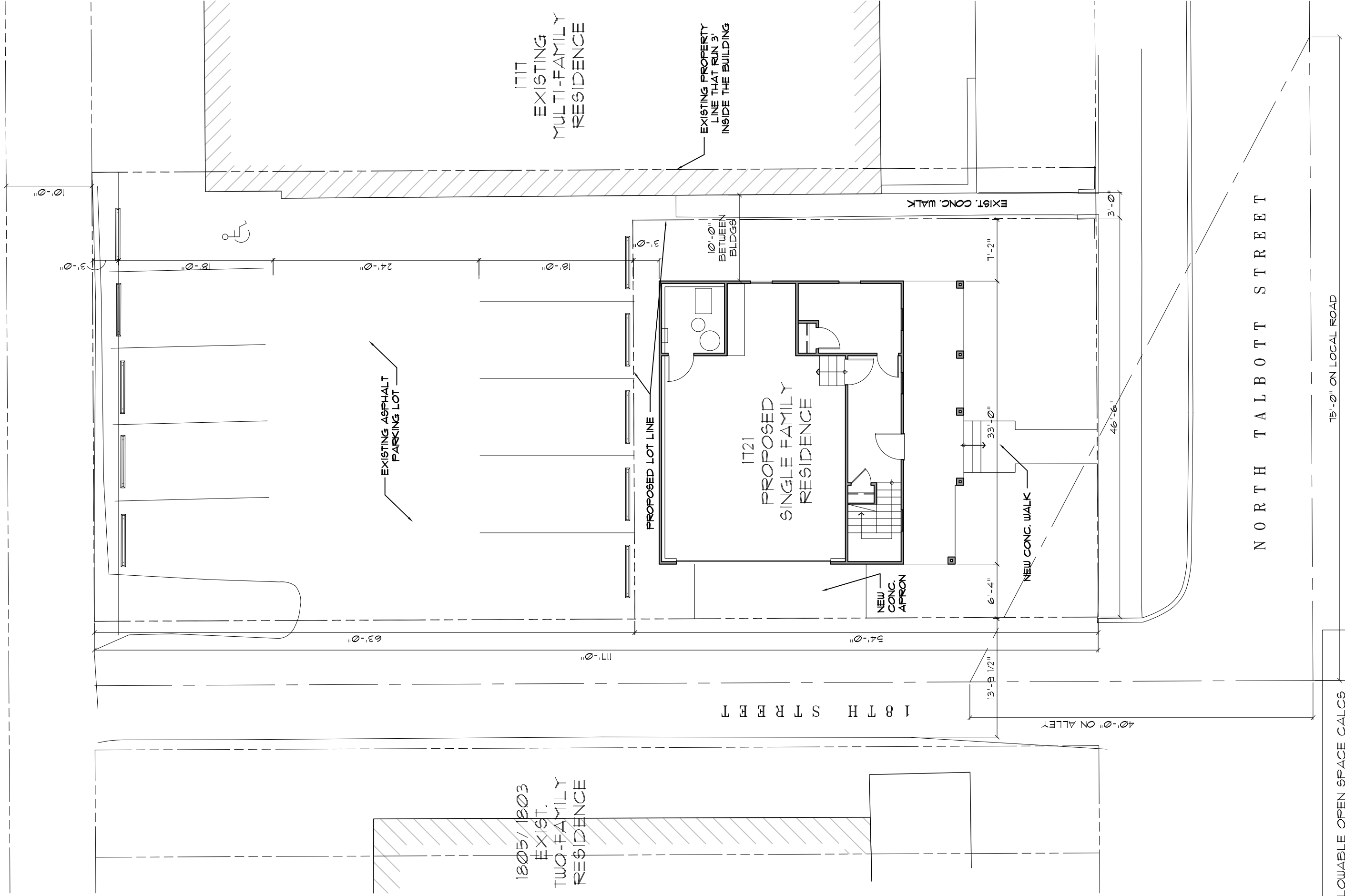


OCTOBER 4, 2023
SUBMITTALS

**2023-COA-157 (HMP)
1721 (AKA 1717)
N. TALBOTT ST.**



1 1721 N. TALBOTT STREET
SCALE: 3/32" = 1'-0"
SITE PLAN N

ALLOWABLE OPEN SPACE CALCS

LOT SIZE = 46'-6" x 54' = 2,511 SF
 OPEN SPACE REQUIREMENT = 20%
 ALLOWABLE COVERED SPACE = 80%
 ALLOWABLE COVERED SF = 2,008 SF

MAIN STRUCTURE COVERED SPACE =	1162 SF
TOTAL COVERED SPACE =	1162 SF (46%)

46

PROPOSED RESIDENCE

1717 N TALBOTT STREET (AKA 1721 N TALBOTT)

SINGLE - FAMILY
NEW CONSTRUCTION HOME



1809 / 1807

1805 / 1803

PROPOSED
1721 N TALBOTT STREET

1717

1713

GENERAL PLAN NOTES

WHERE DISCREPANCIES EXIST BETWEEN THE STANDARD COMMENTS, NOTES FROM THE DESIGN PROFESSIONAL OR THE CODE, THE MOST RESTRICTIVE SHALL APPLY. ALL CONSTRUCTION SHALL COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) AND THE 2020 INDIANA AMENDMENTS.

- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED. ALL WALLS ARE 2X4 @ 16" O.C. UNLESS NOTED OTHERWISE.
- LAY OUT ROOF FLOOR JOISTS TO ELIMINATE CONFLICTS WITH PLUMBING STACKS, TOILET PLUMBING AND FURNACE FLENUMS. MAXIMUM SPACING SHALL BE TO CODE.
- ALL 2X4 BEARING WALL STUDS SHALL BE SPACED A MAXIMUM OF 16" O.C. W/ DOUBLE TOP PLATE. ALL 2X6 BEARING WALL STUDS SHALL BE SPACED A MAXIMUM OF 16" O.C. W/ DOUBLE TOP PLATE. PROVIDE MIN. 3 STUDS @ EACH BEARING POINT. TYPICAL NON-BEARING WALL CONSTRUCTION SHALL BE 2X4 WALLS @ 16" O.C. W/ HEADER MIN. 2-2X4. PROVIDE BLOCKING @ CEILING LINE FOR PROPER DRYWALL ATTACHMENT.
- CEILING AND WALL HEIGHTS VARY AS NOTED IN SECTION.
- FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. SEE SECTION 602.8 OF THE 2018 IRC.
- SEAL ALL PENETRATIONS AND OPENINGS IN FLOORS AND WALLS TO MINIMIZE THE TRANSFER OF DRAFTS AND MOISTURE. SHEATHING PENETRATION SHALL BE PATCHED AND REPAIRED TO MANUF. SPECS.

1. SLOPE ALL CONC. STOODS, PORCHES, WALKS AND GARAGE SLABS 1/8" IN 12" TO DRAIN OR AS NOTED ON PLANS.

2. ALL DESIGNS FOR MANUFACTURED FLOOR JOISTS, RAFTERS AND TRUSSES SHALL BE CERTIFIED BY THE MANUFACTURER. INSTALLATION OF SUCH ITEMS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SHOP DRAWINGS AND RECOMMENDATIONS.

3. CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF CODES NOTED ON COVER SHEET, ALL LOCAL CODES AND AMENDMENTS, AND FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS.

INSULATION NOTES

- BASEMENT:**
- 2X4 STUD WALLS @ 24" O.C. -- R-19 UNFACED BATT INSULATION
- FIRST AND SECOND FLOORS:**
- 2X4 @ 16" O.C. EXTERIOR WALLS -- R-19 BLOW-IN INSULATION
- ATTIC:**
- R-50 BLOW-IN INSULATION IN VENTED ROOF
- CATHEDRAL CEILING:**
- R-50 BATT INSULATION WITH BAFFLES IN VENTED ROOF
- BAND JOISTS:**
- R-19 UNFACED BATTS OR SPRAY FOAM PER HOMEOWNER
- POLY CELL CAN SPRAY FOAM INSULATION ALL WINDOWS, DOORS, ELECTRICAL BOXES, FRAMING GAPS**

STRUCTURAL NOTES

- HEADERS IN BEARING WALLS**
- ALL HEADERS ABOVE CLEAR OPENINGS IN STRUCTURAL WALLS TO BE DESIGNED BY MANUFACTURER.
 - IN SOME INSTANCES, THE HEADER WILL NEED TO BE IN THE FLOOR SYSTEM ABOVE.
 - SEE 1/A300 FOR WALL SECTION DETAILS.
 - WINDOW HEAD HT. IS HIGHER THAN STANDARD UNLESS OTHERWISE NOTED BY MANUF.
- HEADERS IN NON-BEARING WALLS**
- NOT REQUIRED UNLESS OTHERWISE NOTED

WINDOW SCHEDULE

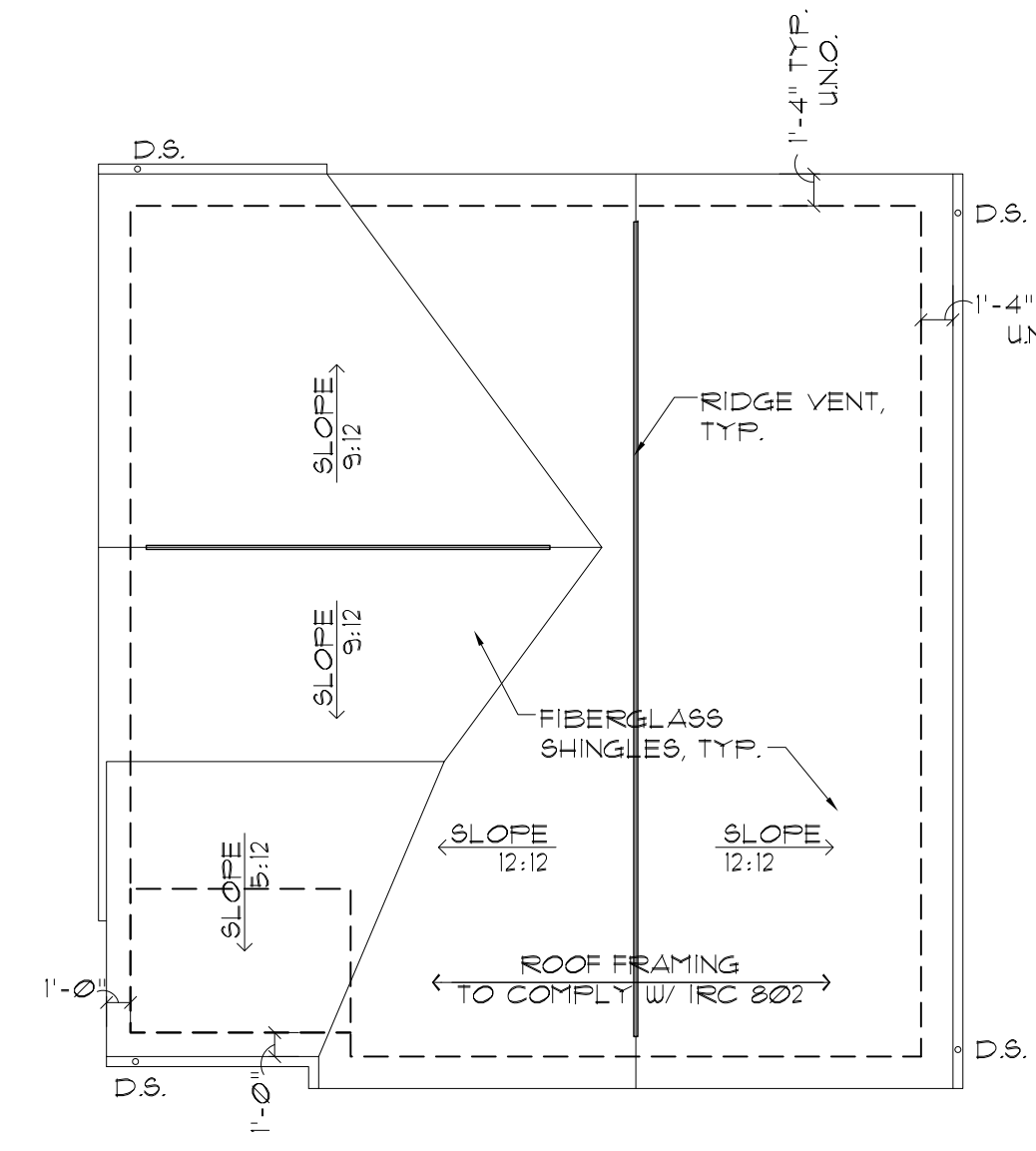
WINDOW NUMBER	TYPE	ACTUAL SIZE		ROUGH OPENING		EGRESS	QTY.
		WIDTH	HEIGHT	WIDTH	HEIGHT		
101	FIXED (TEMPERED GLASS)	2'-6"	2'-6"			NO	1
102	DOUBLE HUNG	2'-6"	5'-0"			NO	5
103	FIXED	2'-0"	2'-6"			NO	2
104	DOUBLE HUNG	3'-0"	5'-0"			YES	5
105	DOUBLE HUNG	2'-6"	6'-0"			YES	2
106	FIXED (SEE SH.7. ADD FOR LOCATION)	1'-0"	3'-0"			NO	1
107	CASEMENT	2'-0"	3'-0"			NO	1

- NOTES:**
- ALL WINDOWS TO BE ANDERSEN 100 SERIES. COLOR SELECTION BY OWNER.
 - TEMPERED GLASS AS REQUIRED BY CODE.
 - MUNTIN PATTERN PER ELEVATIONS. MUNTINS TO BE SGL W/SPACER BAR B/W GLASS.
 - WINDOW SIZES ARE GENERIC FOR BID SET.
 - FIXED OR CASEMENT WINDOWS MARKED PER PLANS AND ELEVATIONS.

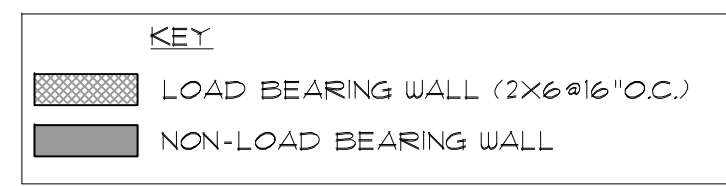
DOOR SCHEDULE

DOOR TAG	SIZE	TYPE	LOCKSET	REMARKS	QTY.
FRONT	3'-0" x 8'-0" x 1 3/4" (SEE ELEVATIONS)	WOOD, FIRE-HUNG	PRIVACY 4 DEADBOLT 4 JAMB ARMOR	FIRE-HUNG UNIT W/ ADJ. THRES. WEATHER STRIP, JAMB SAVERS	1
DECK	2'-6" x 6'-8" x 1 3/4"	FIBERGLASS, FIRE-HUNG	PRIVACY 4 DEADBOLT 4 JAMB ARMOR	FIRE-HUNG UNIT W/ ADJ. THRES. WEATHER STRIP, JAMB SAVERS	1
2068	2'-0" x 6'-8" x 1 3/8"	MASONITE, FIRE-HUNG	PRIV. OR P5G PER PLANS	MDF 1 PANEL SQUARE SMOOTH	1
2068P	2'-0" x 6'-8" x 1 3/8"	MASONITE, FIRE-HUNG	PRIV. OR P5G PER PLANS	MDF 1 PANEL SQUARE SMOOTH	1
2468	2'-4" x 6'-8" x 1 3/8"	MASONITE, FIRE-HUNG	PRIV. OR P5G PER PLANS	MDF 1 PANEL SQUARE SMOOTH	5
2668	2'-6" x 6'-8" x 1 3/8"	MASONITE, FIRE-HUNG	PRIV. OR P5G PER PLANS	MDF 1 PANEL SQUARE SMOOTH	2
21068	2'-10" x 6'-8" x 1 3/8"	MASONITE, FIRE-HUNG	PRIV. OR P5G PER PLANS	MDF 1 PANEL SQUARE SMOOTH	2
3068X	3'-0" x 6'-8" x 1 3/4"	MASONITE, FIRE-HUNG	PRIV. OR P5G PER PLANS	1 PANEL SQUARE SMOOTH, FIRE RATED PER IRC R302.5.1 PRE-HUNG UNIT W/ WEATHER STRIP	2

- NOTES:**
- FIRST AND SECOND FLOOR DOOR HEIGHT = 6'-8" UNO.
 - ALL BEDROOM AND BATHROOM LOCKSETS TO BE PRIVACY, ALL OTHERS TO BE PASSAGE. EXTERIOR DOOR LOCKSETS PER HOMEOWNER SPECIFICATIONS.
 - POCKET DOORS MARKED PER PLANS.



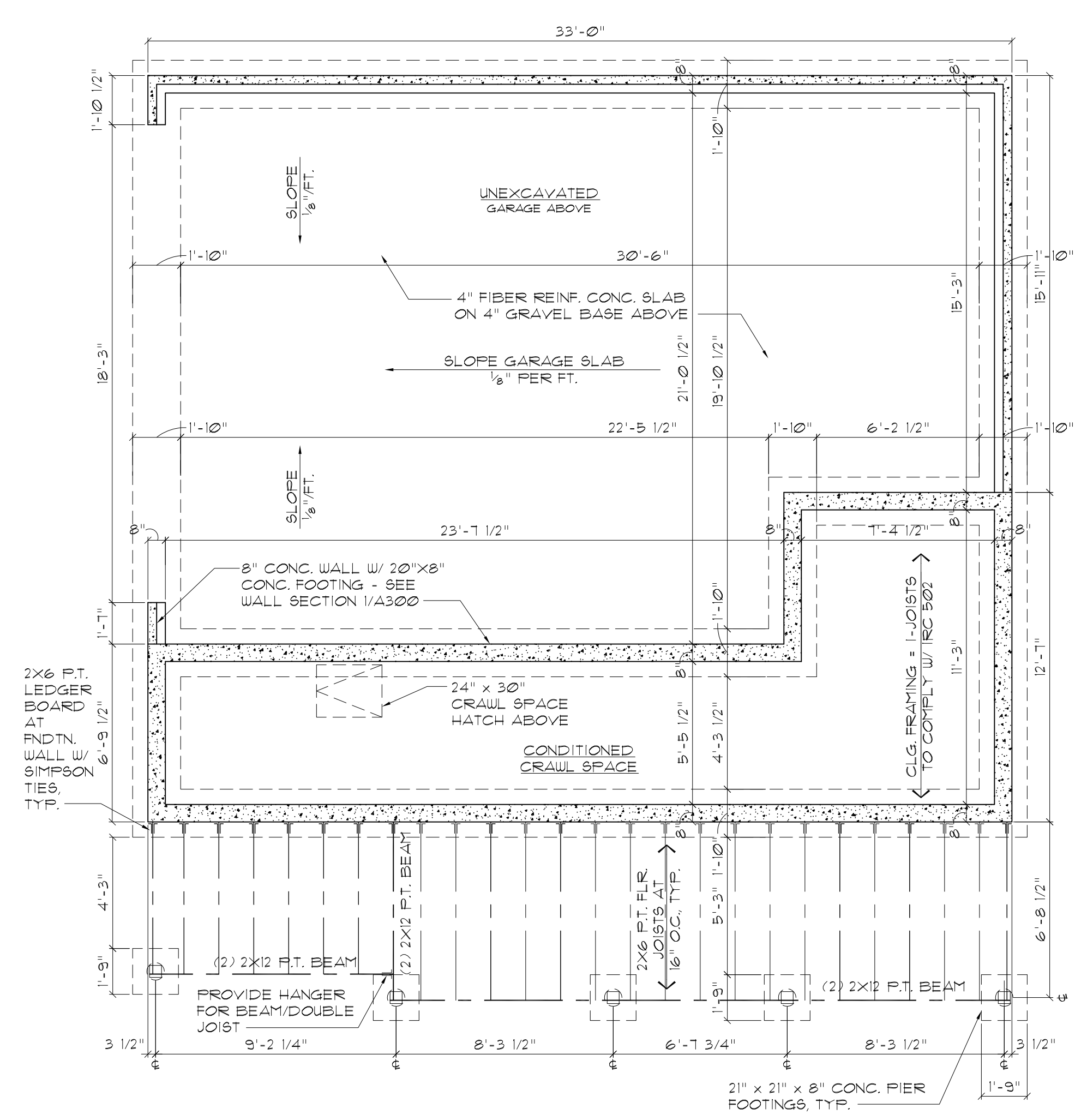
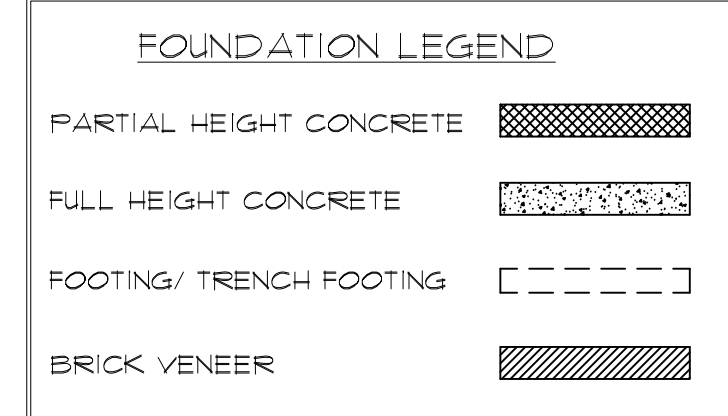
1721 N. TALBOTT STREET
SCALE: 1/8" = 1'-0"



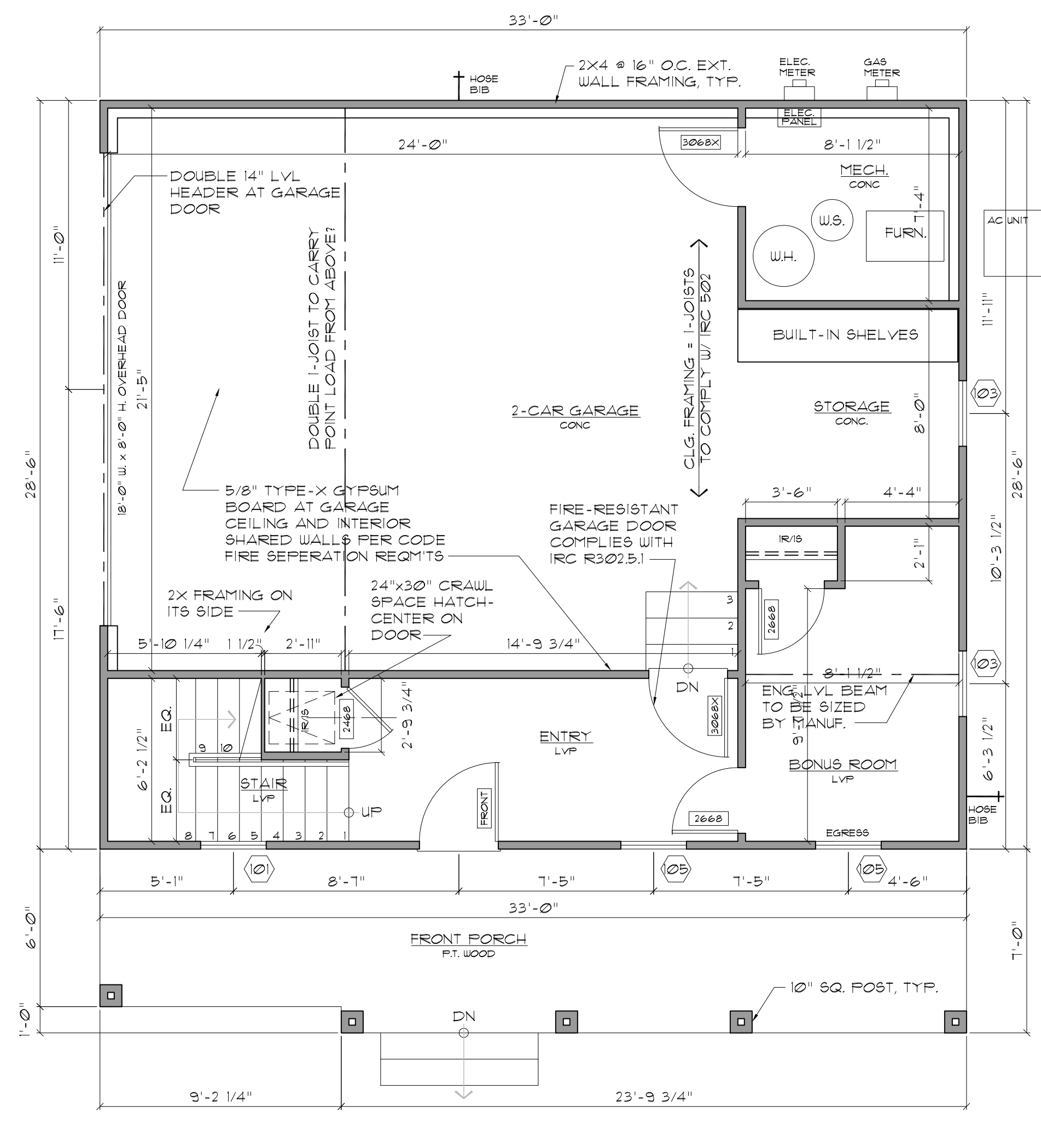
TRIM SCHEDULE

FLOOR	CROWN	CASING	BASE
FIRST	N/A	1X4 MDF	1X6 MDF
SECOND	N/A	1X4 MDF	1X6 MDF

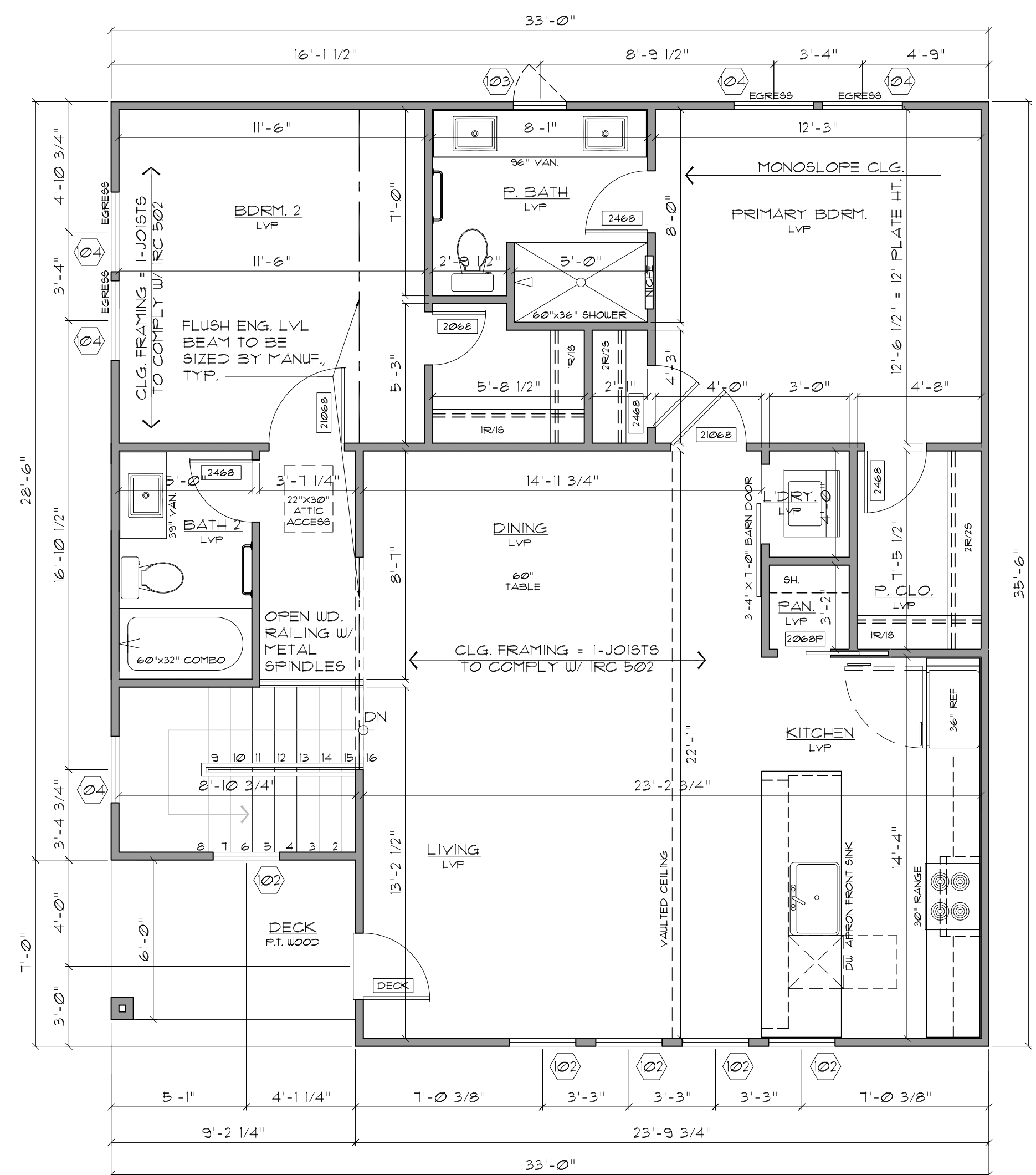
REFER TO INTERIOR ELEVATIONS FOR TRIM DETAILS



1 1721 N. TALBOTT STREET
SCALE: 1/4" = 1'-0"
FOUNDATION PLAN



2 1721 N. TALBOTT STREET
SCALE: 1/4" = 1'-0"
GROUND FLOOR PLAN
TOTAL SPACE: 941 SF
FIN. SPACE: 265 SF
(MEASURED TO EXTERIOR OF WALL)



3 1721 N. TALBOTT STREET
SCALE: 1/4" = 1'-0"
SECOND FLOOR PLAN
FIN. SPACE: 1107 SF
(MEASURED TO EXTERIOR OF WALL)



DATE: 06/02/23
 5711 CENTRAL AVENUE
 INDIANAPOLIS, IN 46250
 PHONE: 317-514-3352

© TDS 2023

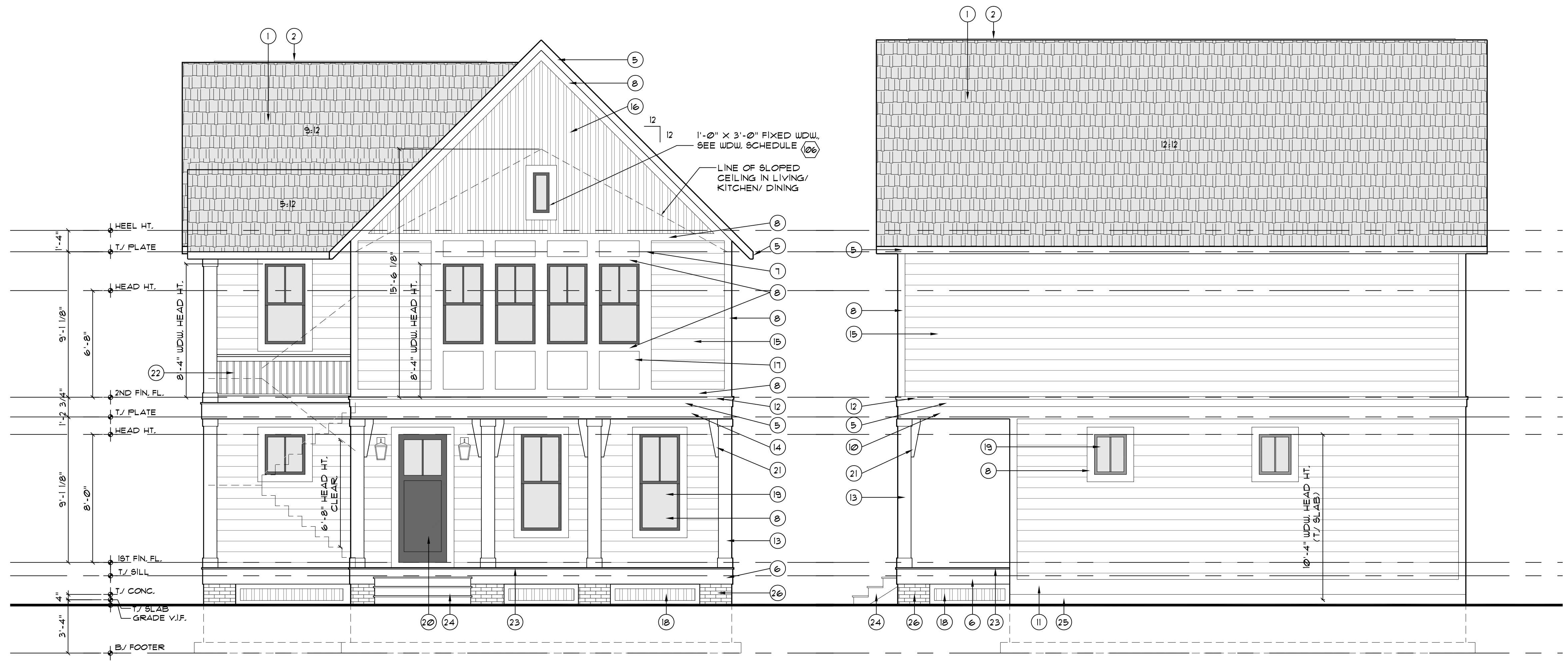
REVISIONS

1721 N. TALBOTT STREET
 FOUNDATION, FIRST AND SECOND FLOOR, ROOF PLANS

SHEET NO.
 A100

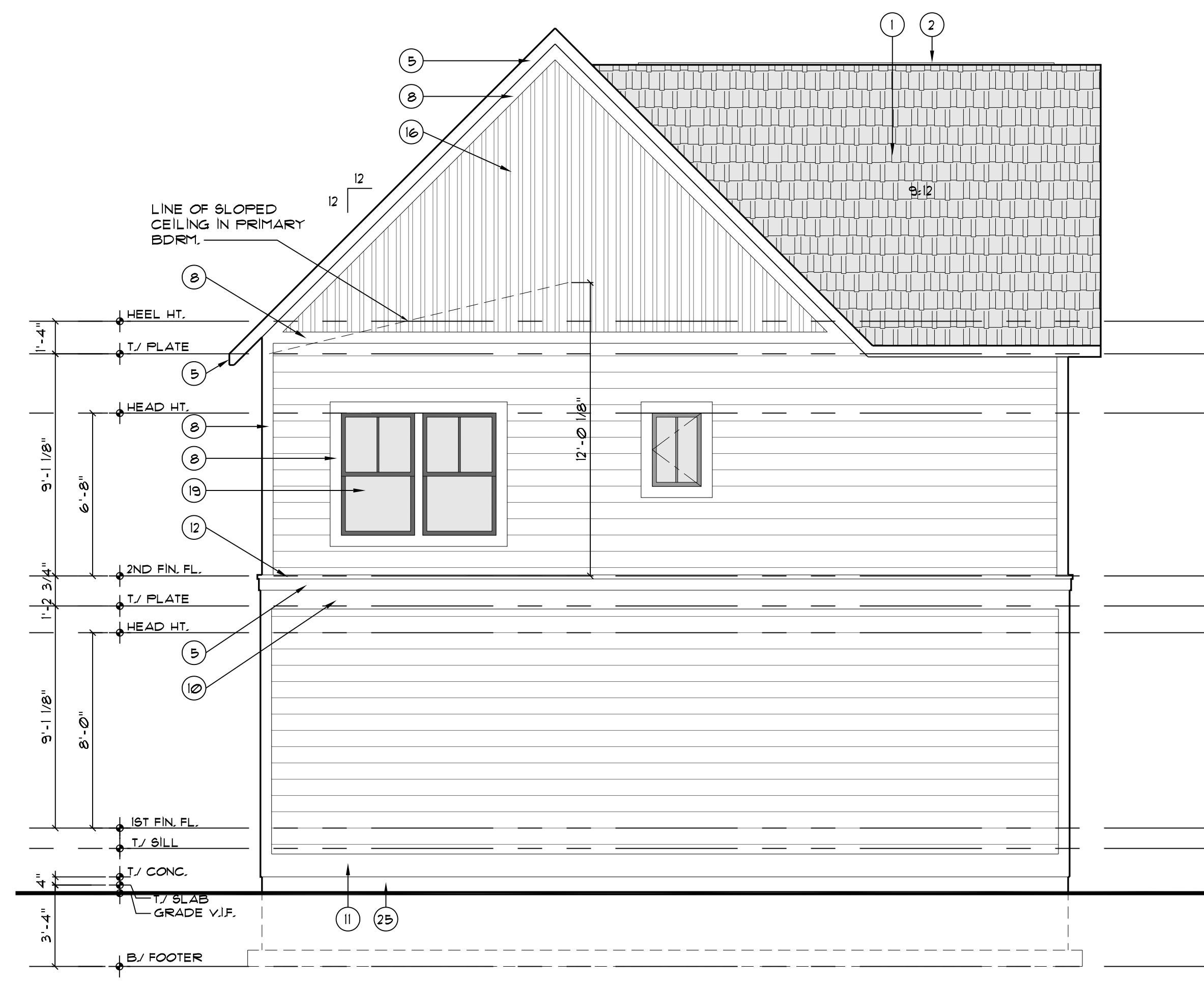
EXTERIOR MATERIALS KEY

- ① 3-DIMENSIONAL FIBERGLASS ROOF SHINGLES
- ② RIDGE VENT
- ③ ALUMINUM GUTTER
- ④ ALUMINUM DOWNSPOUT
- ⑤ 1X6 SMARTSIDE TRIM BOARD (SMOOTH)
- ⑥ 1X12 SMARTSIDE TRIM BOARD (SMOOTH)
- ⑦ 5/4X SMARTSIDE TRIM BOARD (SMOOTH)- CUT TO SIZE
- ⑧ 5/4X6 SMARTSIDE TRIM BOARD (SMOOTH)
- ⑨ 5/4X8 SMARTSIDE TRIM BOARD (SMOOTH)
- ⑩ 5/4X10 SMARTSIDE TRIM BOARD (SMOOTH)
- ⑪ 5/4X12 SMARTSIDE TRIM BOARD (SMOOTH)
- ⑫ 2" H. SLOPED SILL TRIM/CAP
- ⑬ 10" SQ. FRAME BUILT COLUMN, WRAPPED IN TRIM W/ 1X6 TRIM CAP AND 1X8 BASE TRIM - FINISH TBD
- ⑭ WOOD BEAM, WRAPPED W/ 1X SMARTSIDE TRIM BOARD (SMOOTH)
- ⑮ FIBERCEMENT BOARD SIDING, 8" EXPOSURE (SMOOTH) - METAL CAPS & CORNERS
- ⑯ FIBERCEMENT BOARD & BATTEN SIDING, 6" O.C. (SMOOTH) - METAL CAPS & CORNERS
- ⑰ FIBERCEMENT BOARD PANEL (SMOOTH)
- ⑱ FRONT PORCH SKIRTING, PAINTED, 5/4X4 SMARTSIDE TRIM W/ 1X4 SKIRT AND 1/4" GAP BETWEEN BOARDS
- ⑲ ANDERSEN 100 SERIES WINDOWS
- ⑳ STAIN GRADE EXTERIOR DOOR
- ㉑ DECORATIVE BRACKET, PAINTED
- ㉒ WOOD RAILING AND SPINDLES, PAINTED
- ㉓ P.T. WOOD DECKING, STAINED
- ㉔ P.T. WOOD STEPS, STAINED TREADS W/ PAINTED RISERS
- ㉕ CONCRETE FOUNDATION
- ㉖ FAUX BRICK PIER WRAPPED AROUND P.T. WOOD POST/FRAMING, 24" SQ. FINISH SIZE



① 1721 N. TALBOTT STREET
FRONT (WEST) ELEVATION
SCALE: 1/4" = 1'-0"

② 1721 N. TALBOTT STREET
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



③ 1721 N. TALBOTT STREET
EAST ELEVATION
SCALE: 1/4" = 1'-0"



④ 1721 N. TALBOTT STREET
NORTH ELEVATION
SCALE: 1/4" = 1'-0"

2023-COA-306 (LS)
341 (AKA 337) N. PARK

ATTACH THIS FORM TO THE ELECTRONIC COPY OF YOUR SUBMITTED DRAWINGS

- Drawings must be 11 x 17 and in color.
- Please make sure to include to-scale site plans, to-scale elevations with (directions appropriately marked; north, south, east, west, etc.,) streetscapes, 3-D drawings and other documentation as required by your reviewer.
- Drawings must be submitted by the documentation deadline of _____ (unless otherwise directed by IHPC staff) no later than **5 PM**.

If you have any questions, please contact your reviewer or the IHPC office manager at **317 327-4406** or by email at **IHPC@indy.gov**.

DATE RECEIVED	CASE INFORMATION
	<hr/> <p>COA NUMBER:</p> <hr/> <p>ADDRESS WHERE WORK IS TO BE DONE:</p> <hr/> <p>APPLICANT NAME:</p> <hr/> <p>HEARING DATE:</p>

PLEASE BE SURE TO SEND AN ELECTRONIC COPY OF THESE PLANS WITH THIS COVER SHEET ATTACHED TO THE TOP TO **IHPC@INDY.GOV**



349

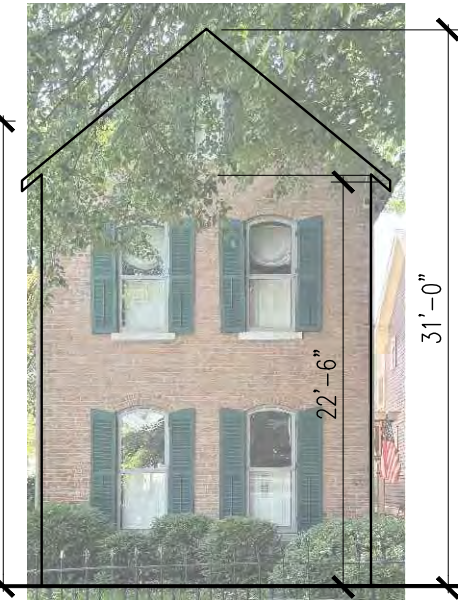


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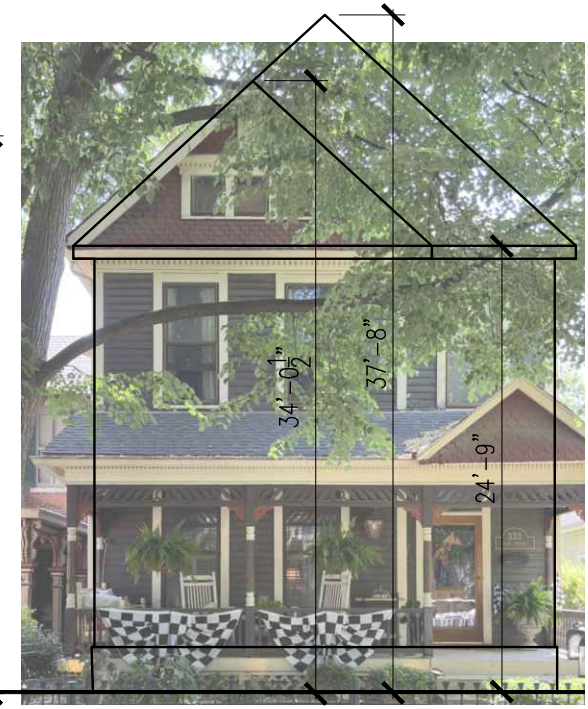


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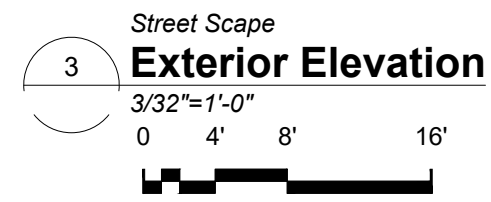
341



337



333



Johnson Hill Residence

341 N Park Ave, Indianapolis, IN

CD Bid Set: August 2nd, 2023 revised 09.18.23

Contractor: The ReDevelopment Group
1017 E. Michigan Street
Indianapolis, IN 46202

Architect: Demerly Architects
6500 Westfield Boulevard
Indianapolis, IN 46220

GENERAL NOTES:

1. THE OWNER WILL NOT BE OCCUPYING THE RESIDENCE DURING CONSTRUCTION.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2020 INDIANA RESIDENTIAL CODE AND ALL OTHER APPLICABLE CODES AND REGULATIONS.
3. ONLY WRITTEN DIMENSIONS SHALL BE USED. DO NOT SCALE THE DRAWINGS. DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE BY THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.
4. DIMENSIONS ARE TO FACE OF EXISTING CONSTRUCTION, NEW FRAMING OR MASONRY CONSTRUCTION, UNLESS OTHERWISE NOTED.

SHEET SCHEDULE

1. A001 - SITE PLAN
2. A100 - BASEMENT FLOOR & ELEC PLAN
3. A101 - FIRST FLOOR & ELEC PLAN
4. A102 - SECOND FLOOR & ELEC PLAN
5. A103 - THIRD FLOOR & ELEC PLAN
6. A104 - ROOF PLAN
7. A201 - EXTERIOR ELEVATIONS
8. A202 - EXTERIOR ELEVATIONS
9. A211 - INTERIOR ELEVATIONS
10. A212 - INTERIOR ELEVATIONS
11. A213 - INTERIOR ELEVATIONS
12. A301 - WALL SECTIONS
13. A302 - WALL SECTIONS
14. A303 - WALL SECTIONS
15. A401 - TYPICAL DETAILS

DRAINAGE NOTES:

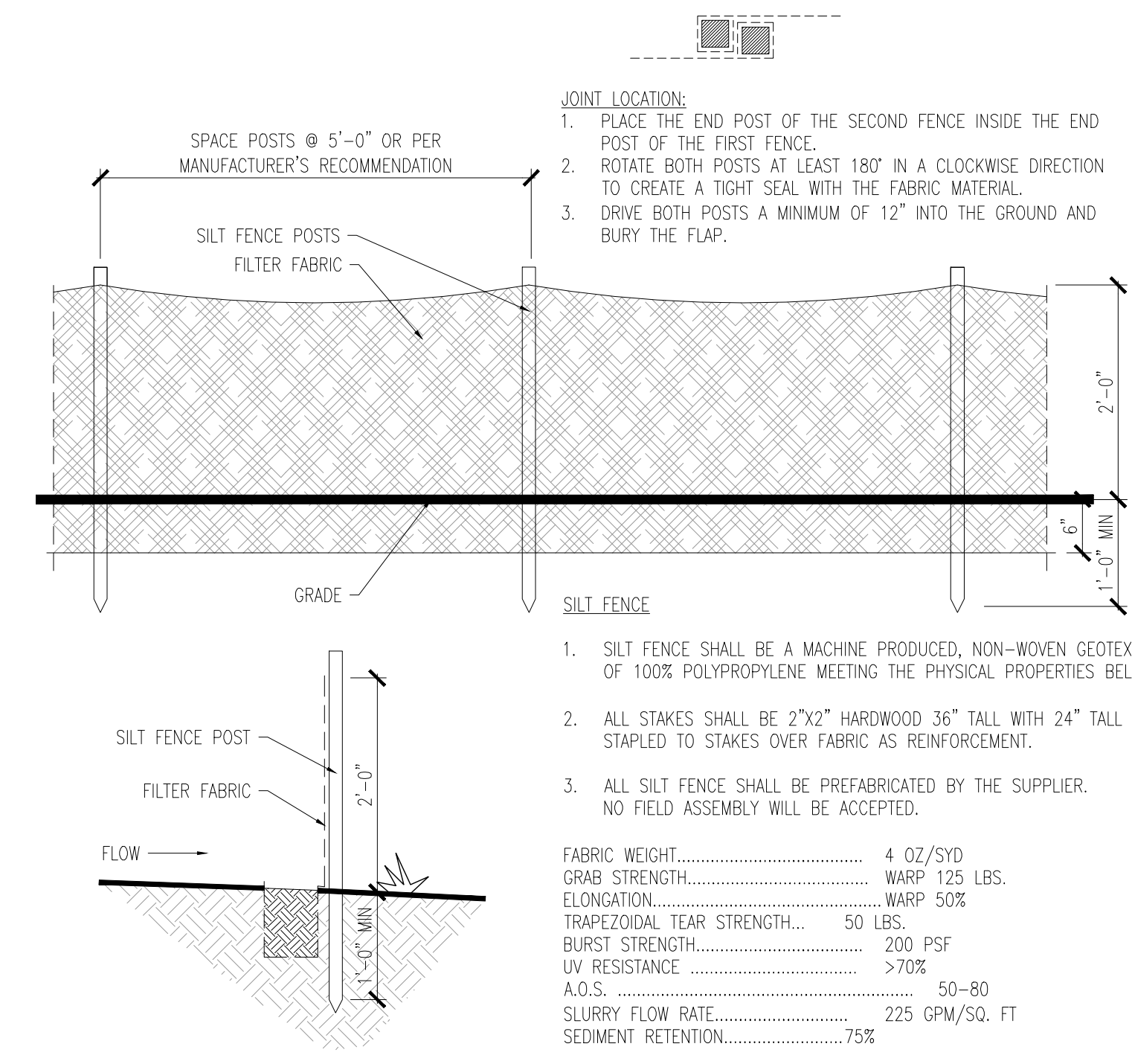
1. CONTRACTOR TO BERM SOIL AROUND FOUNDATION TO CREATE 6" FALL WITHIN 10'-0" OF BUILDING OR TO PROPERTY LINE.
2. SWALES TO BE CUT OR FORMED AS REQUIRED TO PREVENT WATER FROM BEING PUSHED ONTO NEIGHBORING PROPERTIES.
3. WHERE CONCRETE WALLS OR PAVED AREAS ARE PRESENT THEY ARE TO FOLLOW DRAINAGE CONTOURS.

ABBREVIATIONS:

- # - PLUS OR MINUS
- Ø - DIAMETER
- ACT - ACoustical CEILING TILE
- AFF - ABOVE FINISHED FLOOR
- BO - BY OWNER
- CLG - CEILING
- CT - CERAMIC TILE
- C - CENTERLINE
- DIA - DIAMETER
- EA - EACH
- EF - EXHAUST FAN
- EQ - EQUAL
- GC - GENERAL CONTRACTOR
- GYP - GYPSUM WALL BOARD
- HB - HOSE BIB
- LVL - LAMINATED VENEER LUMBER
- MAX - MAXIMUM
- MIN - MINIMUM
- MIR - MIRROR
- NB - NOT IN BID
- OC - ON CENTER
- OHD - OVERHEAD DOOR
- PLAM - PLASTIC LAMINATE
- PTD - PAINTED
- REINF - REINFORCED
- RO - ROUGH OPENING
- S4S - SURFACED FOUR SIDES
- SF - SQUARE FEET
- SIM - SIMILAR
- SS - STAINLESS STEEL
- T&B - TOP AND BOTTOM
- T&G - TONGUE AND GROOVE
- TO - TOP OF
- TP - TYPICAL
- UNO - UNLESS NOTED OTHERWISE
- VF - VERIFY IN FIELD
- WD - WOOD

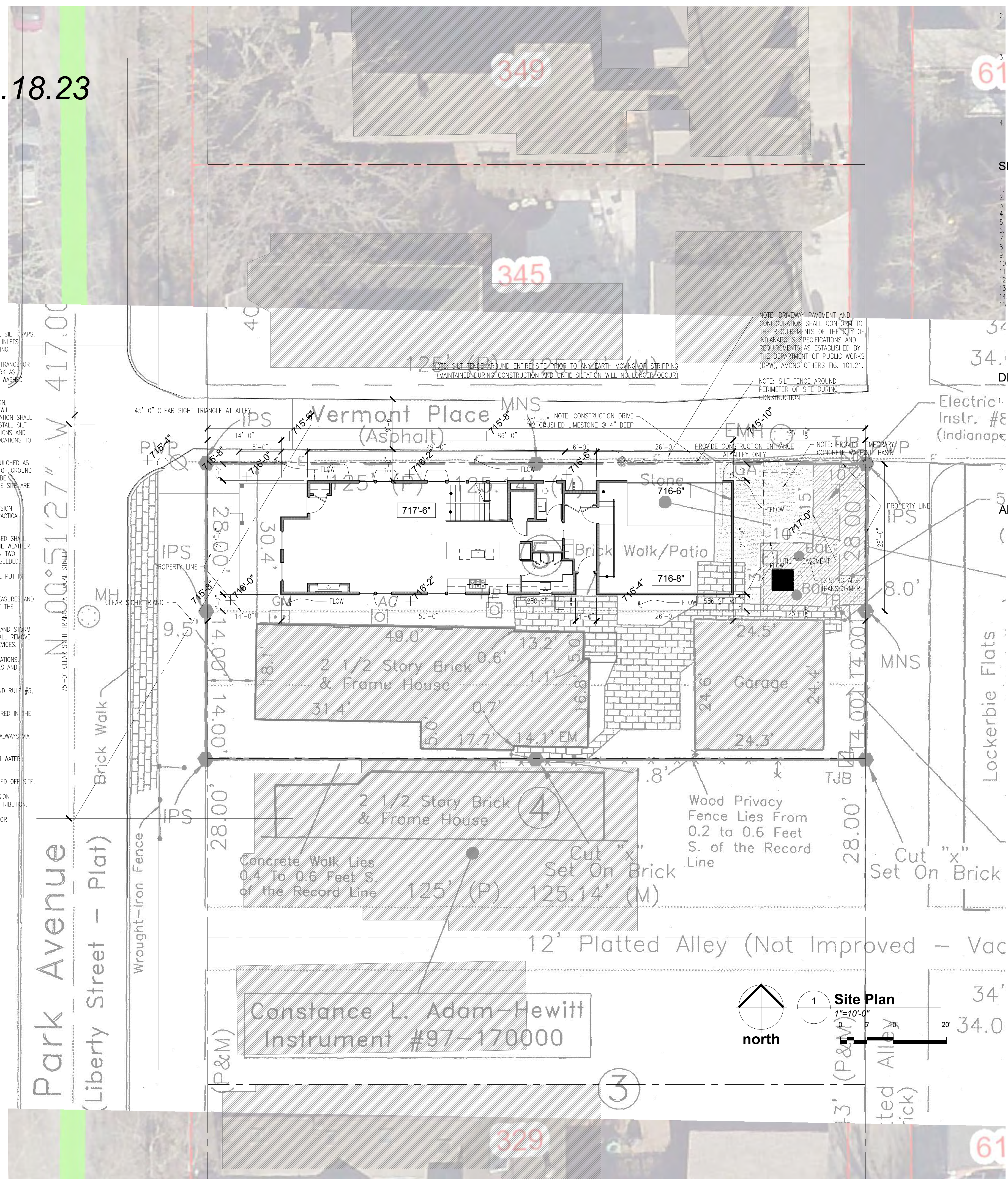
EROSION CONTROL NOTES:

1. CONTRACTOR SHALL INSTALL ALL REQUIRED SILT FENCES, SILT TRAPS, TREE PROTECTION AND INLET PROTECTION FOR EXISTING INLETS PRIOR TO THE START OF ANY EARTH MOVING OR STRIPPING.
2. CONTRACTOR SHALL INSTALL A STONE CONSTRUCTION ENTRANCE OR SOME OTHER DEVICE PRIOR TO THE START OF EARTHWORK AS NECESSARY TO PREVENT SOIL FROM BEING TRACKED OR WASHED INTO EXISTING ROADWAYS.
3. LAND ALTERATIONS WHICH STRIP THE LAND OF VEGETATION, INCLUDING REGRADING, SHALL BE DONE IN A WAY THAT WILL MINIMIZE EROSION. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED. AS GRADING IS DONE, INSTALL SILT TRAPS, SILT FENCES, SLOPE DRAINS, TEMPORARY DIVERSIONS AND OTHER RUNOFF CONTROL MEASURES AT APPROPRIATE LOCATIONS TO KEEP SEDIMENT CONTAINED ON SITE.
4. ALL DISTURBED AREAS SHALL BE SEEDED AND STRAW MULCHED AS SHOWN ON THE PLANS IMMEDIATELY AFTER COMPLETION OF GROUND ACTIVITY. FOR LARGE PROJECTS, THIS SEEDING SHOULD BE COMPLETED IN PHASES AS THE DIFFERENT AREAS OF THE SITE ARE COMPLETED.
5. PERMANENT AND FINAL VEGETATION OR STRUCTURAL EROSION CONTROL DEVICES SHALL BE INSTALLED AS SOON AS PRACTICAL UNDER THE CIRCUMSTANCES.
6. THE DURATION OF TIME WHICH AN AREA REMAINS EXPOSED SHALL BE KEPT TO A PRACTICAL MINIMUM DEPENDING UPON THE WEATHER. IF CONSTRUCTION ACTIVITY IS TO CEASE FOR MORE THAN TWO WEEKS, THE DISTURBED AREAS SHALL BE TEMPORARILY SEEDED.
7. ALL STORM SEWER INLET PROTECTION DEVICES SHALL BE PUT IN PLACE AT THE TIME EACH INLET IS CONSTRUCTED.
8. THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES AND DEVICES DURING CONSTRUCTION AND UNTIL SILTATION OF THE STREETS AND STORM SEWERS WILL NO LONGER OCCUR.
9. ONCE ONSITE EROSION AND SILTATION OF THE STREETS AND STORM SEWERS WILL NO LONGER OCCUR, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE TEMPORARY EROSION CONTROL DEVICES.
10. THESE GENERAL PROCEDURES MAY NOT COVER ALL SITUATIONS. REFER TO EROSION CONTROL PLANS FOR SPECIFIC NOTES AND ADDITIONAL DETAILS.
11. EROSION CONTROL TO COMPLY WITH INDIANA 327 IAC AND RULE #5, AND THE INDIANA STORM WATER QUALITY MANUAL.
12. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED IN THE FIELD BY THE INSPECTOR.
13. DIRT AND DEBRIS SHALL NOT BE TRACKED INTO THE ROADWAYS VIA CONSTRUCTION EQUIPMENT AND PERSONNEL.
14. SILT SOCKS SHALL BE INSTALLED AT ALL NEARBY STORM WATER INLETS.
15. ALL DIRT, DEBRIS, AND RUBBISH GENERATED TO BE HAULED OFF SITE.
16. ANY STOCKPILED SOILS SHALL BE STABILIZED WITH EROSION CONTROL MEASURES TO MINIMIZE RUNOFF AND WIND DISTRIBUTION.
17. CONCRETE WASH OUT BASIN TO BE PROVIDED AT SITE FOR CONCRETE PAVING AND RELATED CONSTRUCTION.



2 Silt Fence Detail
3/4"=1'-0"
0 5' 10' 20'

PROJECT LOCATION



Johnson Hill Residence
341 North Park Avenue, Indianapolis IN
Demerly Architects
ARCHITECTURE / INTERIORS / PLANNING
6500 Westfield Blvd., Indianapolis, IN 46220
Tel: 317.895.2811
Fax: 317.895.2811
E-mail: info@demerlyarchitects.com

NOT FOR CONSTRUCTION
Date: 09.18.23
Revise:

Scale: N/A
Cover Sheet

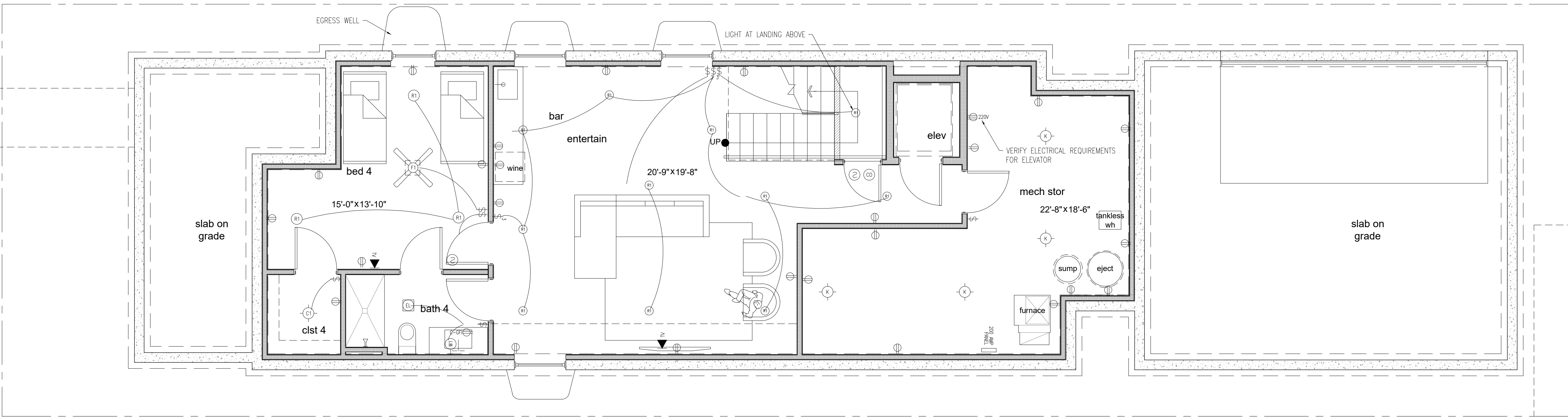
GENERAL NOTES:

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3. ONLY WRITTEN DIMENSIONS SHALL BE USED. DO NOT SCALE THE DRAWINGS. DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE BY THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.
4. DIMENSIONS ARE TO FACE OF EXISTING CONSTRUCTION, NEW FRAMING OR MASONRY CONSTRUCTION, UNLESS OTHERWISE NOTED.

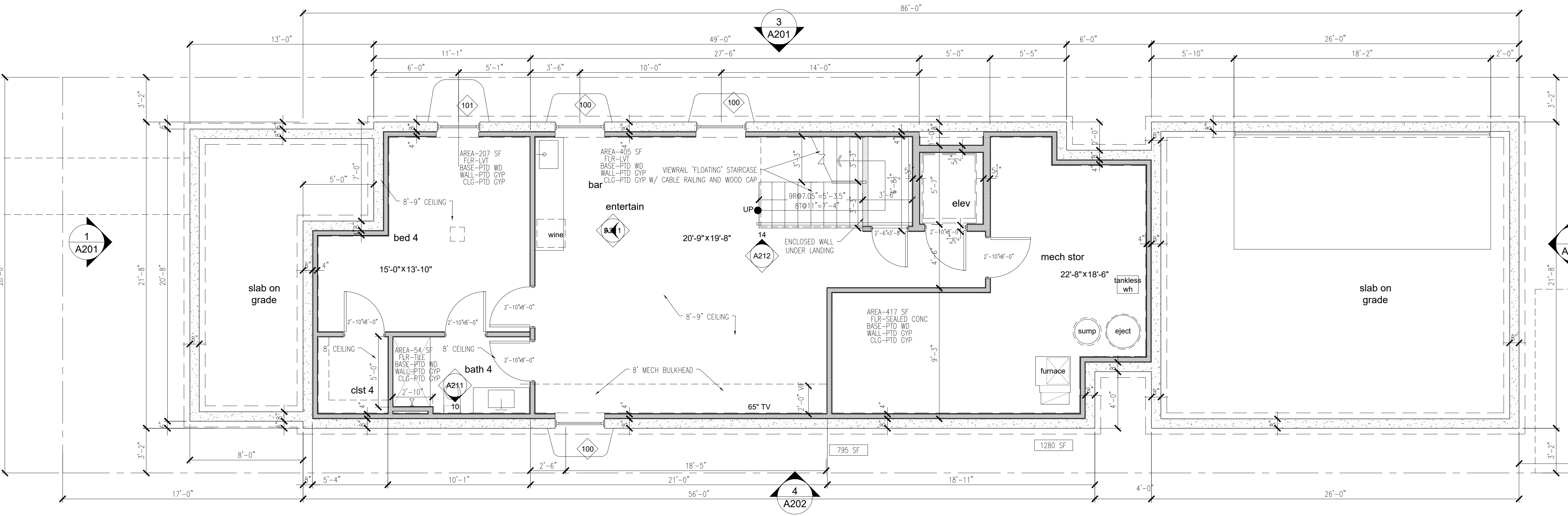
ELECTRICAL LEGEND:

ALL ELECTRICAL DEVICES TO BE WHITE DECORA STYLE. DIMMERS ARE TO BE DECORA STYLE SWITCH W/ SLIDING EDGE DIMMER.

- WALL SWITCH @ 42" AFF
- WALL SWITCH @ SPECIFIED HEIGHT
- WALL SWITCH W/ DIMMER
- 3-WAY WALL SWITCH
- DOOR HINGE SWITCH
- DUPLEX OUTLET
- OUTLET @ SPECIFIED HEIGHT
- WATERPROOF EXTERIOR OUTLET
- OUTLET @ 8" ABOVE COUNTERTOP
- GFI OUTLET
- FLOOR OUTLET
- QUAD OUTLET
- 220V OUTLET
- (1)CAT6 & (1)RG-6 COAX
- 4" LED RECESSED JUNO PODZ JPD24-DC-WHITE TRIM ROUND
- 4" LED RECESSED ADJUSTABLE JUNO WF4ADJ WHITE TRIM ROUND
- DECORATIVE CEILING LIGHT SELECTED BY OWNER TYPE 'C1'
- DECORATIVE PENDANT LIGHT SELECTED BY OWNER TYPE 'P1'
- KEYLESS LIGHT FIXTURE
- WALL SCONCE LIGHT SELECTED BY OWNER TYPE 'W1'
- LED STRIP LIGHTS
- UNDERCABINET STRIP LIGHTS
- STEP LIGHT WAC WL-LED201 WHITE
- FLOOD LIGHT FIXTURE
- CEILING FAN SELECTED BY OWNER
- BATHROOM FAN/LIGHT - PANASONIC WHISPER RECESSED FV-08VREZ
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- ELECTRICAL METER
- 200 AMP ELECTRICAL PANEL
- DISCONNECT SWITCH



Basement Electrical Plan
 1/4"=1'-0"
 0 2' 4' 8'



Basement Floor Plan
 1/4"=1'-0"
 0 2' 4' 8'

WINDOW SCHEDULE				
MARK	QTY	NOMINAL SIZE	PRODUCT	
		W H		
01	1	3'-0" 8'-0"	FIBERGLASS	
02	1	3'-0" 8'-0"	FIBERGLASS	
100	3	3'-0" 2'-6"	AWNING	
101	1	2'-6" 5'-6"	CASEMENT	
102	2	2'-6" 2'-6"	AWNING	
103	2	3'-6" 2'-0"	AWNING	
104	4	3'-0" 3'-0"	AWNING	
105	19	3'-6" 3'-6"	AWNING	
106	2	2'-6" 4'-6"	CASEMENT	
107	2	2'-6" 5'-6"	CASEMENT	
108	7	3'-0" 5'-6"	CASEMENT	

ALL WINDOWS ARE JELDOWEN CLAD UNITS WITH LOW-E INSULATED GLASS, EXTERIOR CLADDING, AND FOLDING HARDWARE FOR CASEMENTS. SEE EXTERIOR ELEVATIONS FOR OPERATION OF UNITS.

Johnson Hill Residence
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 Email: mark@demeryarchitects.com

NOT FOR CONSTRUCTION
 Date: 09.18.23
 Revise:

Scale: 1/4"=1'-0"
 Basement Floor Plan

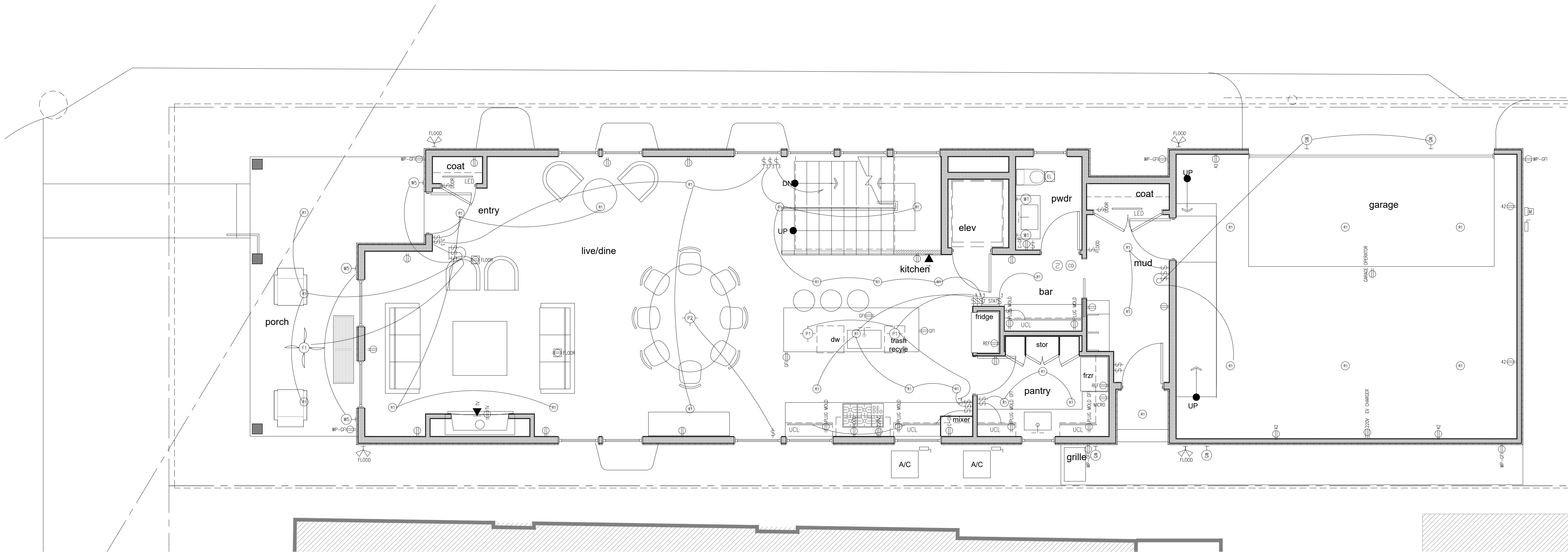
A100
 Sheet: 2 of 15

GENERAL NOTES:

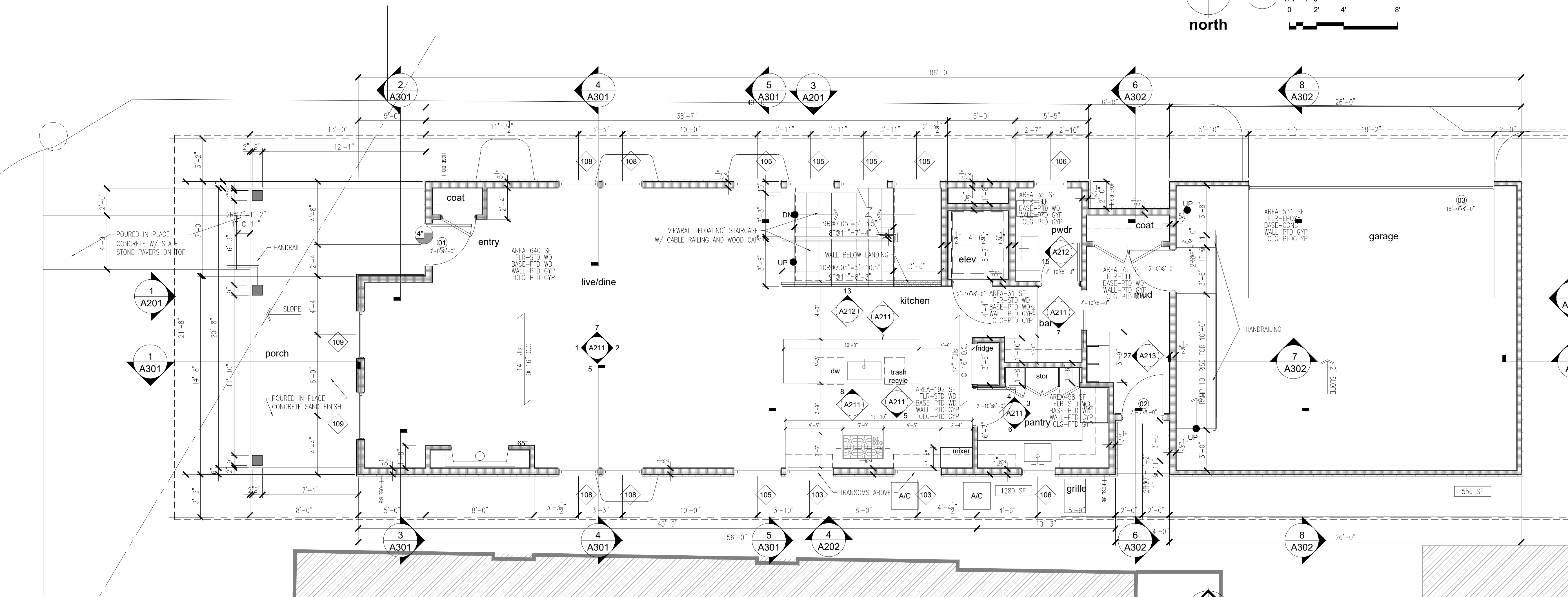
1. THE OWNER WILL NOT BE OCCUPYING THE RESIDENCE DURING CONSTRUCTION.
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4. DIMENSIONS ARE TO FACE OF EXISTING CONSTRUCTION, NEW FRAMING OR MASONRY CONSTRUCTION, UNLESS OTHERWISE NOTED.

ELECTRICAL LEGEND:

- ALL ELECTRICAL DEVICES TO BE WHITE DECORA STYLE. DIMMERS ARE TO BE DECORA STYLE SWITCH W/ SLIDING EDGE DIMMER.
- WALL SWITCH @ 42" AFF
 - WALL SWITCH @ SPECIFIED HEIGHT
 - WALL SWITCH W/ DIMMER
 - 3-WAY WALL SWITCH
 - DOOR HINGE SWITCH
 - DUPLEX OUTLET
 - OUTLET @ SPECIFIED HEIGHT
 - WATERPROOF EXTERIOR OUTLET
 - OUTLET @ 8" ABOVE COUNTERTOP
 - GFI OUTLET
 - FLOOR OUTLET
 - QUAD OUTLET
 - 220V OUTLET
 - (1)CAT6 & (1)RG-6 COAX
 - 4" LED RECESSED JUNO PODZ JPD24-DC-WHITE TRIM ROUND
 - 4" LED RECESSED ADJUSTABLE JUNO WF40J WHITE TRIM ROUND
 - DECORATIVE CEILING LIGHT SELECTED BY OWNER TYPE 'C1'
 - DECORATIVE PENDANT LIGHT SELECTED BY OWNER TYPE 'P1'
 - KEYLESS LIGHT FIXTURE
 - WALL SCONCE LIGHT SELECTED BY OWNER TYPE 'W1'
 - LED STRIP LIGHTS
 - UNDERCABINET STRIP LIGHTS
 - STEP LIGHT W/AC WL-LED201 WHITE
 - FLOOD LIGHT FIXTURE
 - CEILING FAN SELECTED BY OWNER
 - BATHROOM FAN/LIGHT - PANASONIC WHISPER RECESSED FV-08V9Z
 - SMOKE DETECTOR
 - CARBON MONOXIDE DETECTOR
 - ELECTRICAL METER
 - 200 AMP ELECTRICAL PANEL
 - DISCONNECT SWITCH



1E First Floor Electrical Plan
 1/4"=1'-0"
 0 2' 4' 8'



1 First Floor Plan
 1/4"=1'-0"
 0 2' 4' 8'

WINDOW SCHEDULE

MARK	QTY	NOMINAL SIZE	PRODUCT
		W H	
01	1	3'-0" 8'-0"	FIBERGLASS
02	1	3'-0" 8'-0"	FIBERGLASS
100	3	3'-0" 2'-6"	AWNING
101	1	2'-6" 5'-8"	CASEMENT
102	2	2'-6" 2'-6"	AWNING
103	2	3'-6" 2'-0"	AWNING
104	4	3'-0" 3'-0"	AWNING
105	19	3'-6" 3'-6"	AWNING
106	2	2'-6" 4'-6"	CASEMENT
107	2	2'-6" 5'-6"	CASEMENT
108	7	3'-0" 5'-6"	CASEMENT

ALL WINDOWS ARE JELDOWEN CLAD UNITS WITH LOW-E INSULATED GLASS, EXTERIOR CLADDING, AND FOLDING HARDWARE FOR CASEMENTS. (SEE EXTERIOR ELEVATIONS FOR OPERATION OF UNITS.)

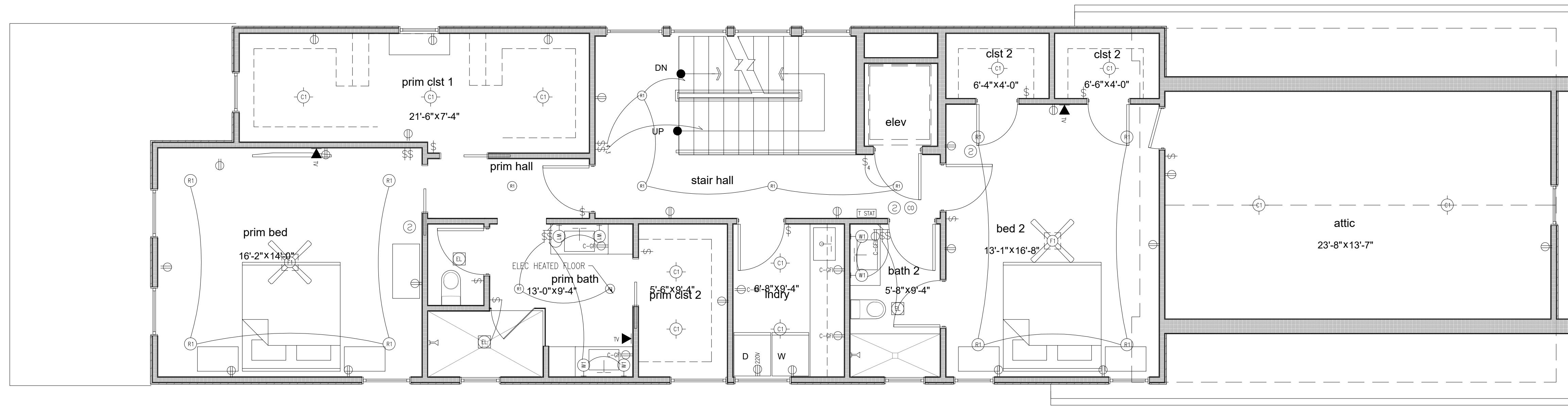
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 Email: info@demerlyarchitects.com

NOT FOR CONSTRUCTION
 Date: 09.18.23
 Revise:

Scale: 1/4"=1'-0"
 First Floor Plan

GENERAL NOTES:

1. THE OWNER WILL NOT BE OCCUPYING THE RESIDENCE DURING CONSTRUCTION.
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4. DIMENSIONS ARE TO FACE OF EXISTING CONSTRUCTION, NEW FRAMING OR MASONRY CONSTRUCTION, UNLESS OTHERWISE NOTED.



2E Second Floor Electrical Plan
 1/4"=1'-0"
 0 2' 4' 8'

ELECTRICAL LEGEND:

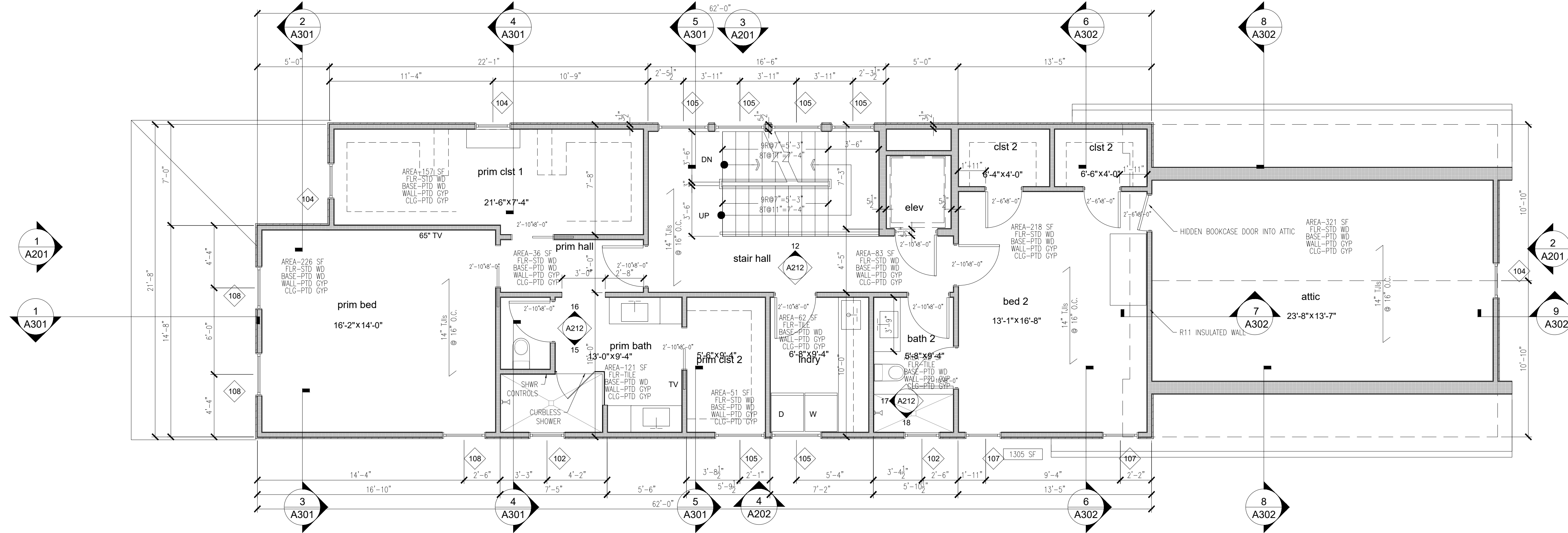
ALL ELECTRICAL DEVICES TO BE WHITE DECORA STYLE. DIMMERS ARE TO BE DECORA STYLE SWITCH W/ SLIDING EDGE DIMMER.

- WALL SWITCH @ 42" AFF
- WALL SWITCH @ SPECIFIED HEIGHT
- WALL SWITCH W/ DIMMER
- 3-WAY WALL SWITCH
- DOOR HINGE SWITCH
- DUPLEX OUTLET
- OUTLET @ SPECIFIED HEIGHT
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- KEYLESS LIGHT FIXTURE
- WALL SCONCE LIGHT SELECTED BY OWNER TYPE 'W1'
- LED STRIP LIGHTS
- UNDERCABINET STRIP LIGHTS
- STEP LIGHT W/AC WL-LED201 WHITE
- FLOOD LIGHT FIXTURE
- CEILING FAN SELECTED BY OWNER
- BATHROOM FAN/LIGHT - PANASONIC WHISPER RECESSED FV-08VREZ
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- ELECTRICAL METER
- 300 AMP ELECTRICAL PANEL
- DISCONNECT SWITCH

WINDOW SCHEDULE

MARK	QTY	NOMINAL SIZE	PRODUCT
		W H	
01	1	3'-0" 8'-0"	FIBERGLASS
02	1	3'-0" 8'-0"	FIBERGLASS
100	3	3'-0" 2'-6"	AWNING
101	1	2'-6" 5'-6"	CASEMENT
102	2	2'-6" 2'-6"	AWNING
103	2	3'-6" 2'-0"	AWNING
104	4	3'-0" 3'-0"	AWNING
105	19	3'-6" 3'-6"	AWNING
106	2	2'-6" 4'-6"	CASEMENT
107	2	2'-6" 5'-6"	CASEMENT
108	7	3'-0" 5'-6"	CASEMENT

ALL WINDOWS ARE JELDOWEN CLAD UNITS WITH LOW-E INSULATED GLASS, EXTERIOR CLADDING, AND FOLDING HARDWARE FOR CASEMENTS. SEE EXTERIOR ELEVATIONS FOR OPERATION OF UNITS.



2 Second Floor Plan
 1/4"=1'-0"
 0 2' 4' 8'

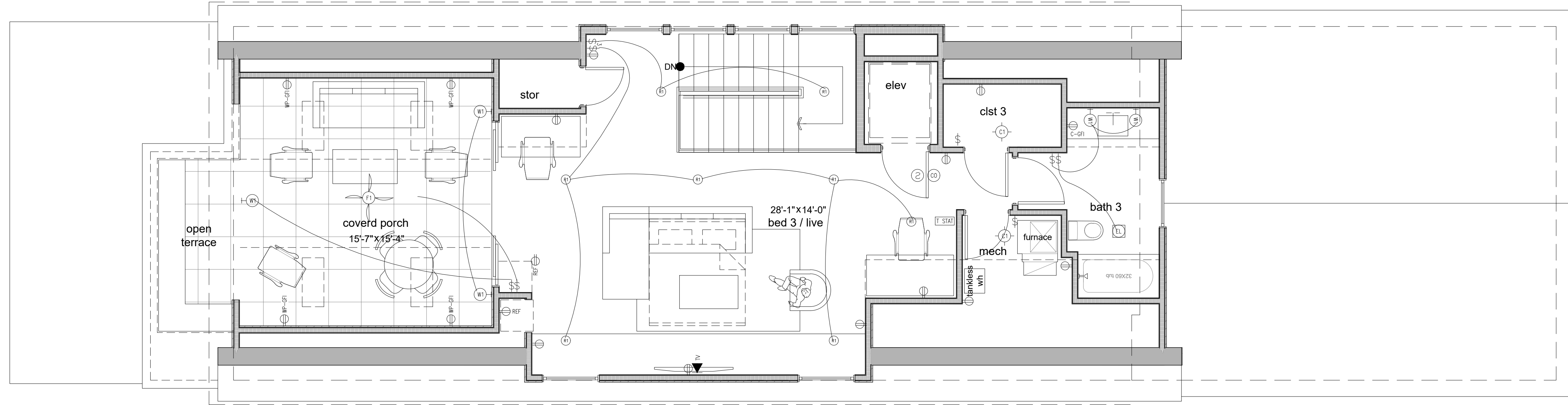
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NOT FOR CONSTRUCTION
 Date: 09.18.23
 Revise:

Scale: 1/4"=1'-0"
 Second Floor Plan

GENERAL NOTES:

1. THE OWNER WILL NOT BE OCCUPYING THE RESIDENCE DURING CONSTRUCTION.
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3E Third Floor Electrical Plan
 1/4"=1'-0"
 0 2' 4' 8'

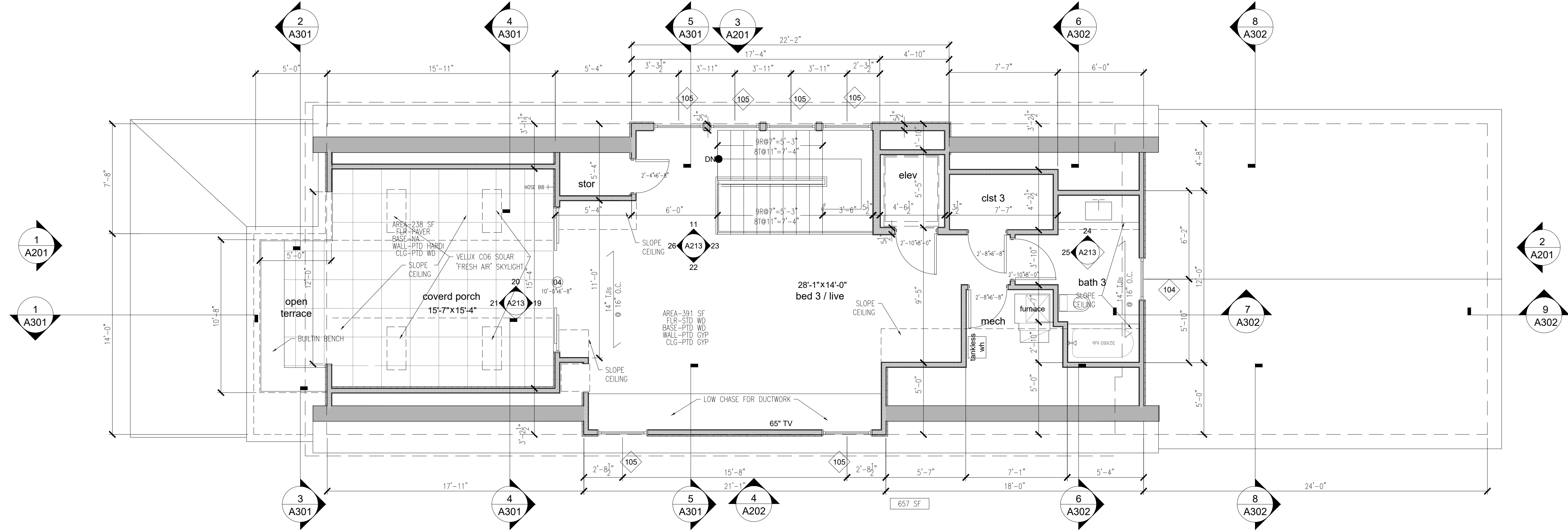
ELECTRICAL LEGEND:

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- WALL SWITCH @ 42" AFF
- WALL SWITCH @ SPECIFIED HEIGHT
- WALL SWITCH W/ DIMMER
- 3-WAY WALL SWITCH
- DOOR HINGE SWITCH
- DUPLEX OUTLET
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- DECORATIVE PENDANT LIGHT SELECTED BY OWNER TYPE 'P1'
- KEYLESS LIGHT FIXTURE
- WALL SCONCE LIGHT SELECTED BY OWNER TYPE 'W1'
- LED STRIP LIGHTS
- UNDERCABINET STRIP LIGHTS
- STEP LIGHT WAC WL-LED201 WHITE
- FLOOD LIGHT FIXTURE
- CEILING FAN SELECTED BY OWNER
- BATHROOM FAN/LIGHT - PANASONIC WHISPER RECESSED FV-08V9Z
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- ELECTRICAL METER
- 200 AMP ELECTRICAL PANEL
- DISCONNECT SWITCH

WINDOW SCHEDULE			
MARK	QTY	NOMINAL SIZE	PRODUCT
		W H	
01	1	3'-0" 8'-0"	FIBERGLASS
02	1	3'-0" 8'-0"	FIBERGLASS
100	3	3'-0" 2'-6"	AWNING
101	1	2'-6" 5'-6"	CASEMENT
102	2	2'-6" 2'-6"	AWNING
103	2	3'-6" 2'-0"	AWNING
104	4	3'-0" 3'-0"	AWNING
105	19	3'-6" 3'-6"	AWNING
106	2	2'-6" 4'-6"	CASEMENT
107	2	2'-6" 5'-6"	CASEMENT
108	7	3'-0" 5'-6"	CASEMENT

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3 Third Floor Plan
 1/4"=1'-0"
 0 2' 4' 8'

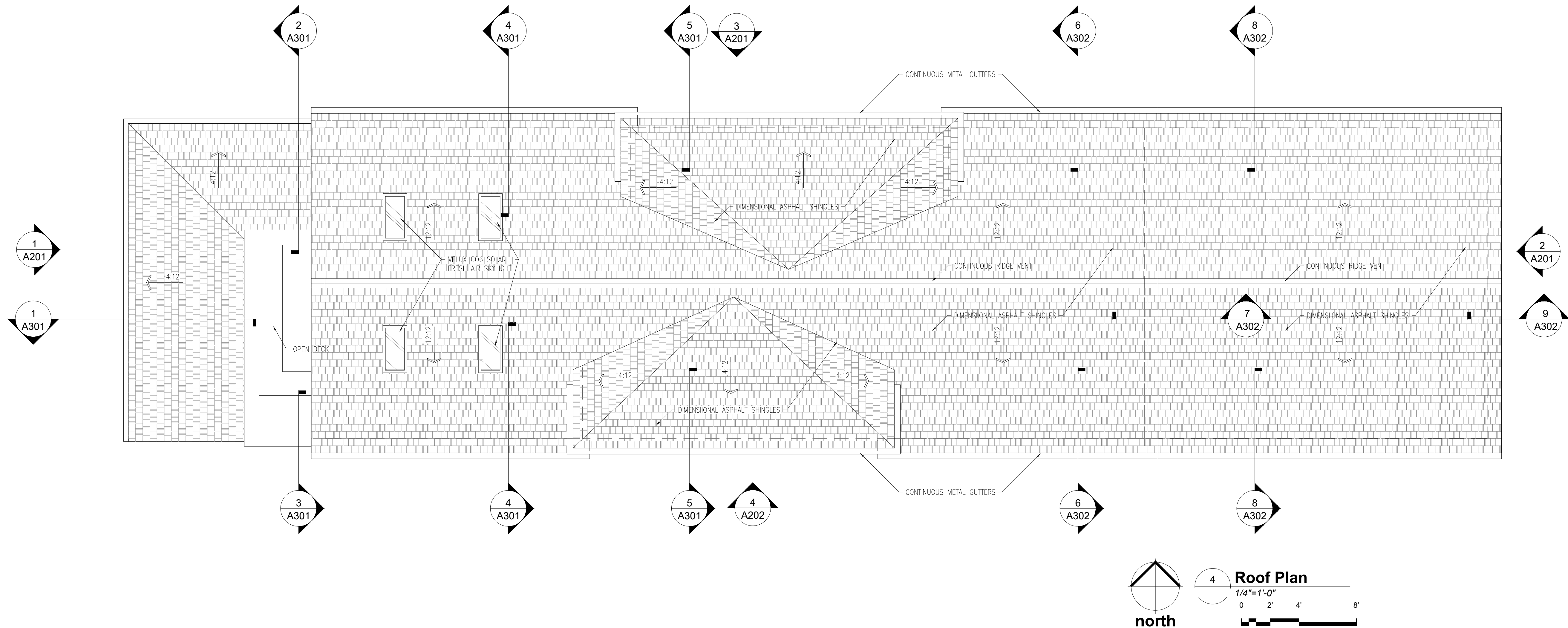
Johnson Hill Residence
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NOT FOR CONSTRUCTION
 Date: 09.18.23
 Revise:

Scale: 1/4"=1'-0"
 Third Floor Plan

GENERAL NOTES:

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NOT FOR CONSTRUCTION
 Date: 09.18.23
 Revise:

Scale: 1/4"=1'-0"
 Roof Plan

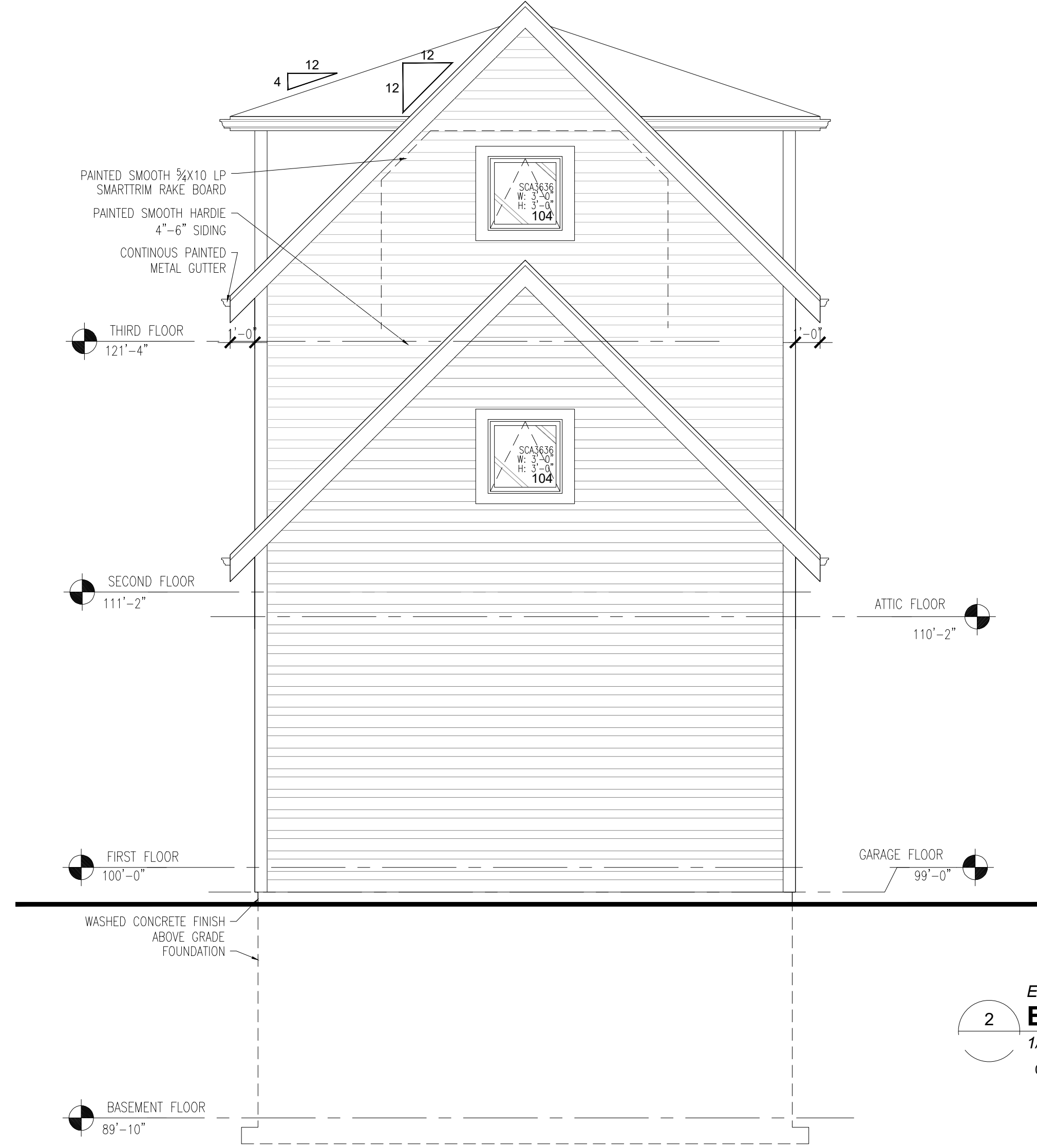
A104
 Sheet: 5 of 15

GENERAL NOTES:

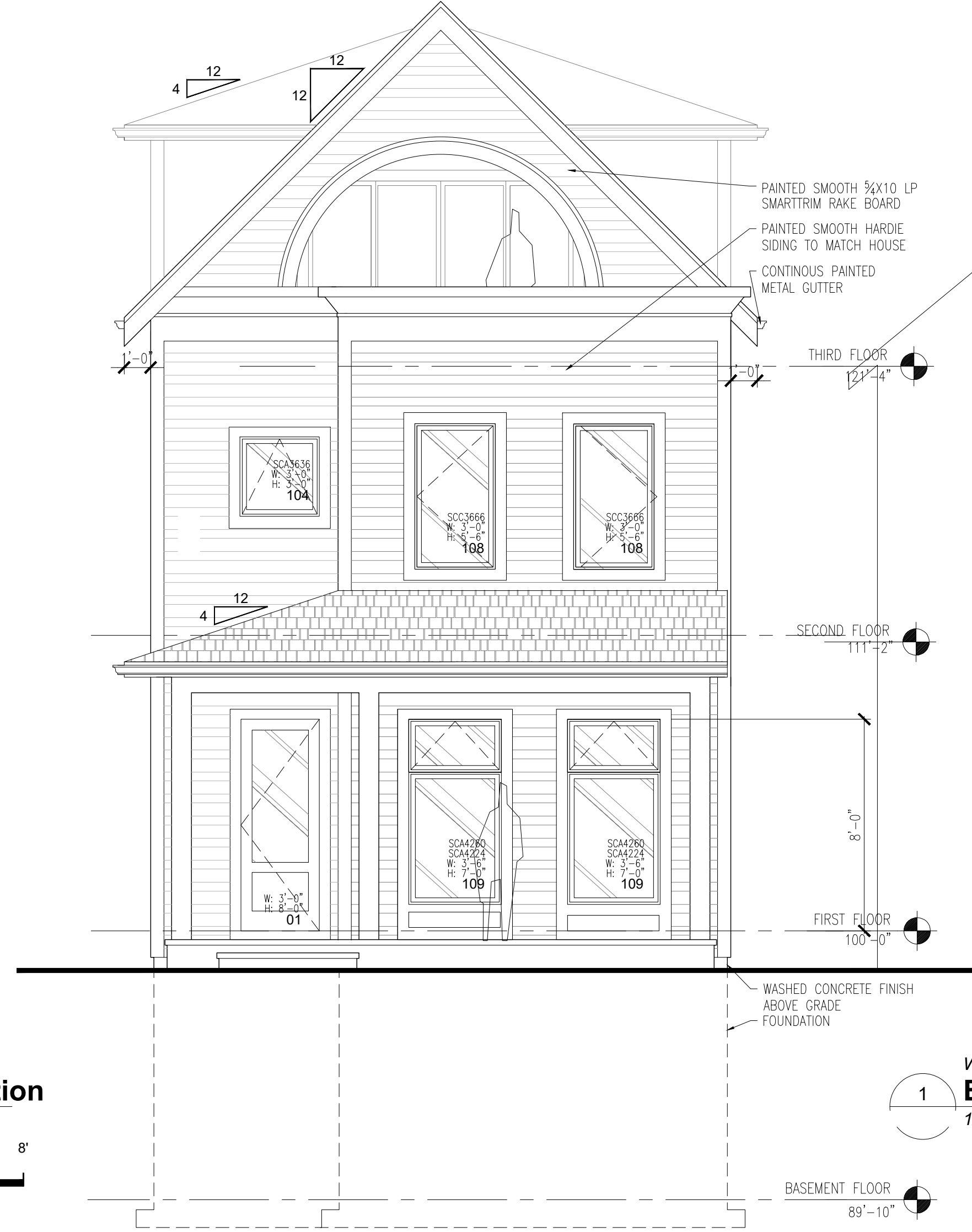
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WINDOW SCHEDULE				
MARK	QTY	NOMINAL SIZE		PRODUCT
		W	H	
01	1	3'-0"	8'-0"	FIBERGLASS
02	1	3'-0"	8'-0"	FIBERGLASS
100	3	3'-0"	2'-6"	AWNING
101	1	2'-6"	5'-6"	CASEMENT
102	2	2'-6"	2'-6"	AWNING
103	2	3'-6"	2'-0"	AWNING
104	4	3'-0"	3'-0"	AWNING
105	19	3'-6"	3'-6"	AWNING
106	2	2'-6"	4'-6"	CASEMENT
107	2	2'-6"	5'-6"	CASEMENT
108	7	3'-0"	5'-6"	CASEMENT

ALL WINDOWS ARE JELDOWEN CLAD UNITS WITH LOW-E INSULATED GLASS, EXTERIOR CLADDING, AND FOLDING HARDWARE FOR CASEMENTS. SEE EXTERIOR ELEVATIONS FOR OPERATION OF UNITS.



2 East Exterior Elevation
1/4"=1'-0"
0 2' 4' 8'



1 West Exterior Elevation
1/4"=1'-0"
0 2' 4' 8'



3 North Exterior Elevation
1/4"=1'-0"
0 2' 4' 8'

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NOT FOR CONSTRUCTION
Date: 09.18.23
Revise:

Scale: 1/4"=1'-0"
Exterior Elevations

A201
Sheet: 7 of 15

GENERAL NOTES:

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WINDOW SCHEDULE				
MARK	QTY	NOMINAL SIZE		PRODUCT
		W	H	
01	1	3'-0"	8'-0"	FIBERGLASS
02	1	3'-0"	8'-0"	FIBERGLASS
100	3	3'-0"	2'-6"	AWNING
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103	2	3'-6"	2'-0"	AWNING
104	4	3'-0"	3'-0"	AWNING
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107	2	2'-6"	5'-6"	CASEMENT
108	7	3'-0"	5'-6"	CASEMENT

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South
4 Exterior Elevation
 1/4"=1'-0"
 0 2' 4' 8'

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NOT FOR CONSTRUCTION
 Date: 09.18.23
 Revise:

Scale: 1/4"=1'-0"

Exterior Elevations

A202
 Sheet: 8 of 15























