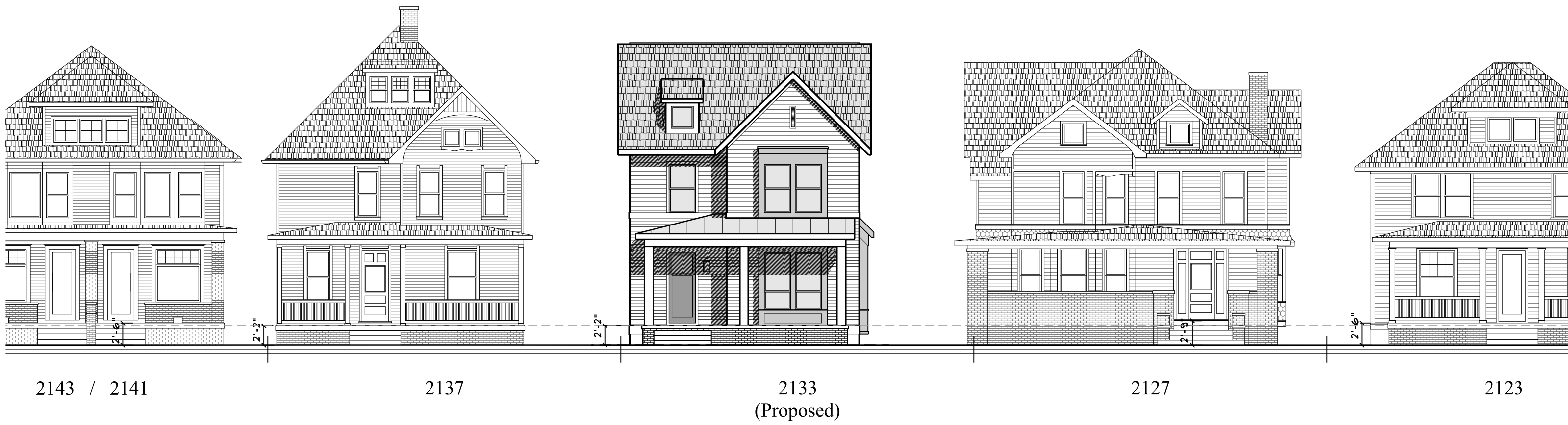
TALBOTT STREET STREETSCAPE

SCALE: 1/16" = 1'-0"

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November 17, 2023

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PRESERVATION COMMISSION

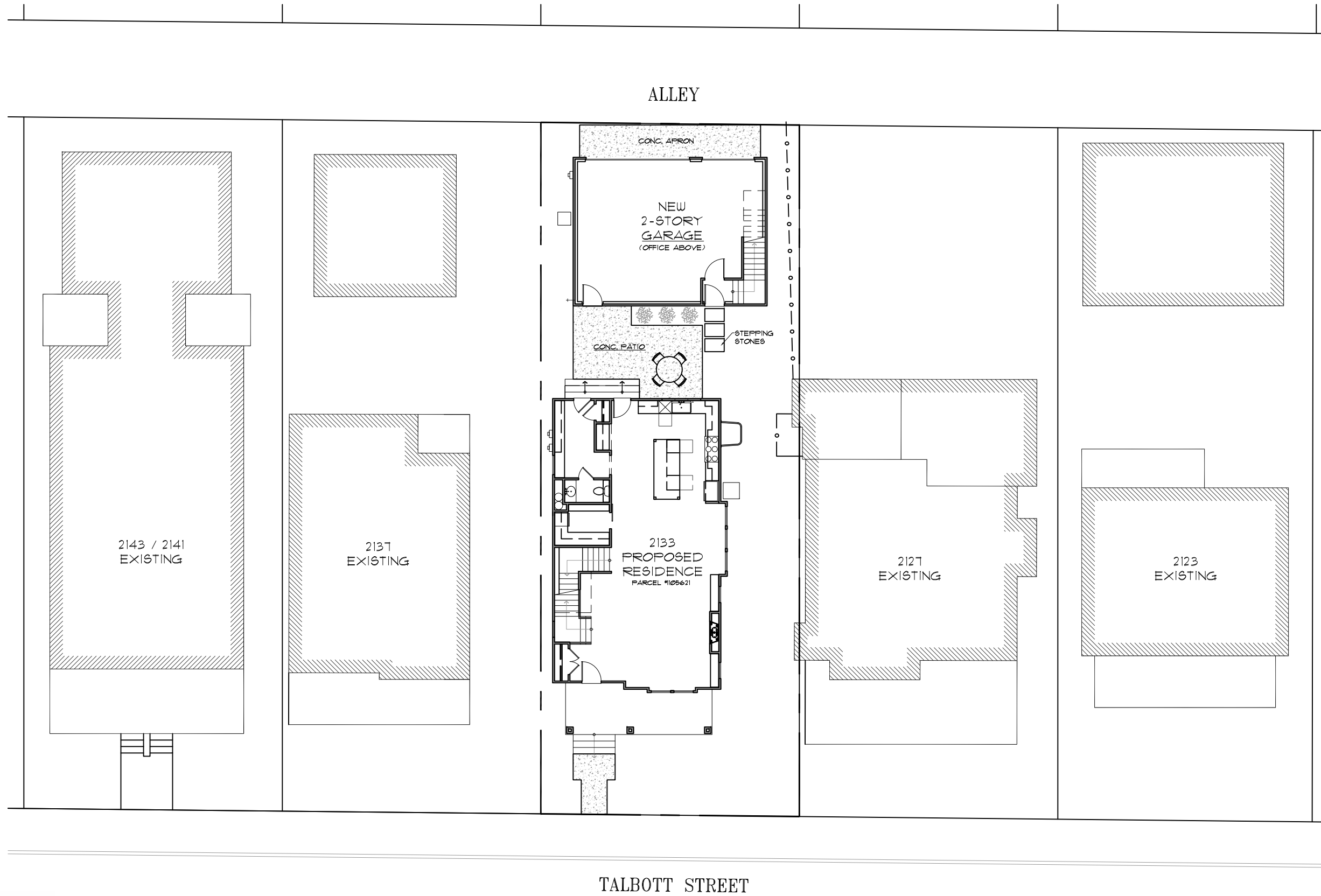


TALBOTT STREET STREETScape
 SCALE: 3/32" = 1'-0"

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2133 N TALBOTT STREET SITE PLAN

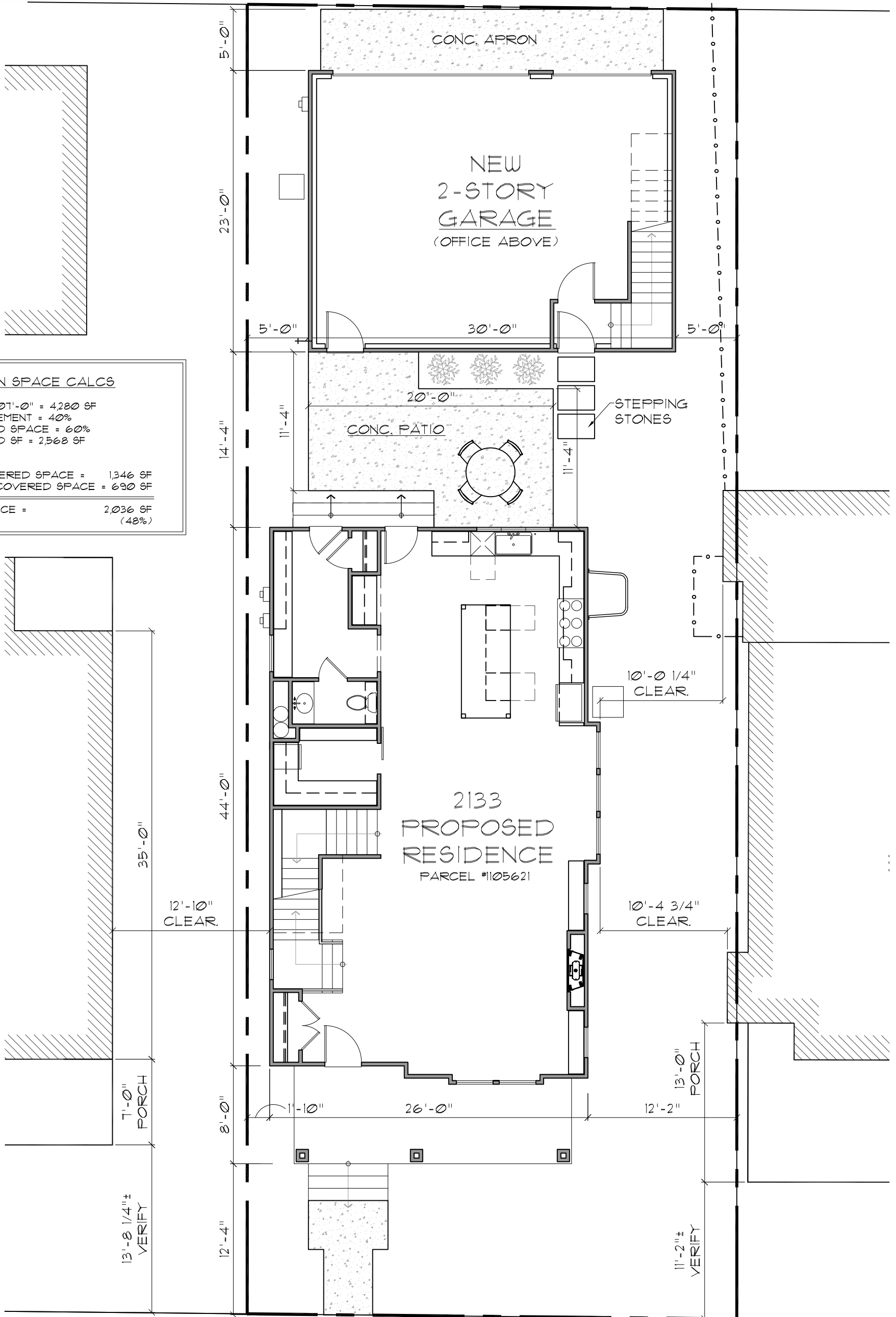
SCALE: 1/16" = 1'-0"

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ALLEY



ALLOWABLE OPEN SPACE CALCS

LOT SIZE = 40'-0" x 107'-0" = 4,280 SF
 OPEN SPACE REQUIREMENT = 40%
 ALLOWABLE COVERED SPACE = 60%
 ALLOWABLE COVERED SF = 2,568 SF

MAIN STRUCTURE COVERED SPACE = 1,346 SF
 ACCESS. STRUCTURE COVERED SPACE = 690 SF

TOTAL COVERED SPACE = 2,036 SF
 (48%)

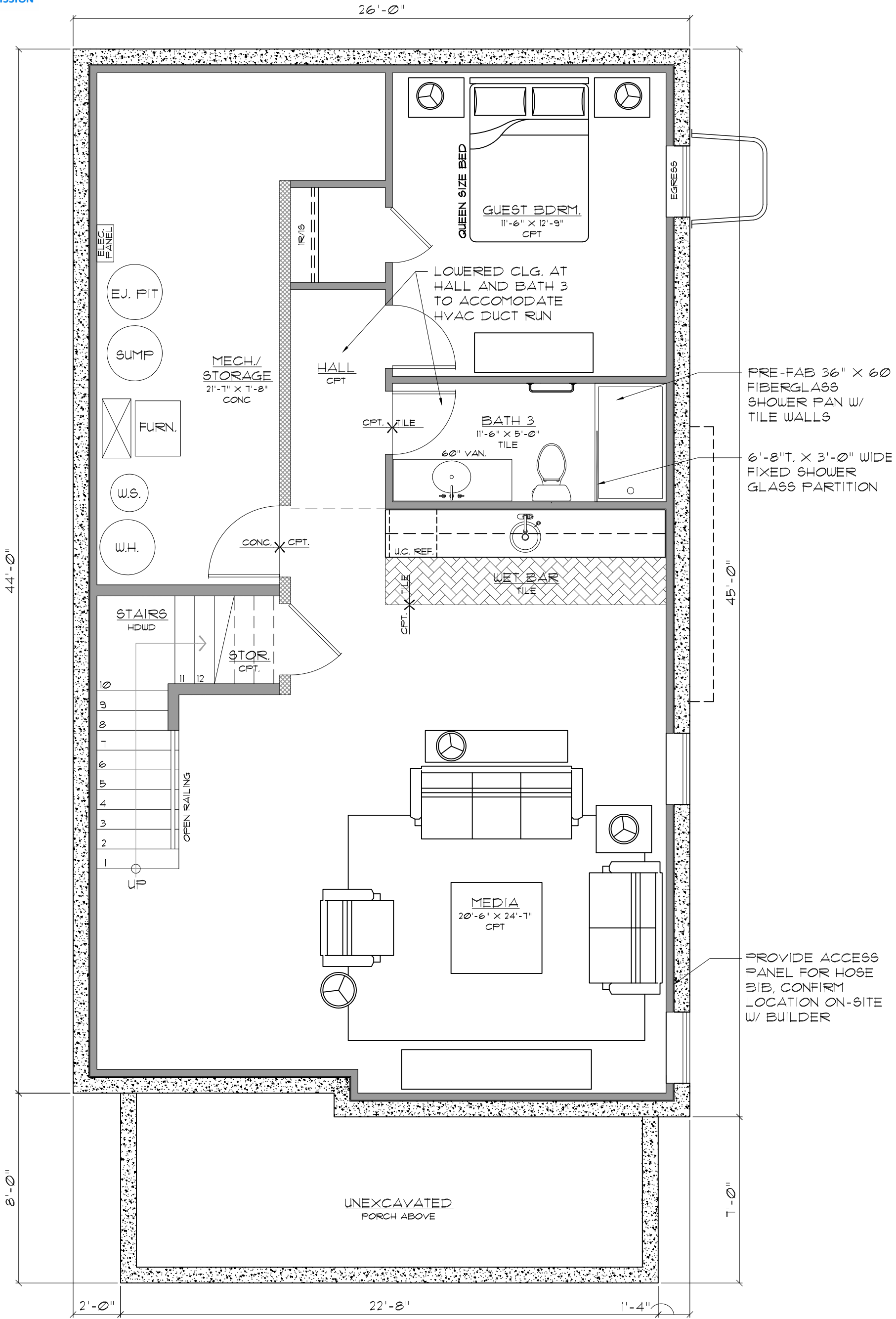
2133
 PROPOSED
 RESIDENCE
 PARCEL #1105621

SITE PLAN @ 1/8" = 1'-0"



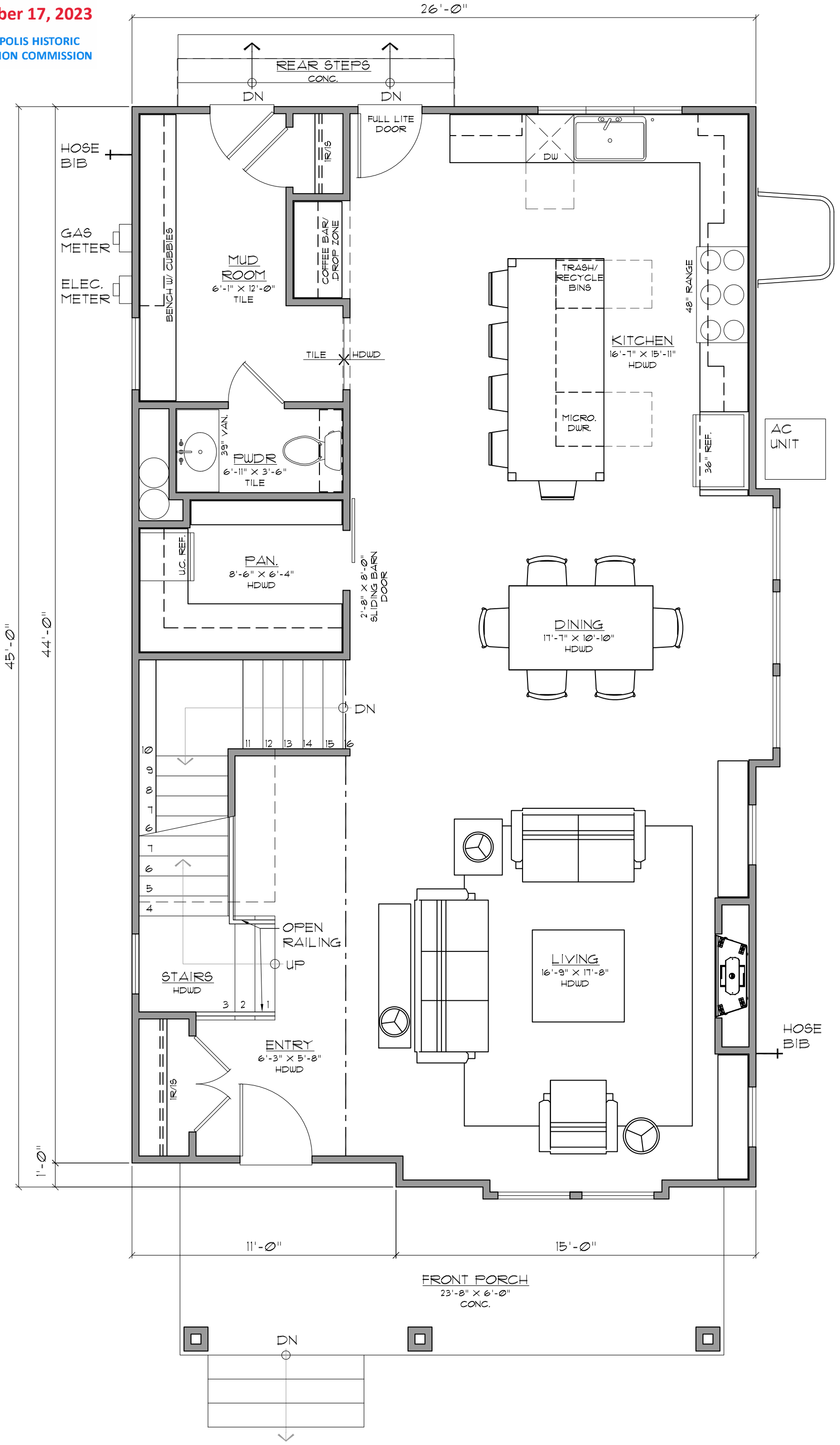
TALBOTT STREET

ZONING
 ZONING DISTRICT = D-8/ HISTORIC
 FRONT SETBACK = VARIES
 SIDE SETBACK = VARIES
 REAR SETBACK (MAIN) = 15'-0"
 REAR SETBACK (ACCESSORY) = 5'-0"
 MAX HEIGHT = 35'-0" / 2.5 STORY
 MIN. BETWEEN BUILDINGS = 10'-0"



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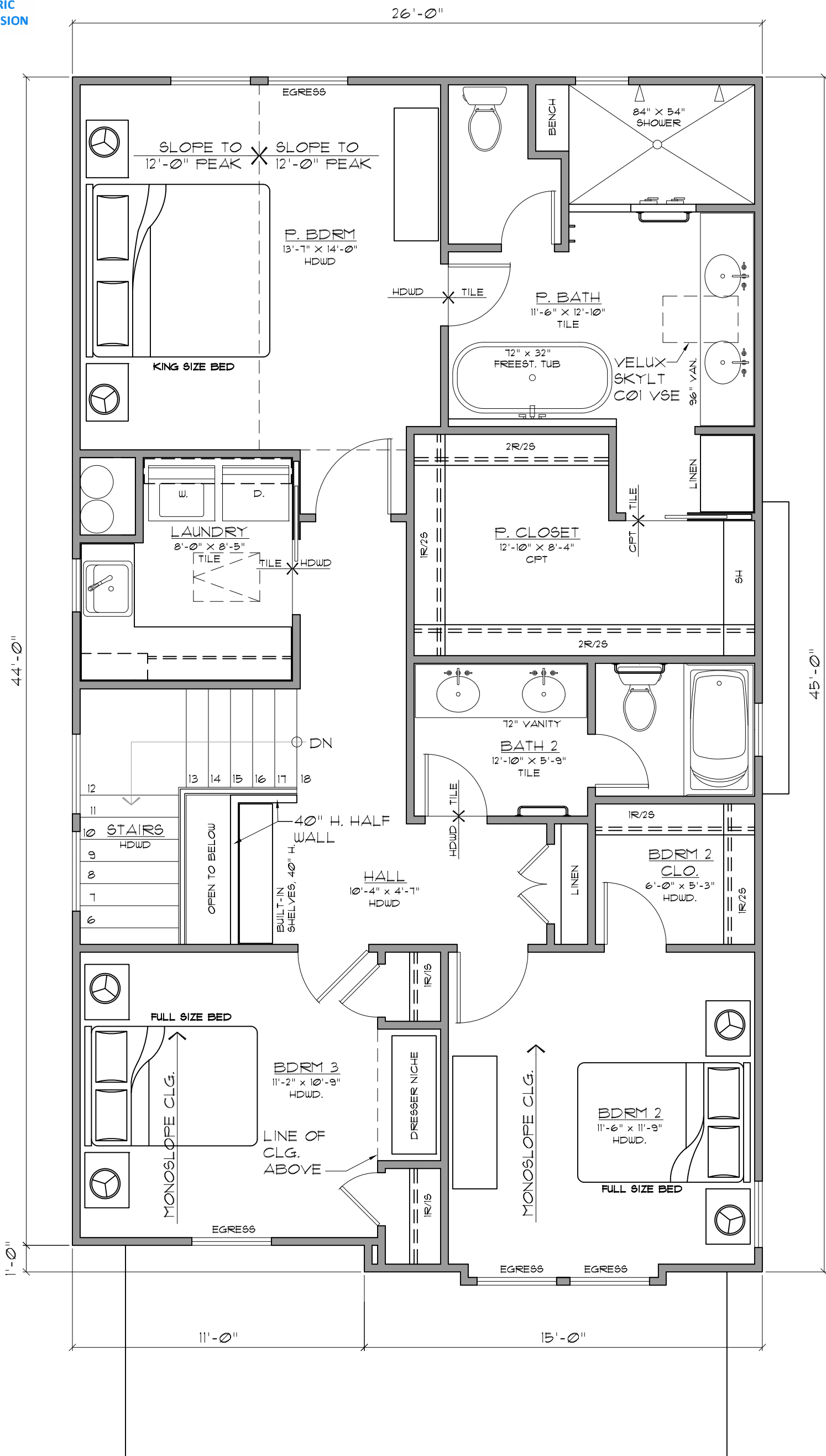
1 2133 N TALBOTT STREET
 SCALE: 1/4" = 1'-0"

FIRST FLOOR PLAN
 TOTAL FINISHED: 1,175 SF
 (MEASURED TO EXTERIOR OF WALL)



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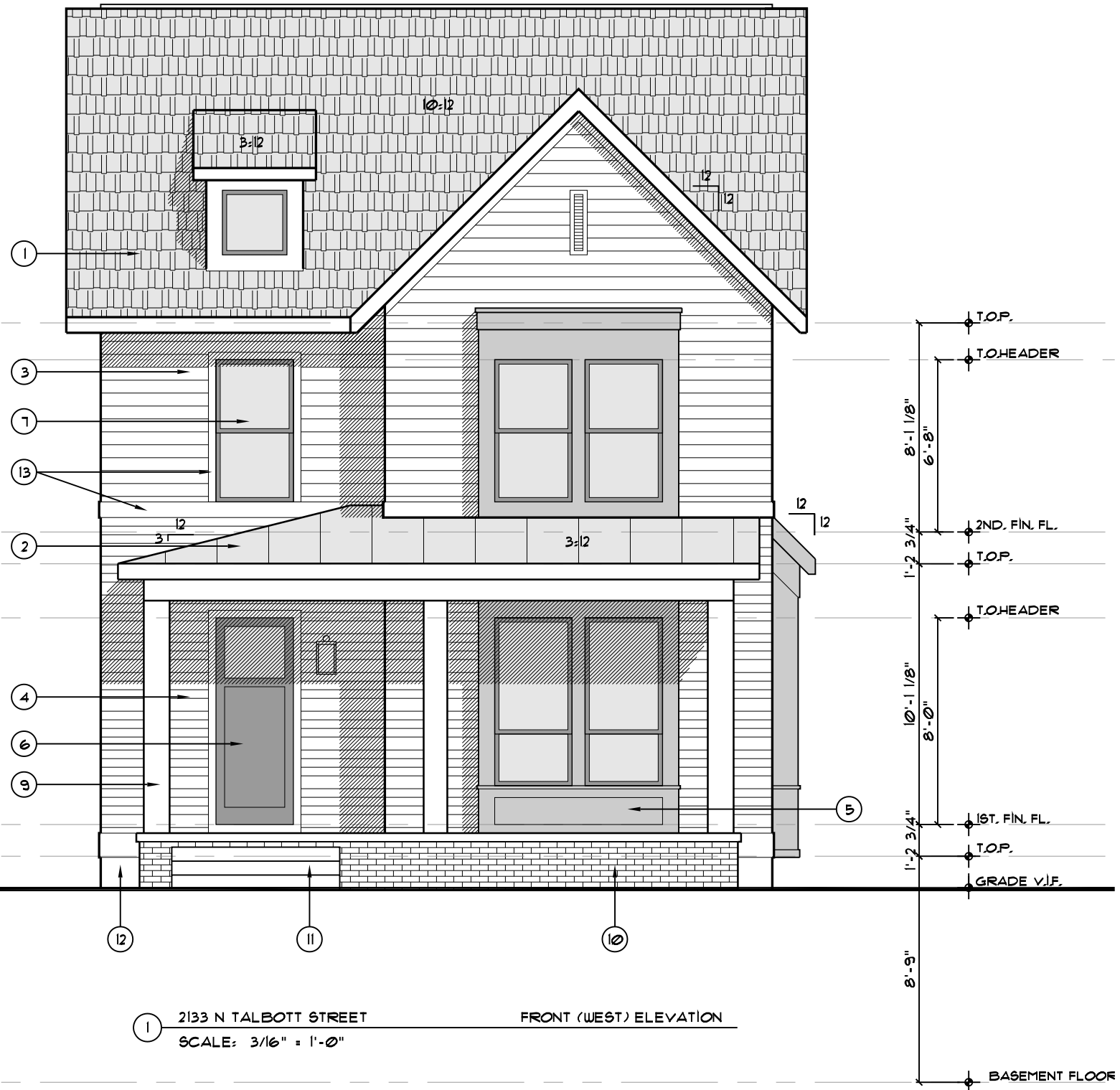
2 2133 N TALBOTT STREET
SCALE: 1/4" = 1'-0"

SECOND FLOOR PLAN
TOTAL FINISHED: 1,163 SF
(MEASURED TO EXTERIOR OF WALL)



EXTERIOR MATERIALS KEY

- ① 3-DIMENSIONAL FIBERGLASS SHINGLE ROOF
- ② STAINING SEAM METAL ROOF
- ③ FIBERCEMENT BOARD SIDING - 6" EXPOSURE (SMOOTH) - METAL CAPS @ CORNERS
- ④ FIBERCEMENT BOARD SIDING - 4" / 4" / 4" / 6" EXPOSURE (SMOOTH) - METAL CAPS @ CORNERS
- ⑤ 1/2" THICK FIBERCEMENT PANEL
- ⑥ STAIN GRADE EXTERIOR DOOR
- ⑦ PELLA WINDOWS, LIFESTYLE SERIES
- ⑧ VELUX SKYLIGHT PER PLANS
- ⑨ 12" SQUARE TRIM WRAPPED COLUMNS, FINISH TBD
- ⑩ BRICK VENEER AT FRONT PORCH
- ⑪ CONCRETE STEPS
- ⑫ CONCRETE FOUNDATION
- ⑬ 5/4" WINDOW TRIM AND BAND BOARD (SMOOTH)



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3 2133 N TALBOTT STREET
SCALE: 3/16" = 1'-0"

REAR (EAST) ELEVATION

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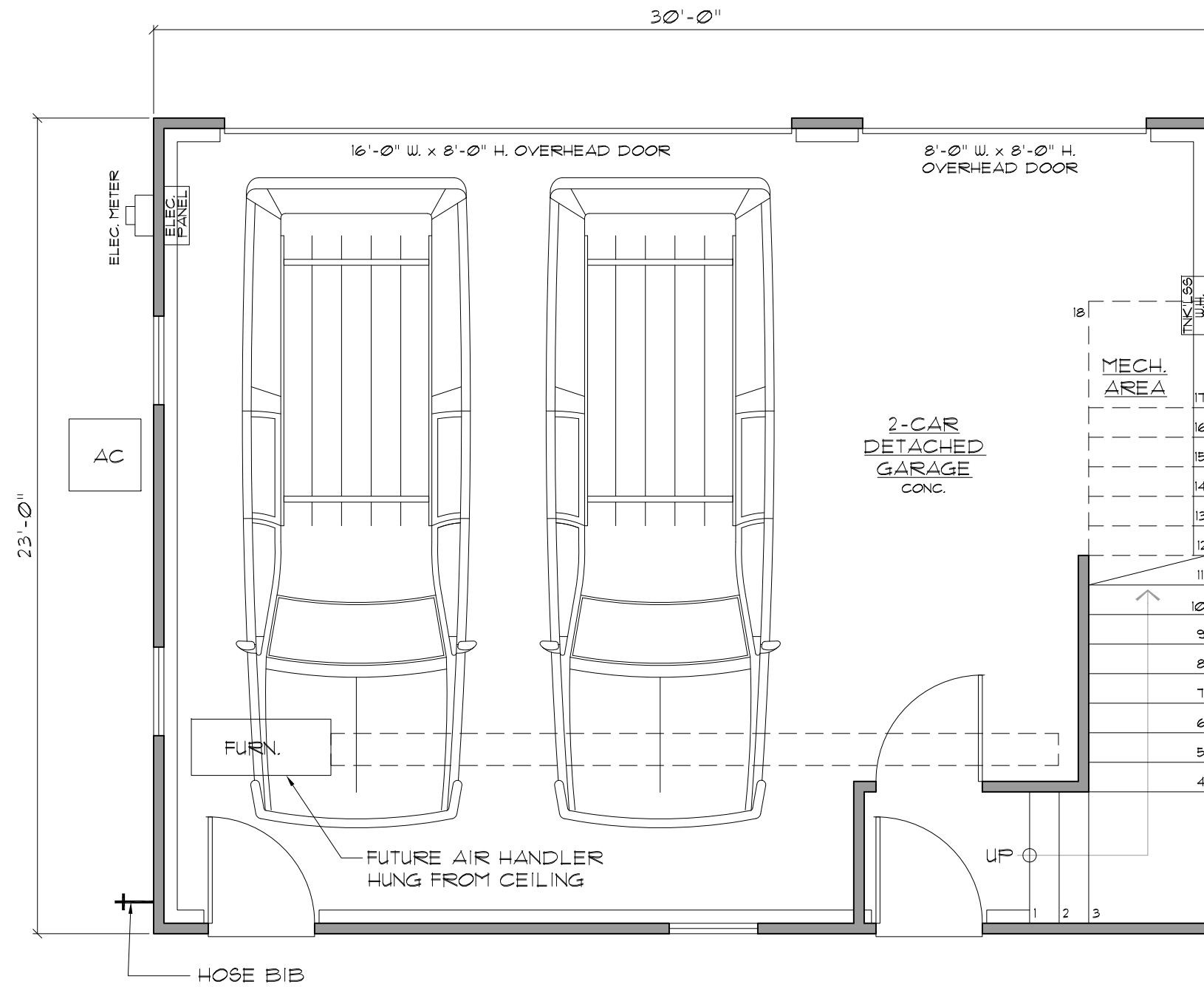


4 2133 N TALBOTT STREET SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"

RECEIVED

November 17, 2023

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RECEIVED

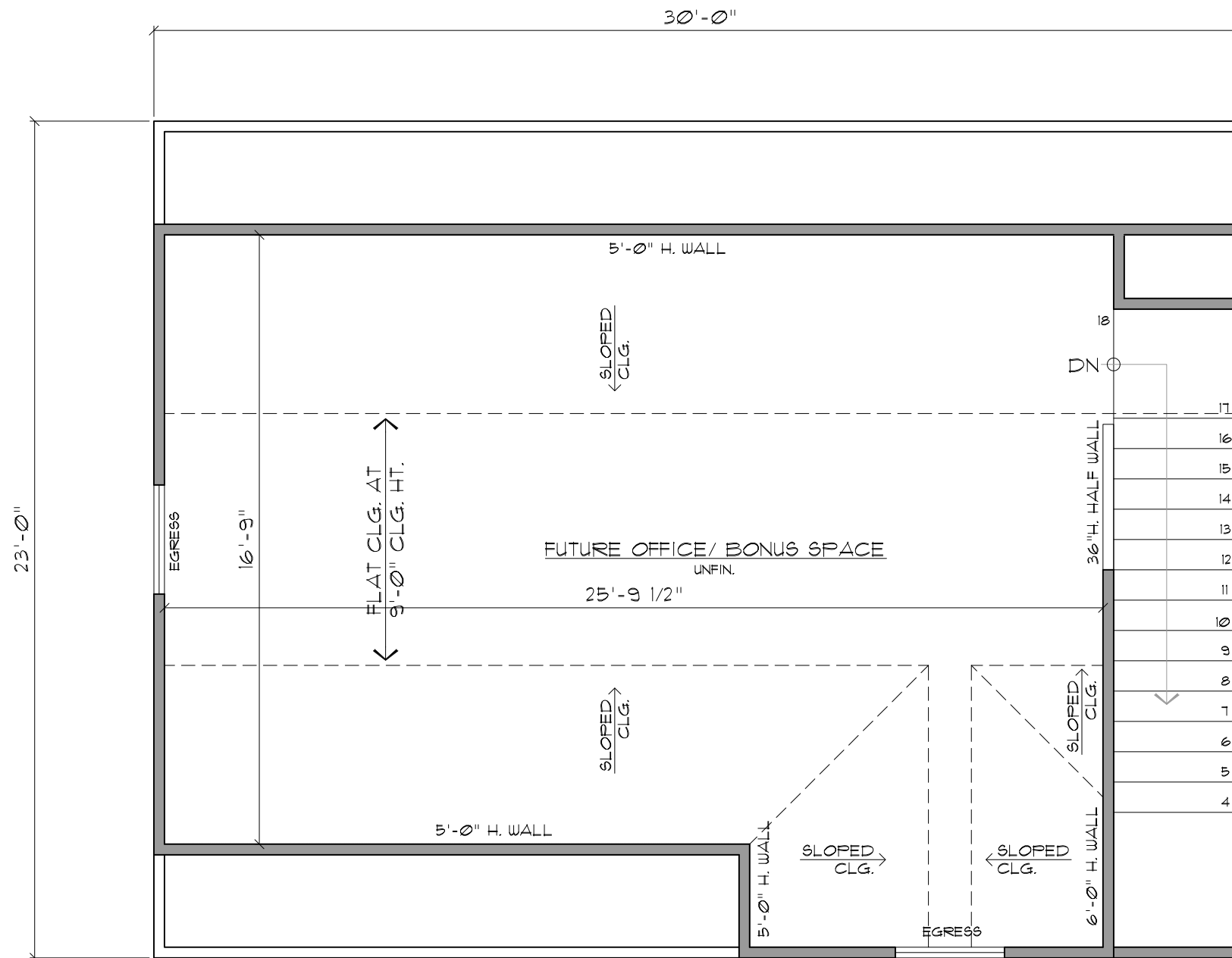
November 17, 2023

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① 2133 N TALBOTT STREET
SCALE: 1/4" = 1'-0"

GARAGE FIRST FLOOR PLAN
690 SF (MEASURED TO EXT. WALL)





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2

2133 N TALBOTT STREET

SECOND FLOOR GARAGE PLAN

SCALE: 1/4" = 1'-0"

560 SF (MEASURED TO EXT. WALL / 5'-0" A.F.F.)



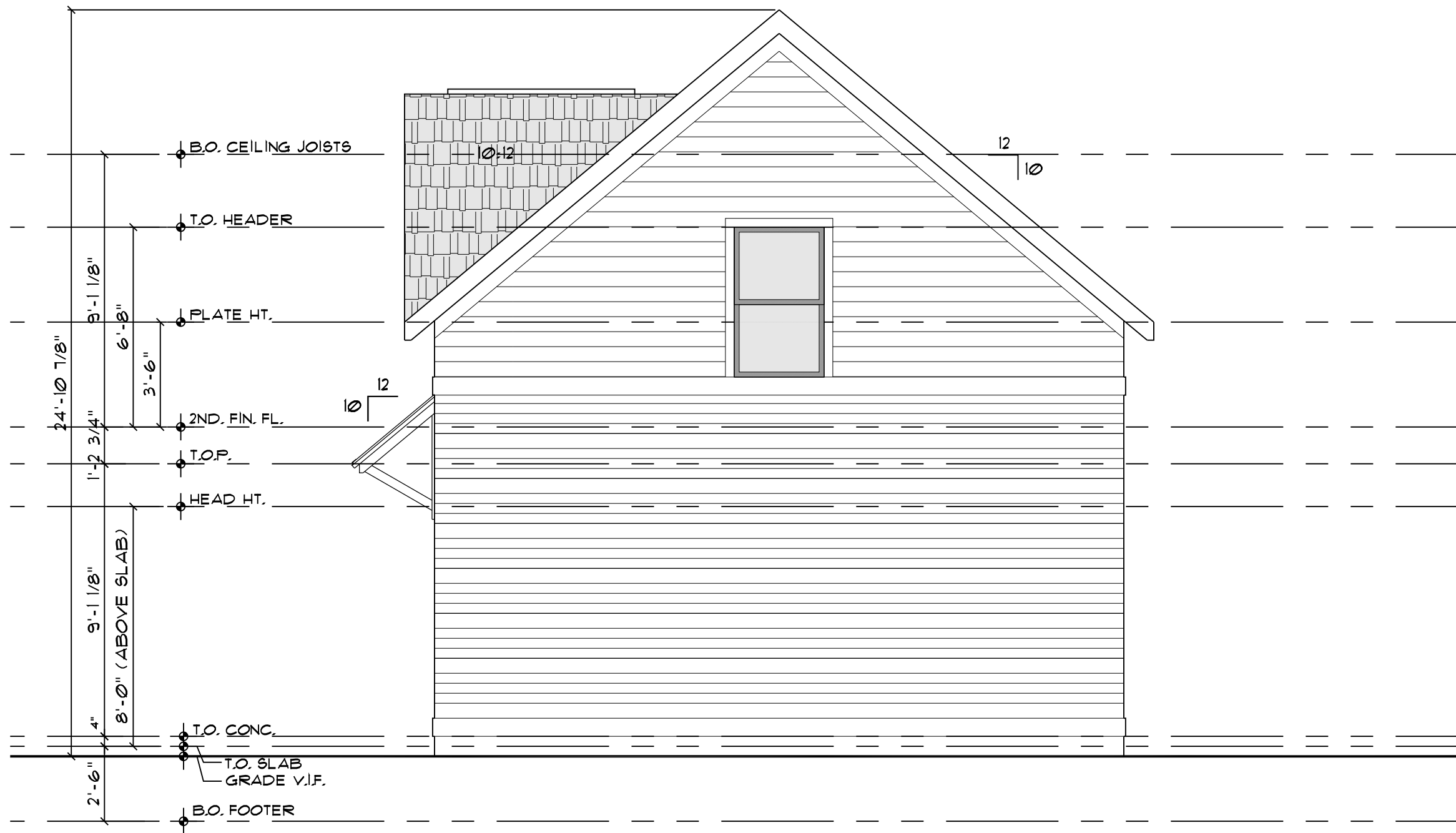


① 2133 N TALBOTT STREET GARAGE WEST (BACKYARD) ELEVATION
 SCALE: 1/4" = 1'-0"

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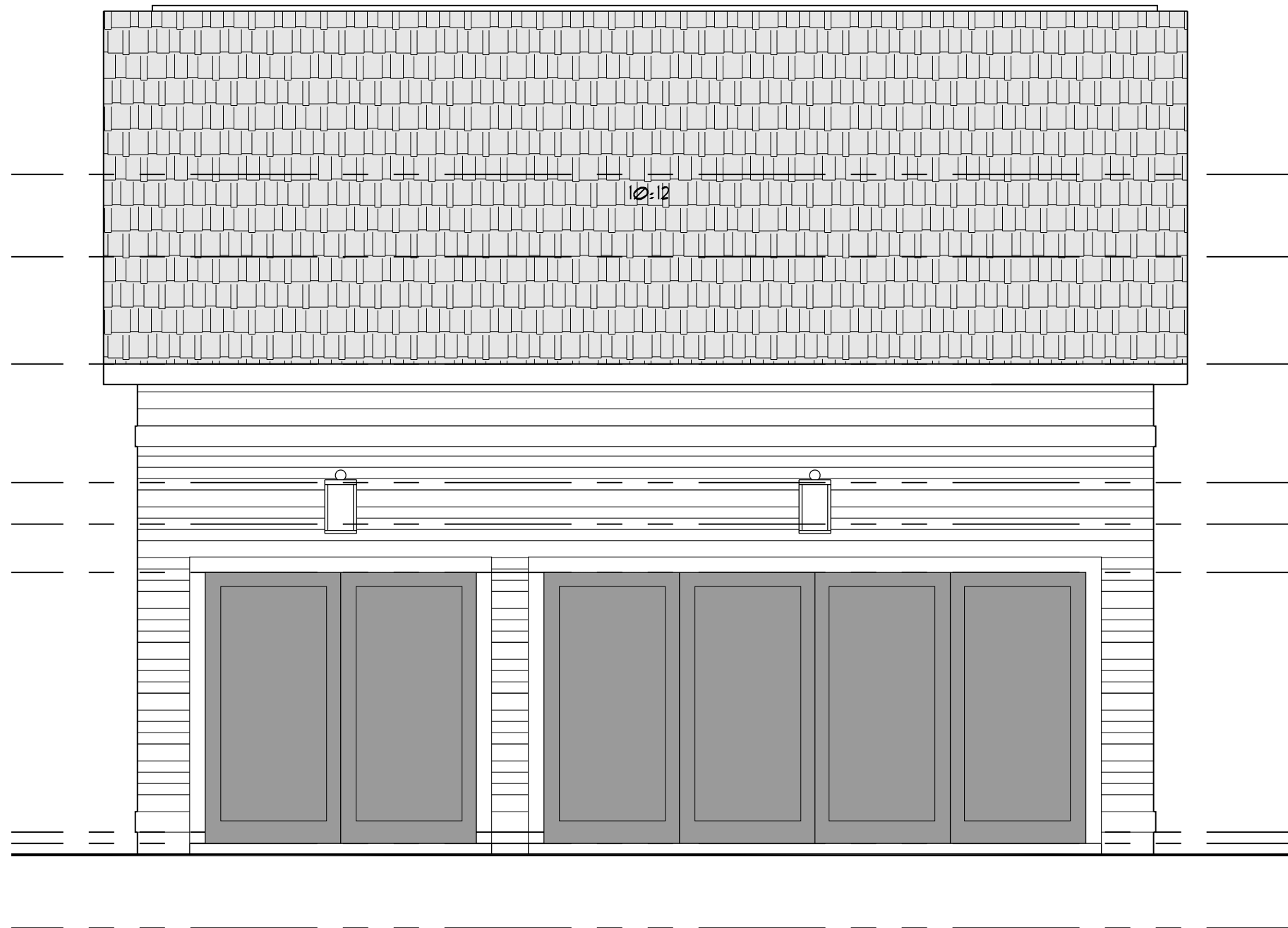


2 2133 N TALBOTT STREET GARAGE SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

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2133 N TALBOTT STREET

SCALE: 1/4" = 1'-0"

GARAGE EAST ELEVATION



4 2133 N TALBOTT STREET GARAGE NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

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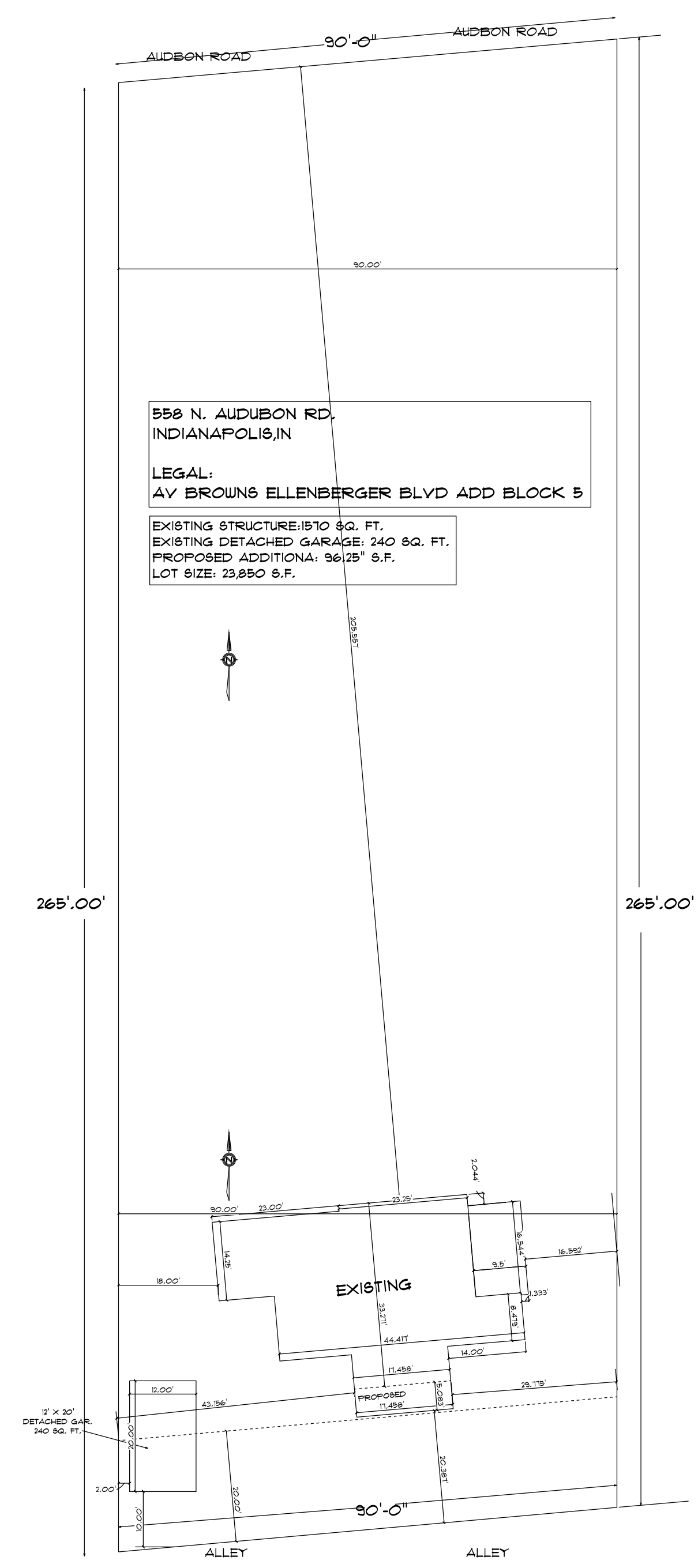
INDIANAPOLIS HISTORIC
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2023-COA-457 (IRV)
558 N. AUDUBON RD.

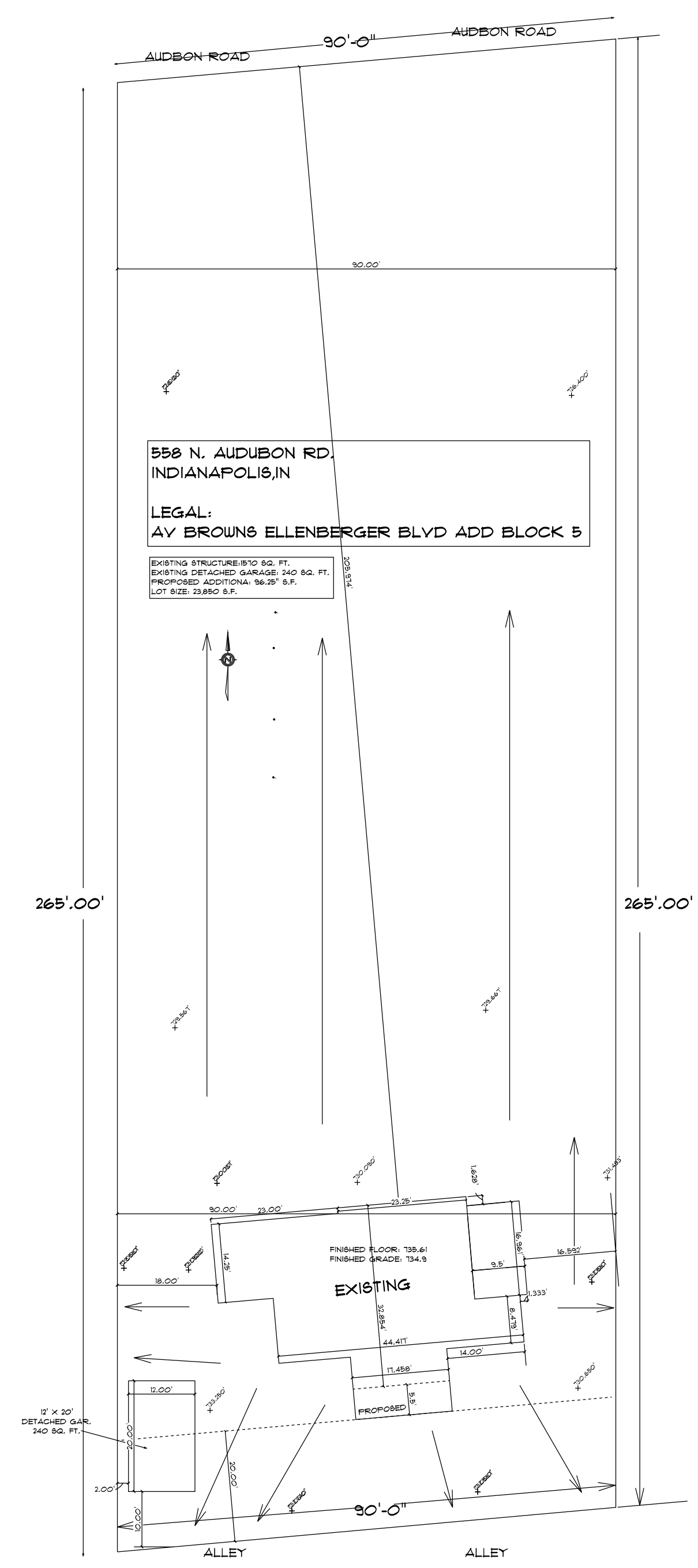
**558 N AUDUBON RD.
INDIANAPOLIS**



1. THE DESIGNER (NPI CONSULTING LLC) IS PROVIDING PLANS ONLY. NO OTHER TYPE OF SERVICE IS INTENDED OR IMPLIED. THESE PLANS ARE TO BE USED BY A COMPETENT LICENSED CONTRACTOR KNOWLEDGEABLE IN THE BUILDING TRADES, WHO WILL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AND BE RESPONSIBLE FOR THEM.
2. ADMINISTRATION OF THE JOB WILL BE BY OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR AND THE OWNER SHALL BE SOLELY RESPONSIBLE FOR THE BUILDING CONSTRUCTION PROCESS MEANS AND METHODS AND JOBSITE SAFETY.
3. THE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT. THE DIMENSIONS OF THE BUILDING, MAJOR ARCHITECTURAL ELEMENTS, AND TYPE OF STRUCTURAL SYSTEM. THE DRAWINGS DO NOT DESCRIBE ALL THE WORK REQUIRED FOR SUCCESSFULLY COMPLETING THE PROJECT. BASED ON THE DRAWINGS, THE CONTRACTOR MUST FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
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10. DESIGNER AND HIS ASSOCIATED LIABILITY AS WELL AS THAT OF NPI CONSULTING LLC, IS LIMITED TO THE COST OF THE PLANS.



SITE PLAN
SCALE: 1" = 20'-0"



DRAINAGE PLAN
SCALE: 1" = 20'-0"

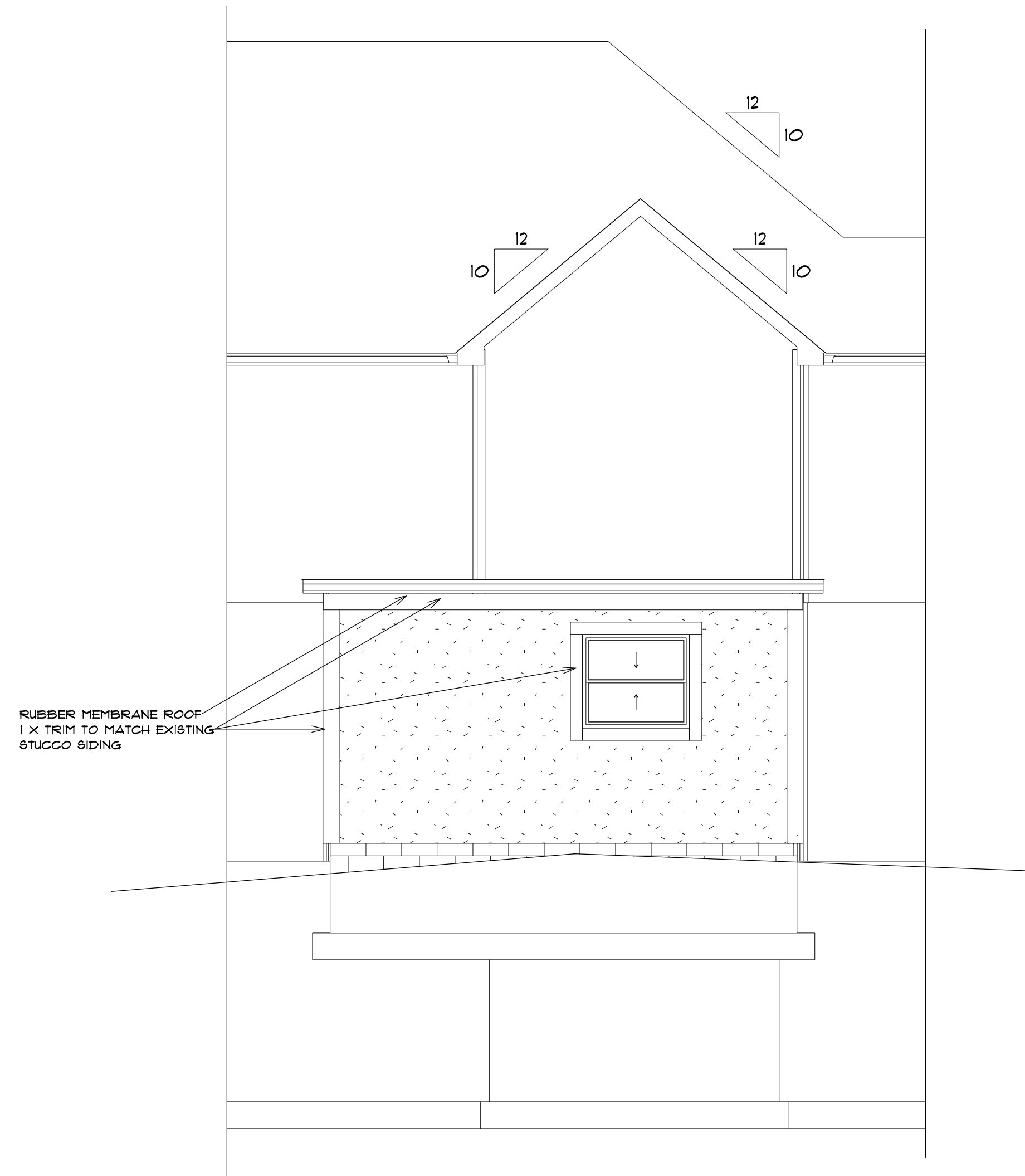


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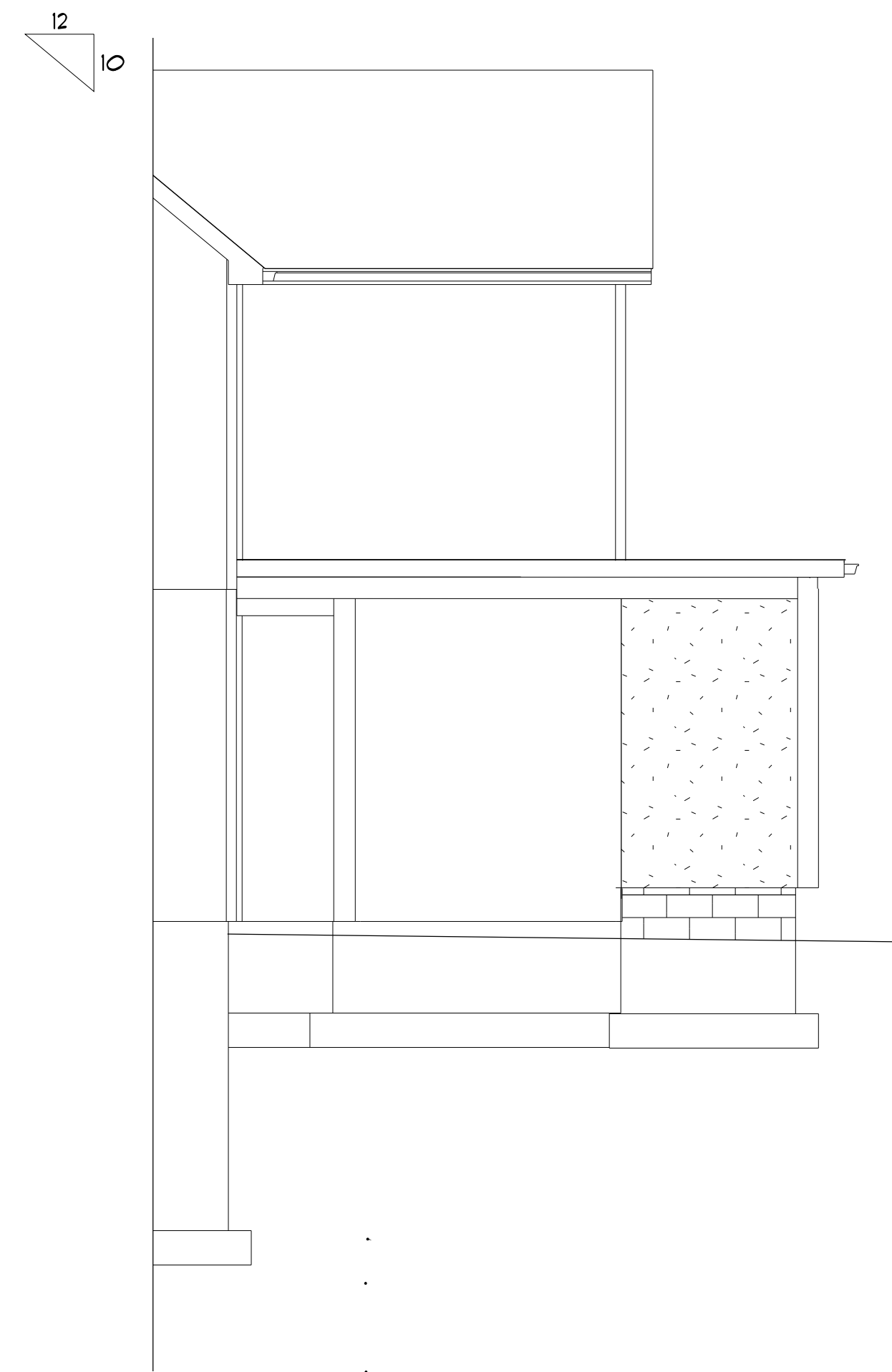
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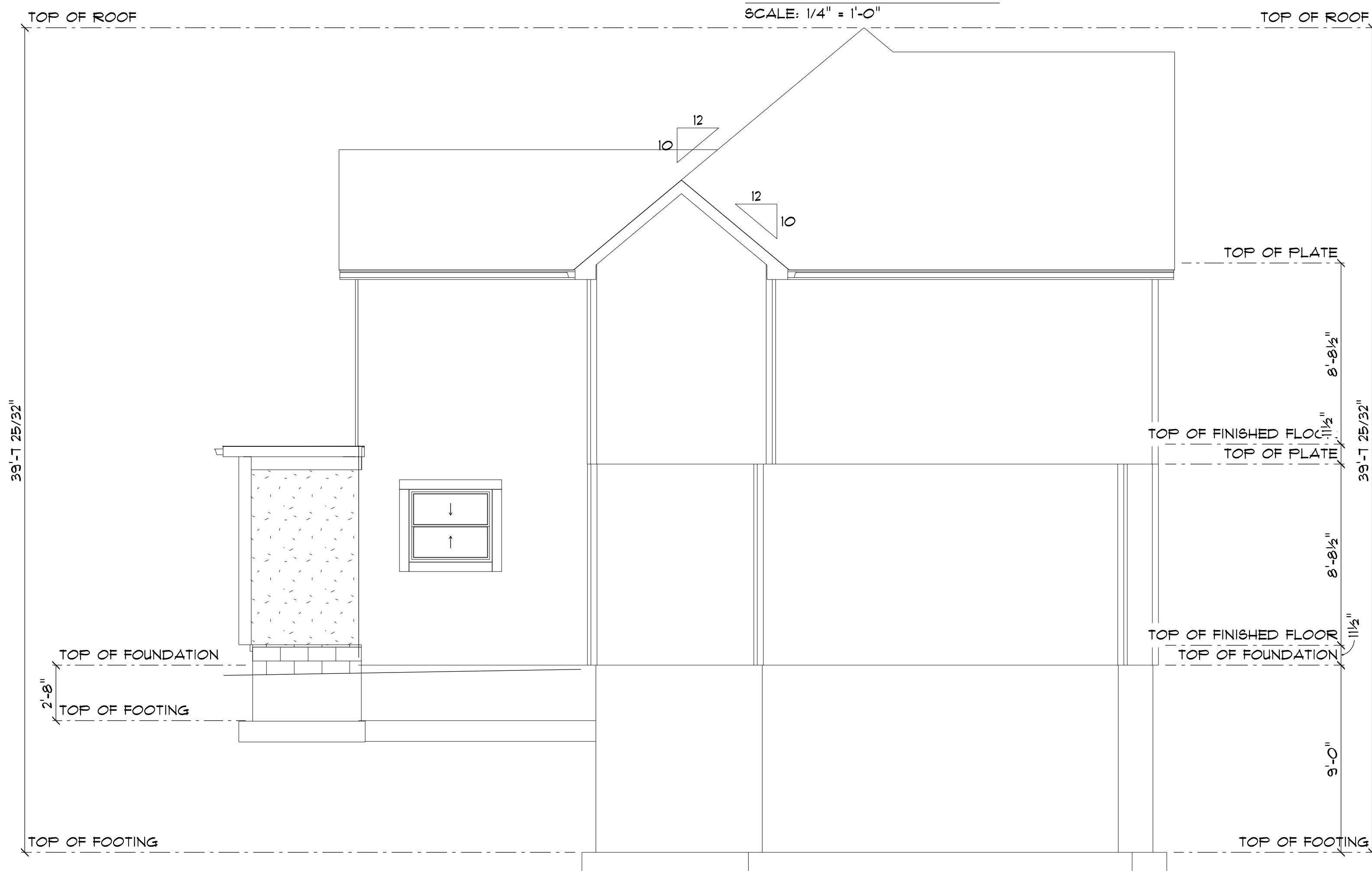
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SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

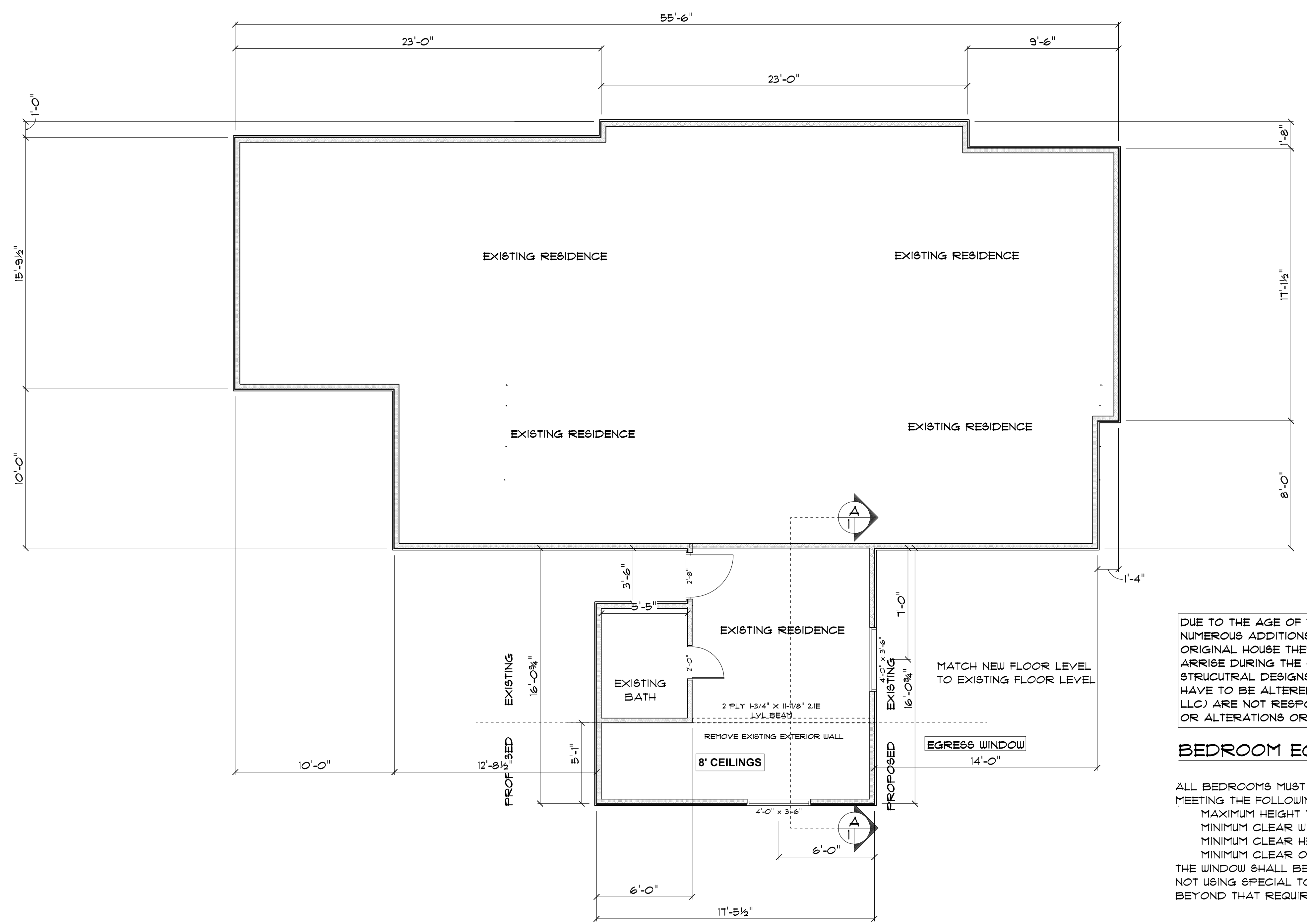


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DUE TO THE AGE OF THE ORIGINAL HOUSE AND THE NUMEROUS ADDITIONS AND CHANGES MADE TO THE ORIGINAL HOUSE THERE MAYBE UNFORSEEN ISSUES THAT ARRISE DURING THE CONSTRUCTION AND STRUCUTRAL DESIGNS CONTAINED IN THESE PLANS MAY HAVE TO BE ALTERED. THE DESIGNERS (NPI CONSULTING LLC) ARE NOT RESPONSIBLE FOR UNFORSEEN CHANGES OR ALTERATIONS OR COSTS.

BEDROOM EGRESS

ALL BEDROOMS MUST HAVE ONE WINDOW FOR EMERGENCY ESCAPE MEETING THE FOLLOWING
 MAXIMUM HEIGHT TO BOTTOM OF CLAR OPENING = 44"
 MINIMUM CLEAR WIDTH = 20"
 MINIMUM CLEAR HEIGHT = 24"
 MINIMUM CLEAR OPENING AREA = 5.7 SQ. FT.
 THE WINDOW SHALL BE OPERABLE FROM THE INSIDE NOT USING SPECIAL TOOLS OR KNOWLEDGE OR FORCE BEYOND THAT REQUIRED FOR ANY NORMAL WINDOW

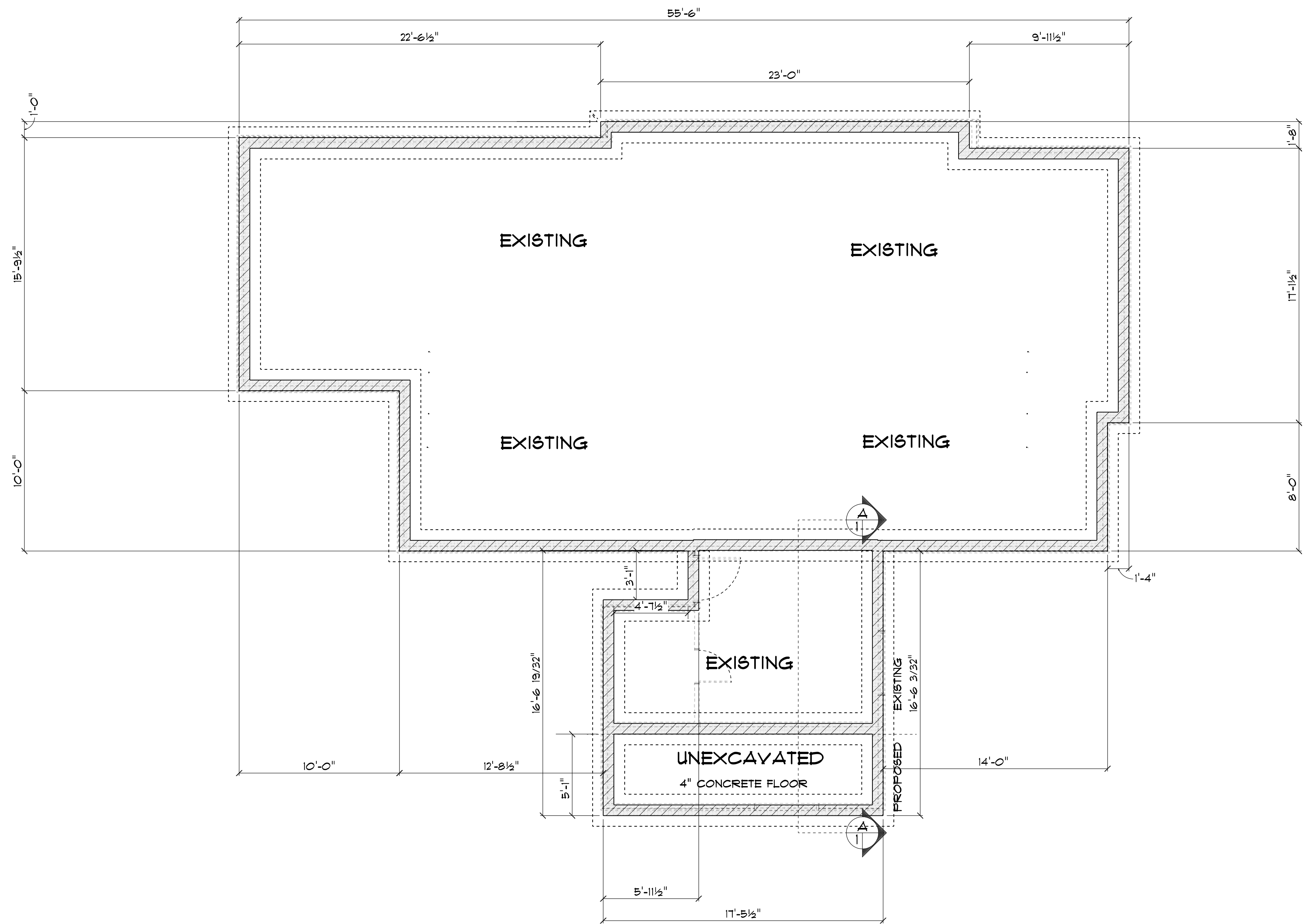
MAIN FLOOR
SCALE: 1/4" = 1'-0"

NPI CONSULTING
DESIGN
DRAFTING
RENDERING
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FOUNDATION
SCALE: 1/4" = 1'-0"

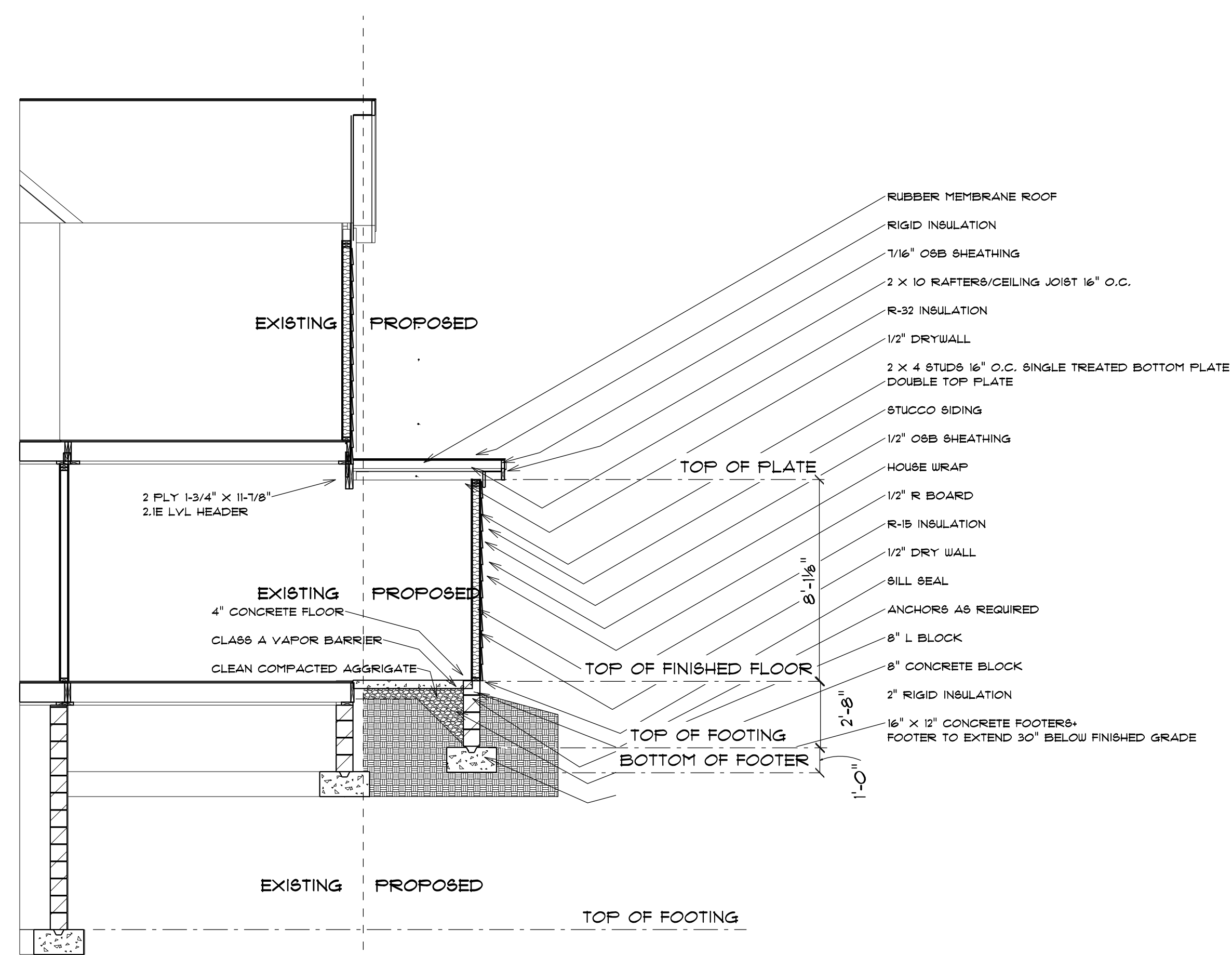


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CROSS SECTION A
SCALE: 1/4" = 1'-0"



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2023-COA-458 (IRV)
332 LESLEY AVE.

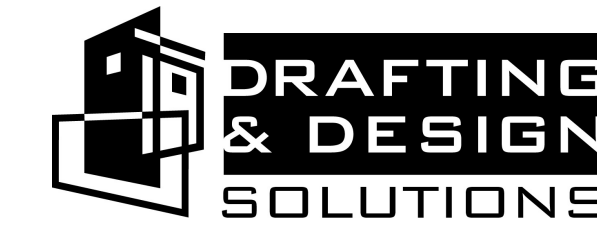
GENERAL

1. IT IS THE BUILDING OWNERS AND OR TENANTS RESPONSIBILITY TO REVIEW AND CHECK THE CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION AND VERIFY LOCATIONS, SIZES, QUANTITIES AND SPECIFIC MATERIALS USED IN CONJUNCTION WITH THE BUILDING OWNERS SPECIAL EQUIPMENT LAYOUT, USE OR FUNCTION.
2. THESE CONTRACT DOCUMENTS DO NOT ATTEMPT TO INSTRUCT THE CONTRACTOR IN THE SPECIFIC DETAILS OF THEIR TRADE.
3. WORK SHALL BE IN ACCORDANCE WITH THE QUALITY STANDARDS OF THE TRADE AND SHALL BE INSTALLED IN COMPLIANCE, AS A MINIMUM STANDARD, TO APPLICABLE LOCAL, STATE, FEDERAL CODES AND MANUFACTURER'S RECOMMENDATIONS.
4. WORK SHALL BE WARRANTED SATISFACTORY, IN MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
5. THE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, DIMENSIONS OF THE BUILDING AND MAJOR ARCHITECTURAL ELEMENTS. AS SCOPE DOCUMENTS, THE DRAWINGS DO NOT INDICATE OR DESCRIBE THE WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH THE ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
6. COMMENCING WORK BY A CONTRACTOR CONSTITUTES ACCEPTANCE OF THE CONDITIONS AND SURFACES CONCERNED. IF SUCH CONDITIONS OR SURFACES ARE UNACCEPTABLE, THE OWNER AND DESIGNER SHALL BE NOTIFIED IMMEDIATELY AND WORK SHOULD CEASE UNTIL THE UNACCEPTABLE CONDITIONS CAN BE REMEDIED.
7. THE COORDINATION OF THE MATERIALS, LABOR AND WORKMANSHIP IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR - TO INCLUDE ITEMS FURNISHED BY TENANT FOR CONTRACTOR INSTALLATION.
8. DIMENSIONS ARE TAKEN FROM THE FACE OF MASONRY WALLS, COLUMN CENTER LINES, FINISH FACE OF EXISTING WALLS AND/OR STUD FACE OF NEW WALLS UNLESS OTHERWISE INDICATED.
9. DO NOT SCALE DRAWINGS. REFER TO DIMENSIONS ILLUSTRATED ON DRAWINGS. NOTIFY THE DESIGNER OF DISCREPANCIES OR FOR CLARIFICATION.
10. THE CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIALS AND AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE AND EXECUTE A WASTE MANAGEMENT PLAN IN COMPLIANCE WITH CURRENT LOCAL JURISDICTION REGULATIONS. AT A MINIMUM, THE CONTRACTOR SHALL REUSE OR RECYCLE AT LEAST 50% OF CONSTRUCTION DEBRIS GENERATED IF POSSIBLE.
12. THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY. SURVEY THE PROJECT AND BECOME FAMILIAR WITH SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED. ANY DISCREPANCY AND OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED SHOULD BE VERIFIED WITH THE OWNER.
13. CONSTRUCTION SHALL COMPLY WITH APPLICABLE FEDERAL, LOCAL, AND STATE CODES AND ASSOCIATED AMENDMENTS.
14. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK AND FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS IN PROGRAMS IN CONNECTION WITH WORK.
15. ERRORS, OMISSIONS, OR INCONSISTENCIES ON THESE DRAWINGS OR VARIATIONS OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS IN OUR REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER, IMMEDIATELY.
16. IN THE EVENT A DISCREPANCY IS FOUND IN THE CONTRACT DOCUMENTS, THE DESIGNER SHALL BE NOTIFIED IN WRITING IMMEDIATELY.
17. CONTRACTOR SHALL VERIFY DIMENSIONS IN THE FIELD AND NOTIFY THE DESIGNER IN WRITING OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
18. CONTRACTOR SHALL VERIFY MEASUREMENTS AT SITE AND BE RESPONSIBLE FOR ACCURACY AND CORRECTNESS OF SAME.
19. CONTRACTOR SHALL COORDINATE HIS WORK WITH E TRADES. NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.
20. STORE MATERIALS IN CONDITIONS DESIGNATED BY MANUFACTURER SPECIFICATIONS.
21. REMOVE RUBBISH FROM PREMISES DAILY OR MORE FREQUENTLY AS DIRECTED.
22. MATERIALS SHALL BE NEW AND SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURERS INSTRUCTIONS AND/OR RECOMMENDATIONS UNLESS INDICATED OTHERWISE IN THE DRAWINGS AND SPECIFICATIONS.
23. BRACE WALLS BETWEEN WORKDAYS AS NECESSARY TO GUARANTEE STABILITY.
24. DO NOT SCALE DRAWINGS.

SMITH GARAGE

**332 N LESLEY AVE.
INDIANAPOLIS, IN 46219**

DRAWINGS PROVIDED BY:



WWW.DRAFTINGDESIGNSOLUTIONS.COM
FACEBOOK.COM/DRAFTINGANDDESIGNSOLUTIONS
LINKEDIN.COM/COMPANY/DRAFTING-DESIGN-SOLUTIONS
317.441.2812

TABULATIONS:

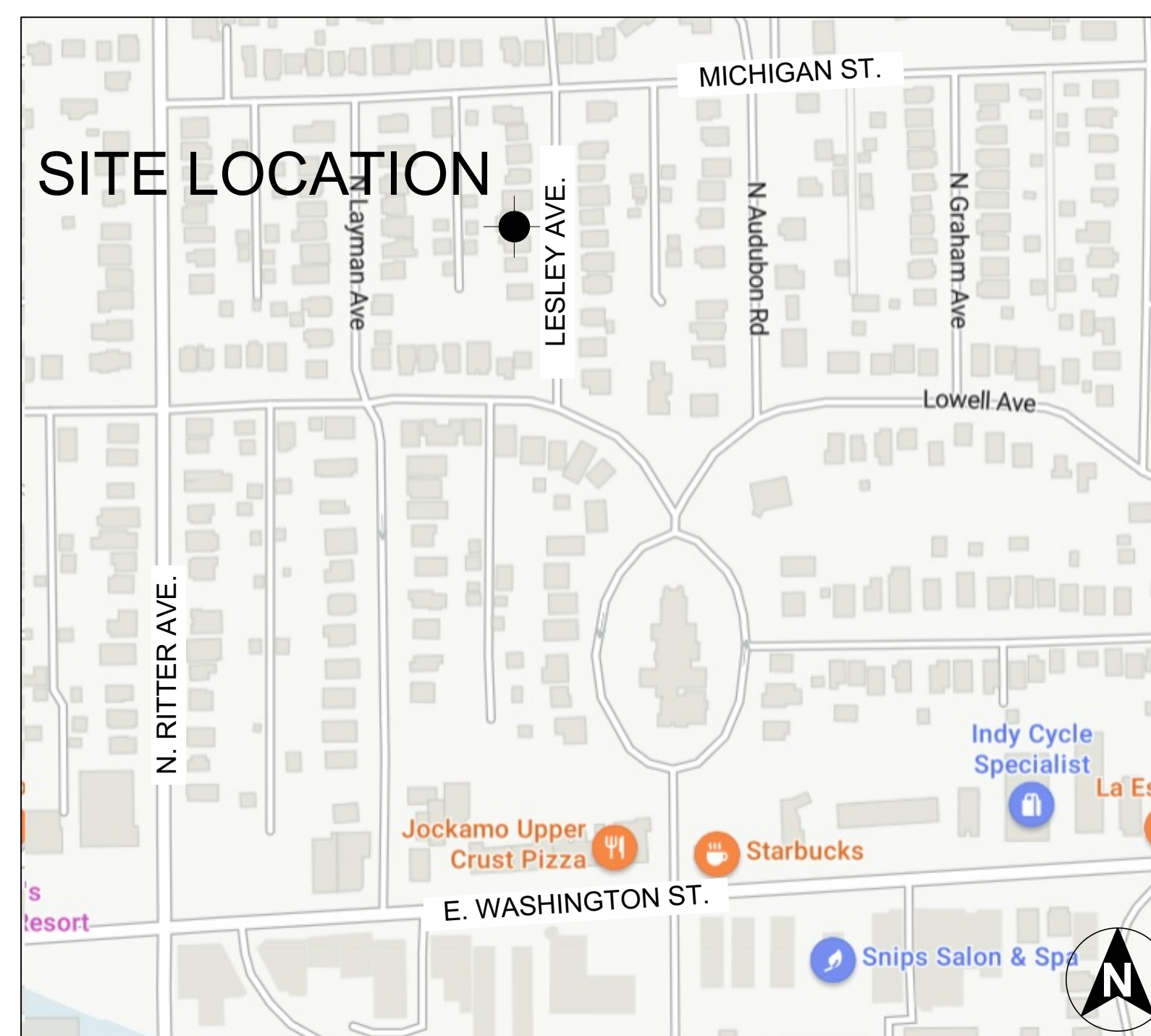
NON-LIVING AREA CALCULATIONS

GARAGE: 360 SQ. FT.
TOTAL NON-LIVABLE: 360 SQ. FT.

AERIAL VIEW



VICINITY MAP



INDEX OF DRAWINGS

TITLE	SHEET
PROJECT SUMMARY	A1
GARAGE PLANS	A2
GARAGE ELEVATIONS & SECTION	A3
SITE PLAN	C1

DRAWING DATE:
9/26/2023

A1

FOUNDATION NOTES

1. TYPICAL FOUNDATION WALL WILL BE 4" SLAB ON GRADE, 6" ABOVE FIN. GRADE.
2. TYPICAL FOUNDATION FOOTERS SHALL BE 16"WX8"D FOOTINGS, SEE DETAIL A/A3.
3. FOUNDATIONS TO BEAR A MINIMUM OF 12" BELOW FINISH GRADE
4. ALL ANCHOR BOLTS TO BE 5/8" DIA X 10 @ 32" O/C UNO.
5. ALL REINFORCING STEEL SHALL BE ASTM A-615, GRADE 60.
6. ALL REINFORCING STEEL TO OVERLAP A MINIMUM OF 24" FOR SPLICES.
7. PROVIDE CORNER BARS TO MATCH CONTINUOUS STEEL.
8. MINIMUM ALLOWABLE CONCRETE COMPRESSIVE STRENGTH SHALL BE 3000 PSI AT 26 DAYS. MAXIMUM AGGREGATE SIZE IS 1". MAXIMUM AIR ENTRAINMENT IS 3%. CEMENT SHOULD BE TYPE 1 OR 2.
9. SOIL BEARING CAPACITY ASSUMED TO BE 1500 PSF (UBC TYPE 4 SOIL). IF SOIL CONDITIONS VARY FROM THIS, THE PROJECT ENGINEER MUST BE NOTIFIED. ALL FOOTINGS MUST BEAR ON UNDISTURBED SOIL. ALL SLOPES MUST BE STABILIZED.
10. ADJACENT GROUND SURFACES SHALL BE SLOPED AWAY FROM STRUCTURE DRAINAGE OF SURROUNDING AREA SHALL ALSO BE PROVIDED TO PREVENT ACCUMULATION OF SOIL AND EROSION OF SOIL NEAR FOOTINGS.
11. UNIFORM SOIL CONDITIONS, MUST BE PROVIDED UNDER SLAB AND FOOTINGS. CUT/ FILL OR NON-UNIFORM SOIL CONDITIONS SHOULD BE EXCAVATED AND REPLACED W/ UNIFORM ENGINEERED FILL MATERIAL TO MINIMIZE DIFFERENTIAL MOVEMENT.

FLOOR PLAN NOTES:

1. ALL EXTERIOR DIMENSIONS ARE TO THE MAIN LAYER. DIMENSIONS TO OPENINGS ARE TO THE CENTERS.
2. INTERIOR DIMENSIONS ARE TO THE STUDS.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

SCHEDULES

DOOR SCHEDULE							
NUMBER	LABEL	QTY	FLOOR	WIDTH	HEIGHT	DESCRIPTION	THICKNESS
D05	3068	1	1	36"	80"	EXT. HINGED-SLAB	1 3/4"
D07	16068	1	1	192"	80"	GARAGE-SLAB	1 3/4"

WALL TYPE LEGEND

 2X4X92-5/8" (PRE-CUT WALL STUDS @ 16" O.C). EXTERIOR WALL

WALL TYPE LEGEND

-  GARAGE SLAB AT FOOTER, RECESSED 3-1/2" BELOW BOT. PL. SLOPE 1/4"/FT TOWARDS
-  GARAGE DOOR OPENING

SMITH GARAGE
 332 N LESLEY AVE.
 INDIANAPOLIS, IN 46219



OWNER:
SMITH

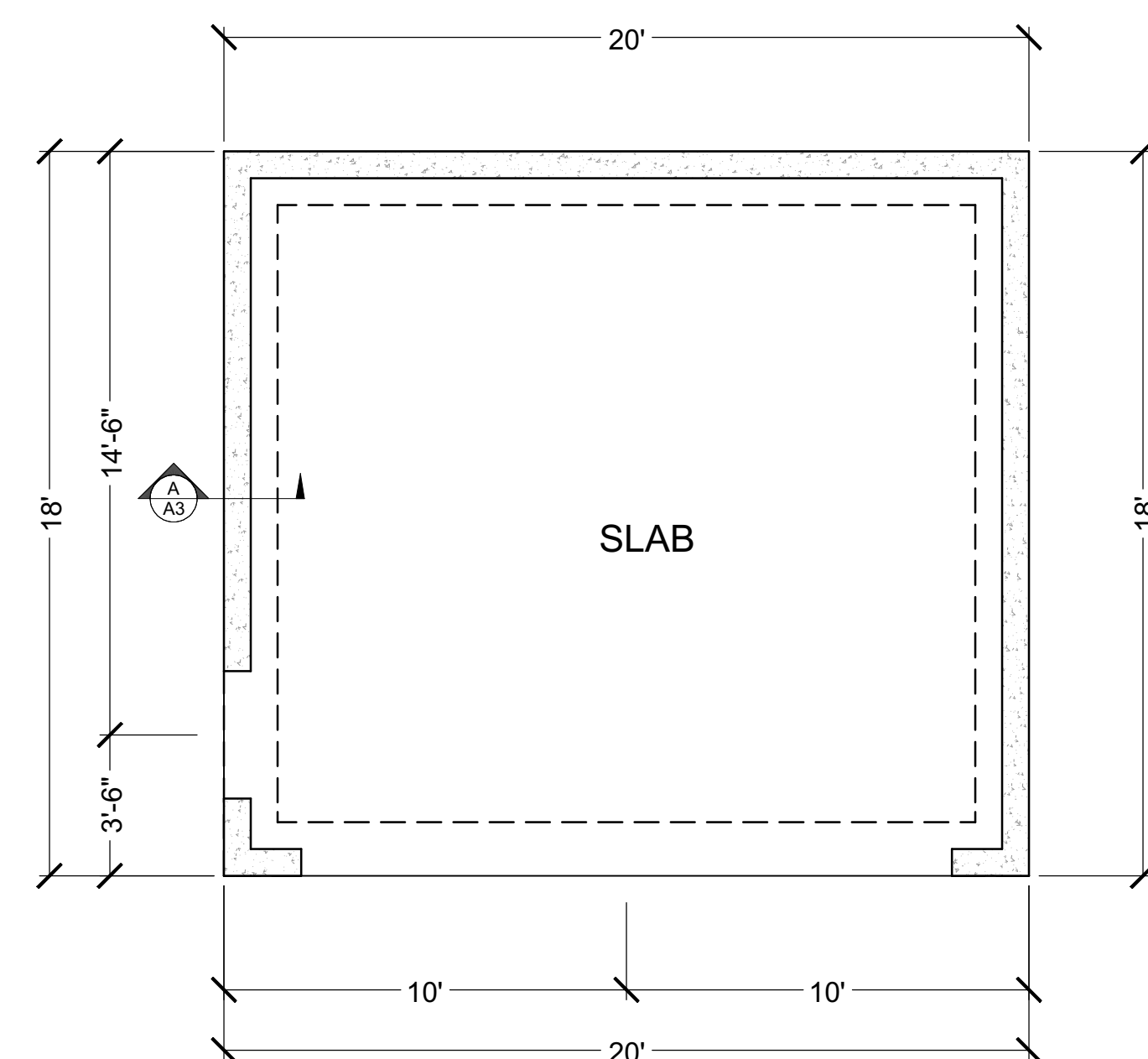
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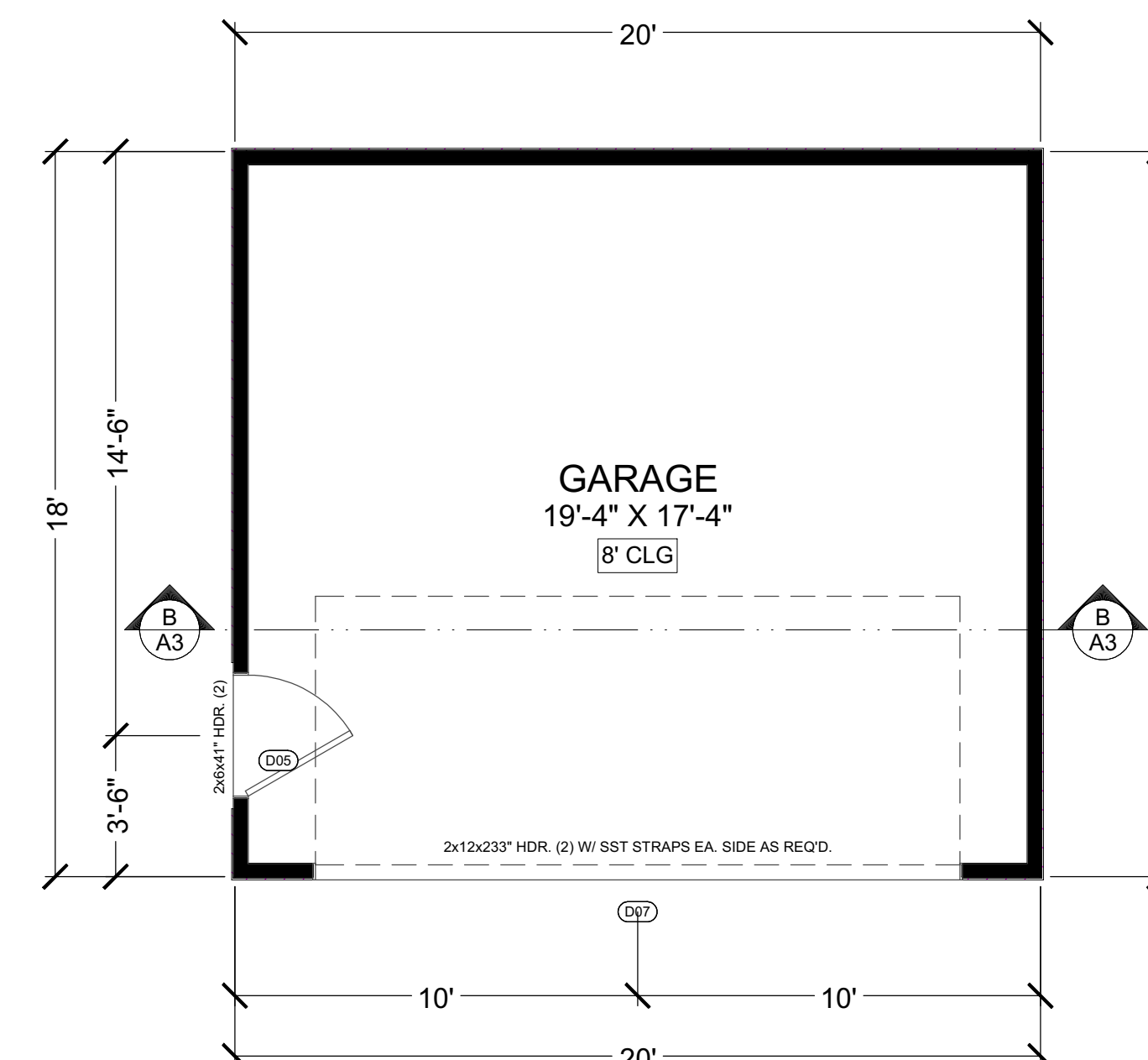
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9/26/2023

SCALE:
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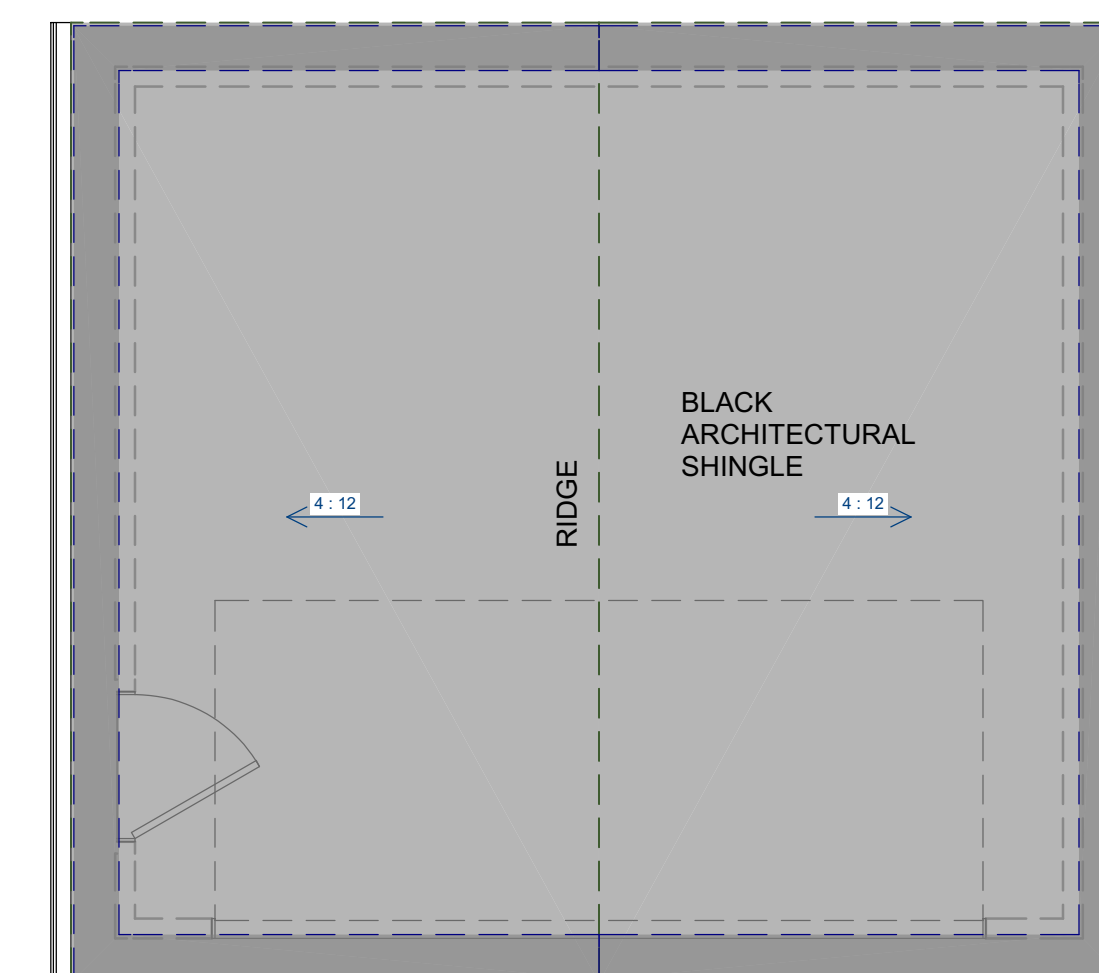
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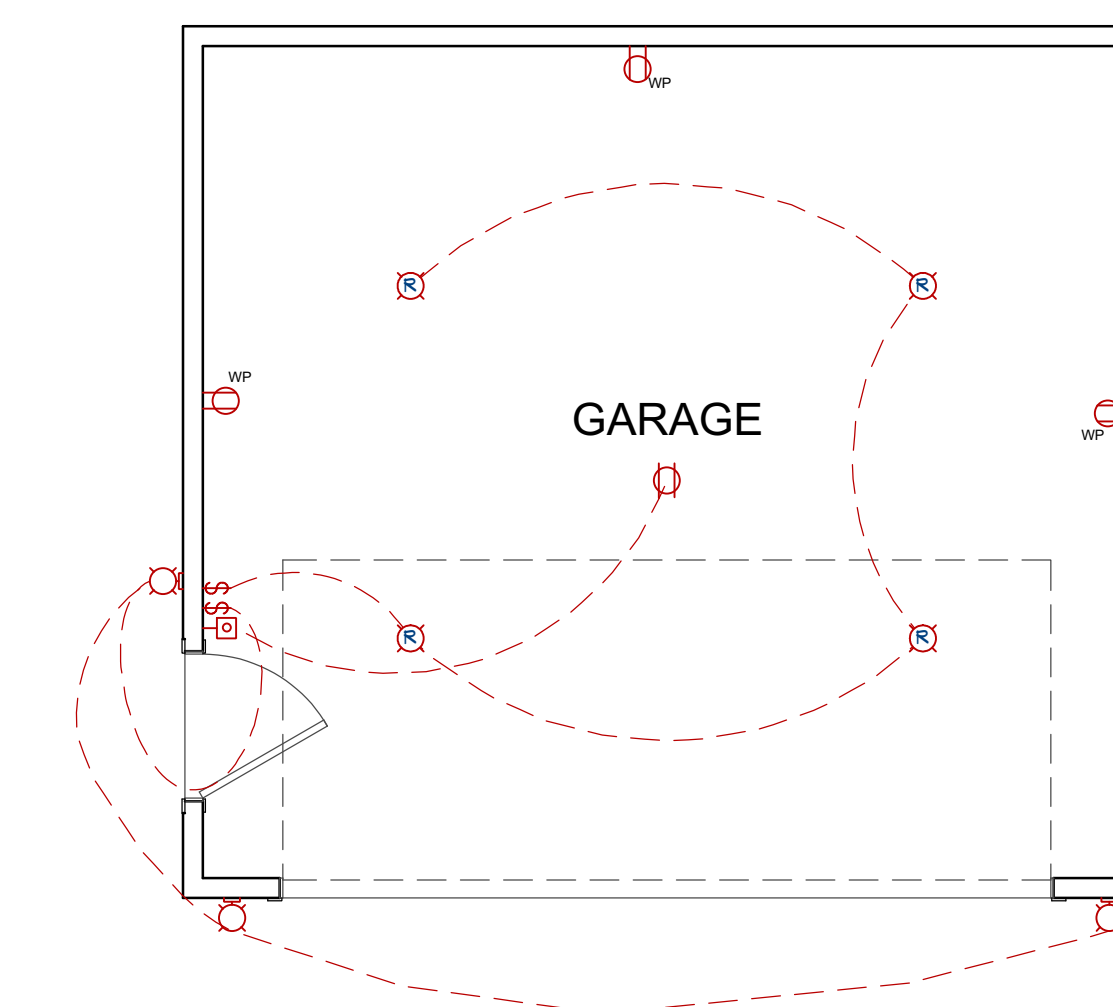
1 FOUNDATION PLAN
 A2 SCALE: 1/4"=1'



2 FLOOR PLAN
 A2 SCALE: 1/4"=1'



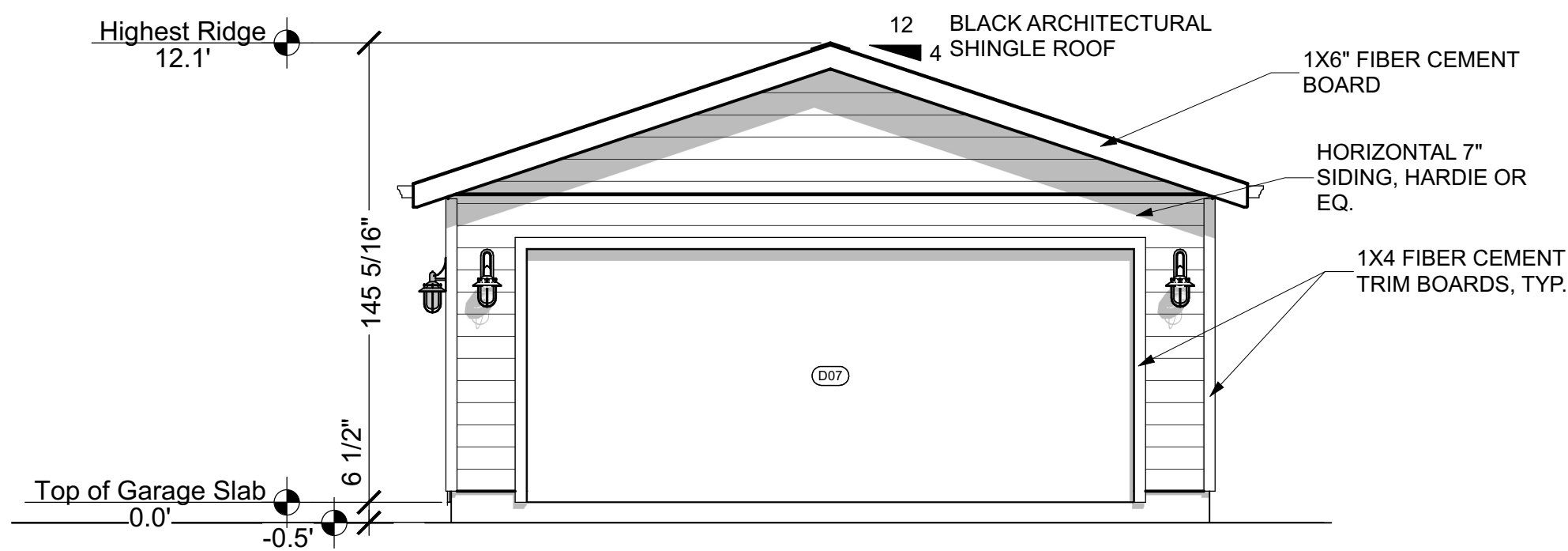
3 ROOF PLAN
 A2 SCALE: 1/4"=1'



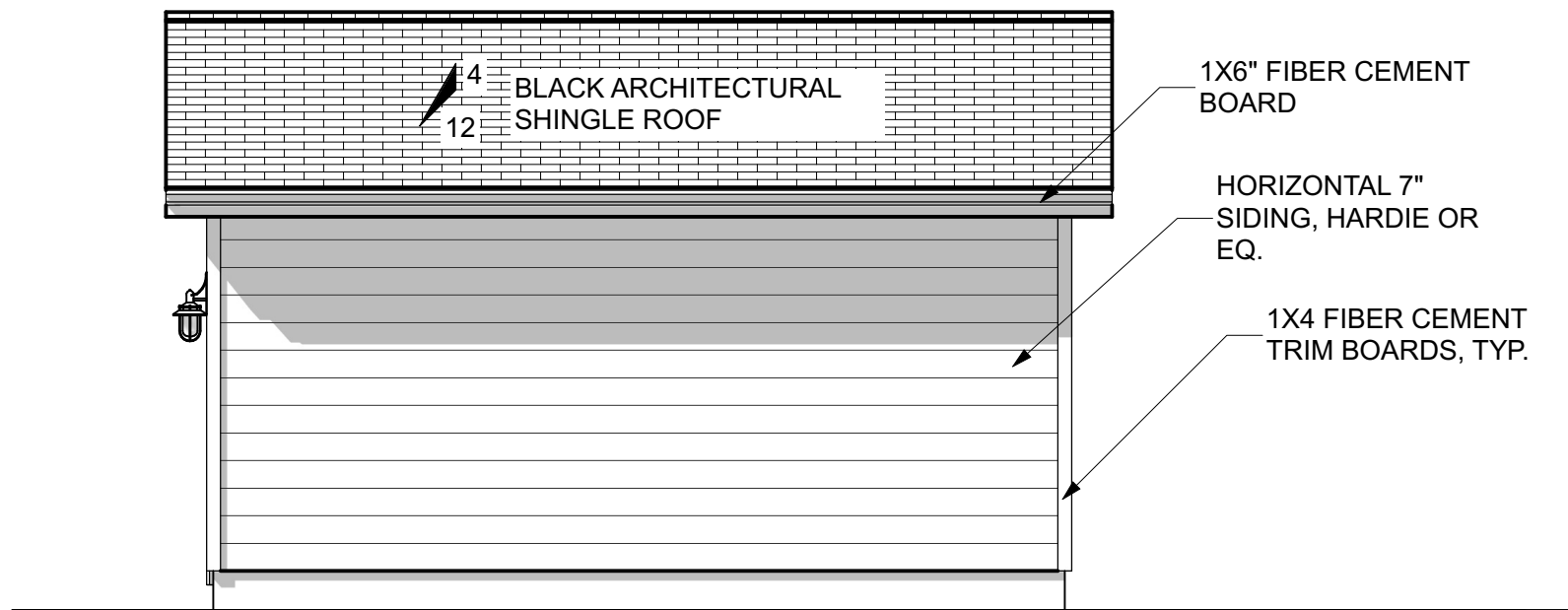
4 ELECTRICAL PLAN
 A2 SCALE: 1/4"=1'

GARAGE PLANS

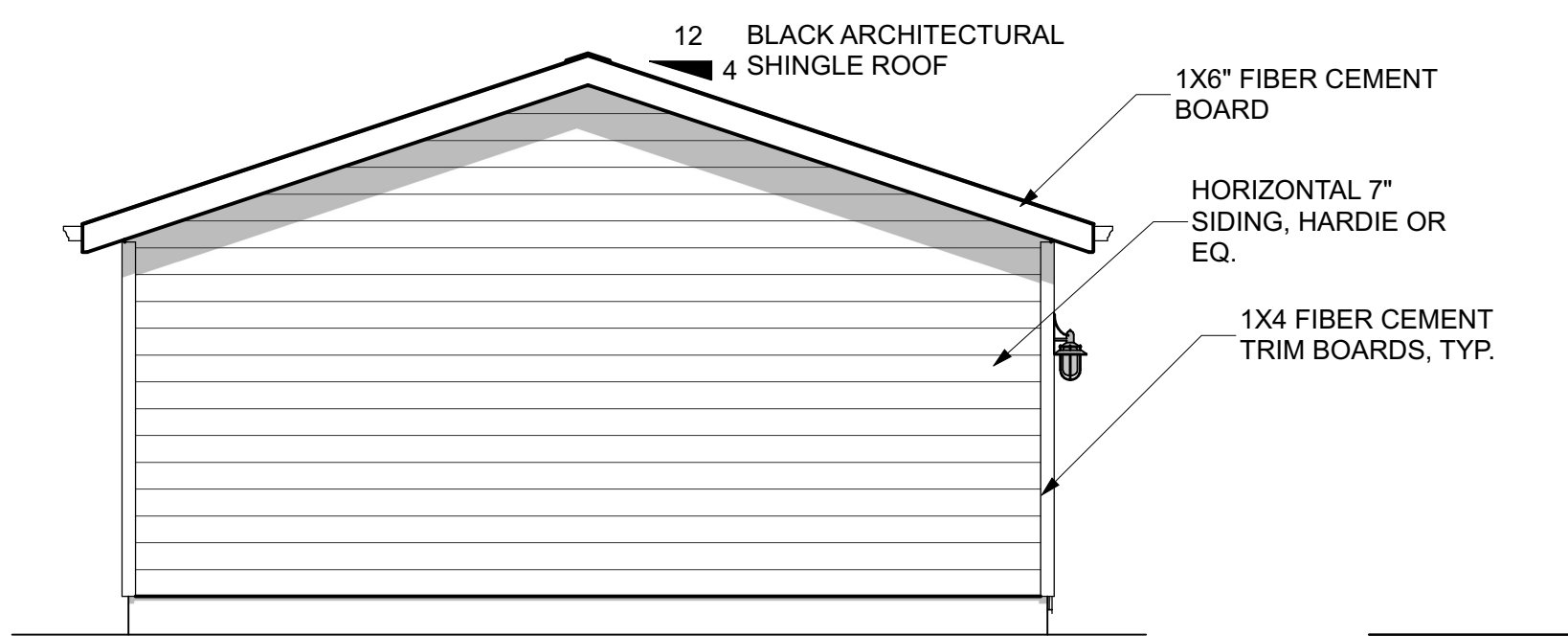
A2



1 WEST ELEVATION
A3 SCALE: 1/4"=1'



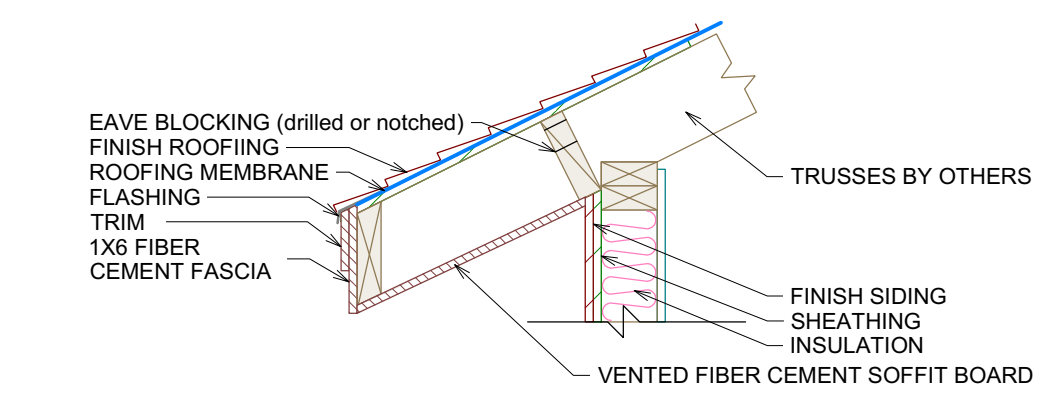
2 SOUTH ELEVATION
A3 SCALE: 1/4"=1'



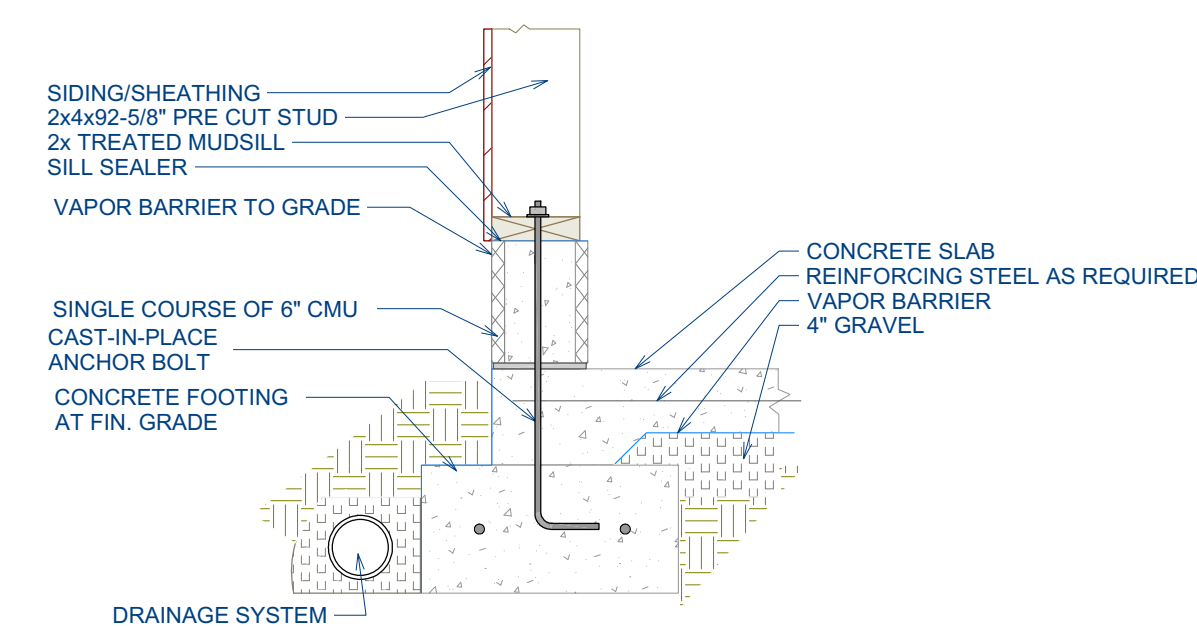
3 EAST ELEVATION
A3 SCALE: 1/4"=1'



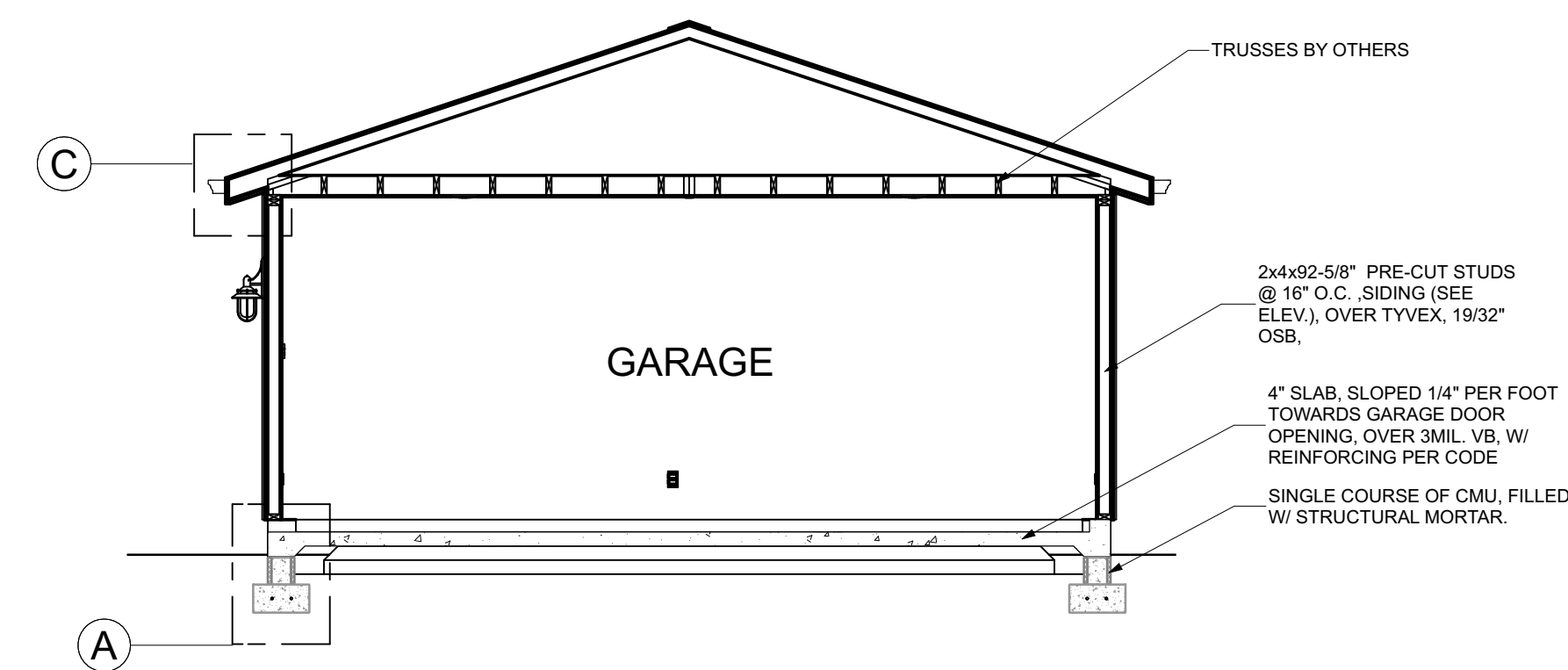
4 NORTH ELEVATION
A3 SCALE: 1/4"=1'



C VENTED SOFFIT DETAIL
 SCALE: 1"=1'



A MONOSLAB ON FROST FTG.
 SCALE: 1"=1'



B SECTION VIEW
 SCALE: 1/4"=1'

SMITH GARAGE
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OWNER:
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23069

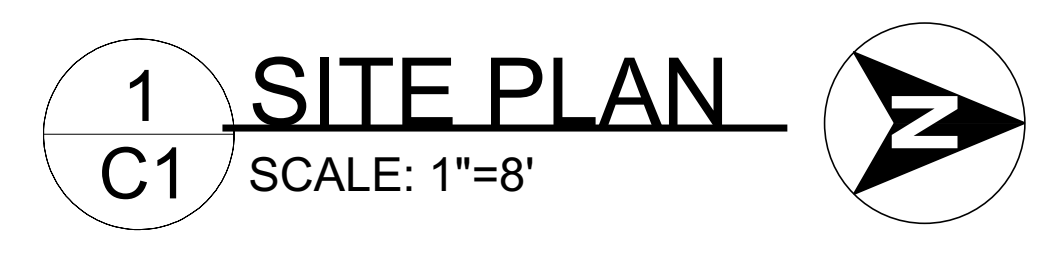
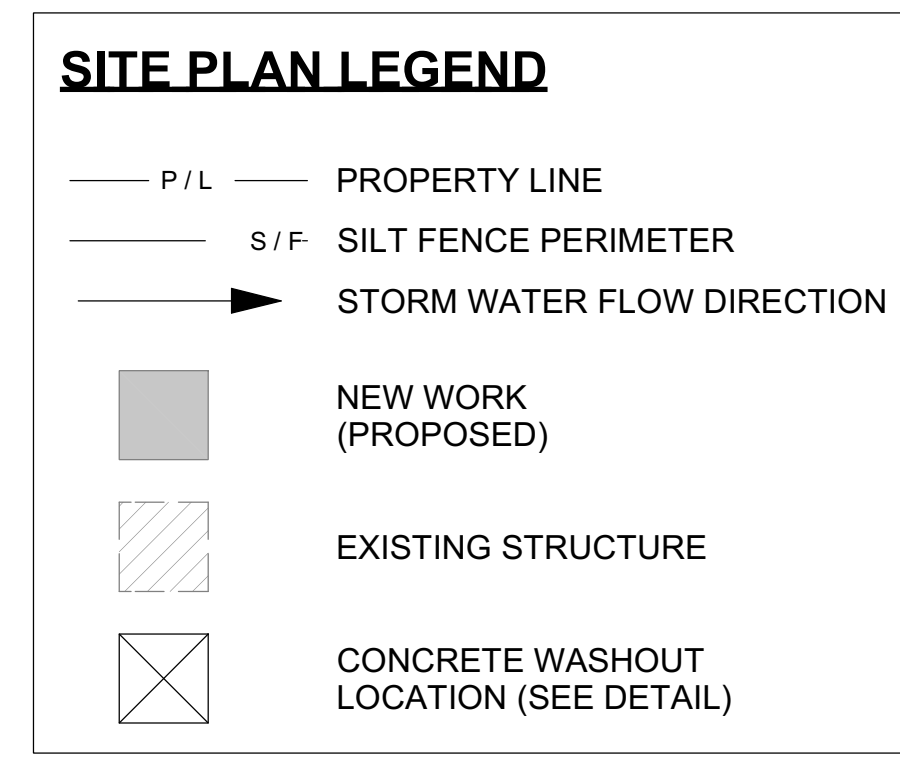
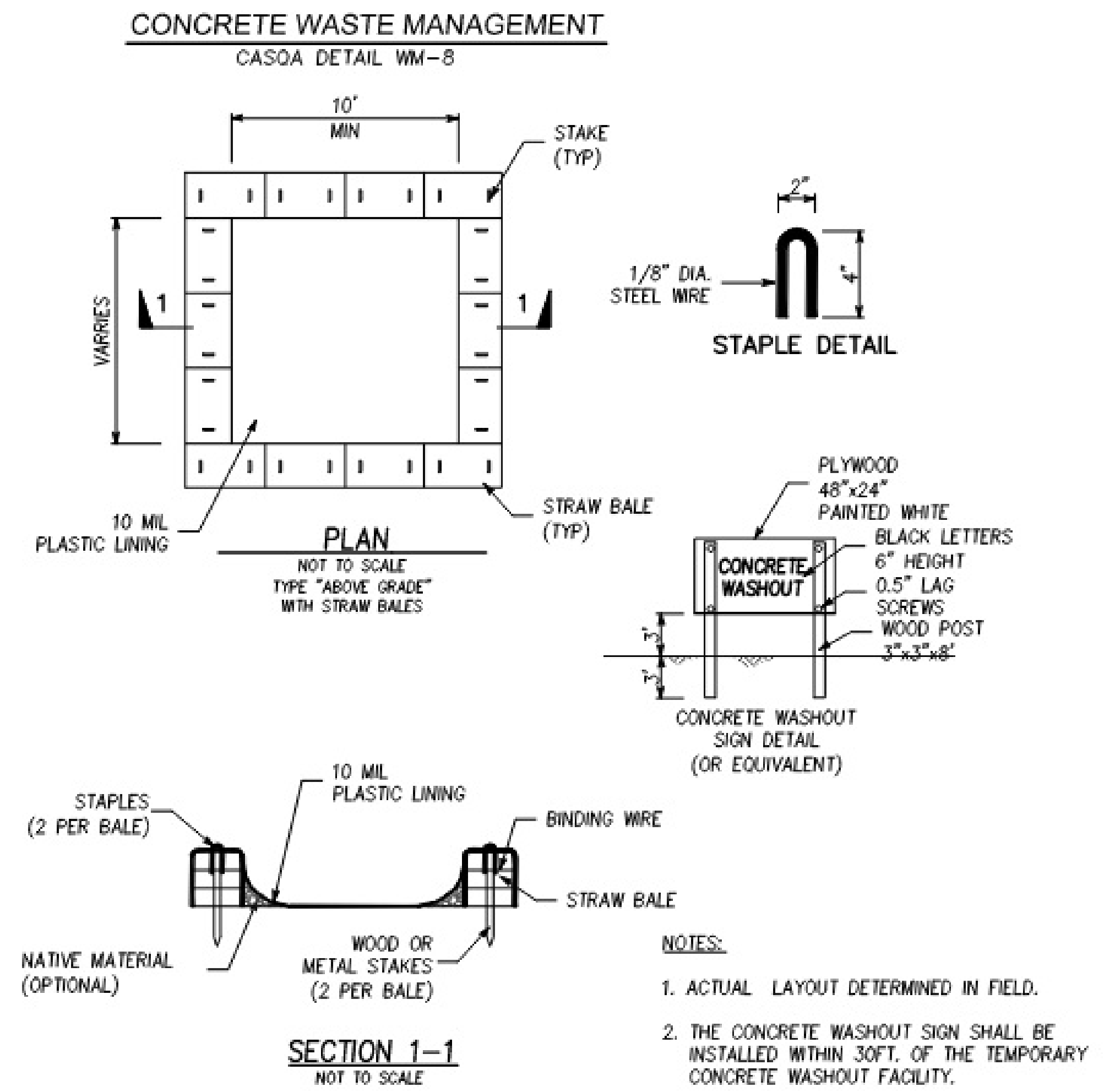
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REVISION & DATE:
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GARAGE ELEVATIONS & SECTION
A3



SMITH GARAGE
 332 N LESLEY AVE.
 INDIANAPOLIS, IN 46219

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 SMITH

PROJECT NUMBER:
 23069

DRAWN BY:
 CC

DRAWING DATE:
 9/26/2023

SCALE:
 AS SHOWN

REVISION & DATE:
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SITE PLAN
C1

WILLIAM M. NORMAN, P.E., S.

Professional Engineer – Structural Engineer

Professional and Structural Engineer licensed in Arizona, Florida, Indiana, Illinois (S.E.), Iowa, Kansas, Kentucky, Michigan, Mississippi, Missouri, Nebraska, North Carolina, South Carolina, Ohio, Pennsylvania, Tennessee, and Wisconsin
normantheengineer@yahoo.com; c.317-650-3815

October 15, 2023

Ms. Kristina Smith

Sent via email: ebkbsmith@yahoo.com

Re: Structural Conditions of Garage: Renovation

332 N Lesley Avenue

Indianapolis, IN 46219

STRUCTURAL ENGINEER'S REPORT

On October 14, 2023, an inspection of the residential garage structure located at the above address was conducted to evaluate structural conditions for a potential renovation.

Digital images were taken during the inspection which will be retained in our digital file and some of these images are provided in this report. Level readings were taken using an 8 ft. Johnson beam level.

This residence was constructed in 1917, thereby being 106 years old. The garage structure does not appear to be original to the property, having 2x4 lumber and a split-faced hollow concrete block foundation.

This garage appears to have been constructed in the 1930's rather than at the same time as the residence. Additionally, it has been repaired several times using non-matching siding, lumber and other materials.



The original siding is in a dilapidated condition as the fasteners are rusting out, the siding is then detaching, there is decay, insect damage and varmint damage (see the images on the following page). The design of this structure is such that it RELIES ON THE SIDING FOR STRUCTURAL INTEGRITY. This is partly why the structure is significantly out of plumb.

The garage is leaning overall generally 1"-2" due to the siding deterioration:



Level readings indicate the north wall to be out of plumb by closely 3" and the rear (east) wall is also out of plumb by nearly 3" at the bottom, but this is due to the failing foundations. The block walls are being relied upon to hold back the soil of the garage floor. There is no floor slab to hold the blocks in place and there is no reinforcing for the masonry. The blocks are simply falling out. The foundation walls are bowed outward nearly 3" on the north and east sides.



As a consequence of the failing foundations, the walls are slipping off of the foundation block as there are no anchor bolts holding the sill plates to the foundations. Additionally, there is insect damage and decay to the sill plates (image above right). The front (west) garage door walls have inadequate headers that are sagging. The untreated wood walls (set on soil) and are deteriorating and loose. A new foundation is needed and the walls need to be attached to a foundation.



The southwest corner of the garage has sunken nearly 2” causing severe deformation of the wall, which is bowing and the siding is consequently detaching.



The interior was inspected and evidence of wood boring insects was evident and the structure wreaked of mold and fungus. The untreated wood has been in contact with the block masonry and the soil for decades causing decay.

The roof framing has been removed and replaced in the past but the top plate of the wall was damaged and was not replaced. The wood is compromised and decayed at many points where it appears there were previous rafters that were removed and there were roof leaks where water had been streaming along the rafters.

There should be a double top plate and there may have been one previously that has been removed (there are bolts at regular intervals that suggest there was once a double plate). The single top plate is a Code violation and leaves the walls more vulnerable to wall deformation.



The window on the south wall has been covered over with plywood as the glass is broken out. The window is out of square and the glass likely fractured out as a result of the wall deformation that had occurred (likely during strong winds after the siding had deteriorated).

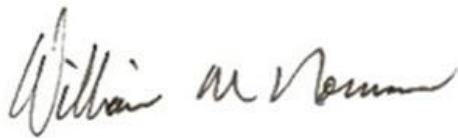
The garage is in a dilapidated condition and requires:

- new foundations as the existing foundations have failed and are falling out
- a floor slab that ties to the foundation walls
- foundation at the garage doors required
- proper garage door headers that span to the wall corners
- pressure treated lumber sill plates
- anchor bolts to secure the walls to the foundations
- new wall framing having bracing or sheathing as bracing (not siding as bracing)
- double top plate
- mechanical fasteners for the roof framing to the walls

Additionally, this structure is so severely deformed that re-alignment would be no be physically possible without causing additional structural damage. The foundation would then need be removed and replaced out from beneath the structure.

It is my recommendation that the structure is demolished and rebuilt. It is presently unsafe and the walls are about to move off of the foundation, which could occur at any time with strong wind. A collapse could be imminent and nothing of value should be stored in the garage.

Respectfully submitted,



William M. Norman, P.E., S.E.
Licensed Professional Engineer and Structural Engineer
License No. 19300350
State of Indiana

