

**2023-COA-306 (LS)  
337 (AKA 341) N. PARK  
AVE.**

# ATTACH THIS FORM TO THE ELECTRONIC COPY OF YOUR SUBMITTED DRAWINGS

- Drawings must be 11 x 17 and in color.
- Please make sure to include to-scale site plans, to-scale elevations with (directions appropriately marked; north, south, east, west, etc.,) streetscapes, 3-D drawings and other documentation as required by your reviewer.
- Drawings must be submitted by the documentation deadline of \_\_\_\_\_ (unless otherwise directed by IHPC staff) no later than **5 PM**.

If you have any questions, please contact your reviewer or the IHPC office manager at **317 327-4406** or by email at **IHPC@indy.gov**.

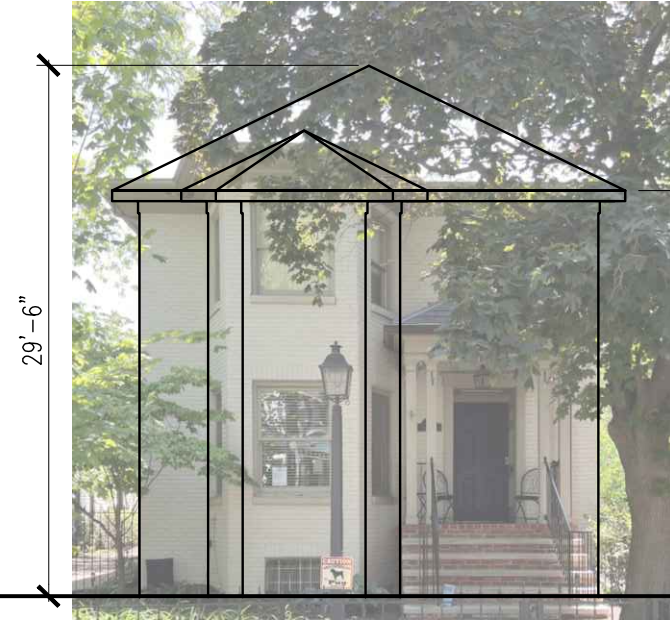
DATE RECEIVED	CASE INFORMATION
	<hr/> <p>COA NUMBER:</p> <hr/> <p>ADDRESS WHERE WORK IS TO BE DONE:</p> <hr/> <p>APPLICANT NAME:</p> <hr/> <p>HEARING DATE:</p>

PLEASE BE SURE TO SEND AN ELECTRONIC COPY OF THESE PLANS WITH THIS COVER SHEET ATTACHED TO THE TOP TO **IHPC@INDY.GOV**





349

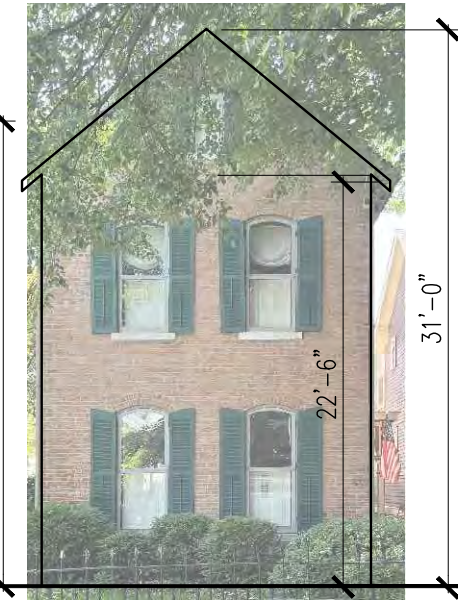


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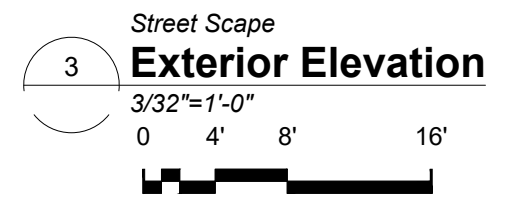
alley



337



333





# Johnson Hill Residence

341 N Park Ave, Indianapolis, IN  
 CD Bid Set: August 2nd, 2023

Contractor: The ReDevelopment Group  
 1017 E. Michigan Street  
 Indianapolis, IN 46202

Architect: Demerly Architects  
 6500 Westfield Boulevard  
 Indianapolis, IN 46220

## GENERAL NOTES:

1. THE OWNER WILL NOT BE OCCUPYING THE RESIDENCE DURING CONSTRUCTION.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2020 INDIANA RESIDENTIAL CODE AND ALL OTHER APPLICABLE CODES AND REGULATIONS.
3. ONLY WRITTEN DIMENSIONS SHALL BE USED. DO NOT SCALE THE DRAWINGS. DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE BY THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.
4. DIMENSIONS ARE TO FACE OF EXISTING CONSTRUCTION, NEW FRAMING OR MASONRY CONSTRUCTION, UNLESS OTHERWISE NOTED.

## SHEET SCHEDULE

1. A001 - SITE PLAN
2. A100 - BASEMENT FLOOR & ELEC PLAN
3. A101 - FIRST FLOOR & ELEC PLAN
4. A102 - SECOND FLOOR & ELEC PLAN
5. A103 - THIRD FLOOR & ELEC PLAN
6. A104 - ROOF PLAN
7. A201 - EXTERIOR ELEVATIONS
8. A202 - EXTERIOR ELEVATIONS
9. A211 - INTERIOR ELEVATIONS
10. A212 - INTERIOR ELEVATIONS
11. A213 - INTERIOR ELEVATIONS
12. A301 - WALL SECTIONS
13. A302 - WALL SECTIONS
14. A303 - WALL SECTIONS
15. A401 - TYPICAL DETAILS

## DRAINAGE NOTES:

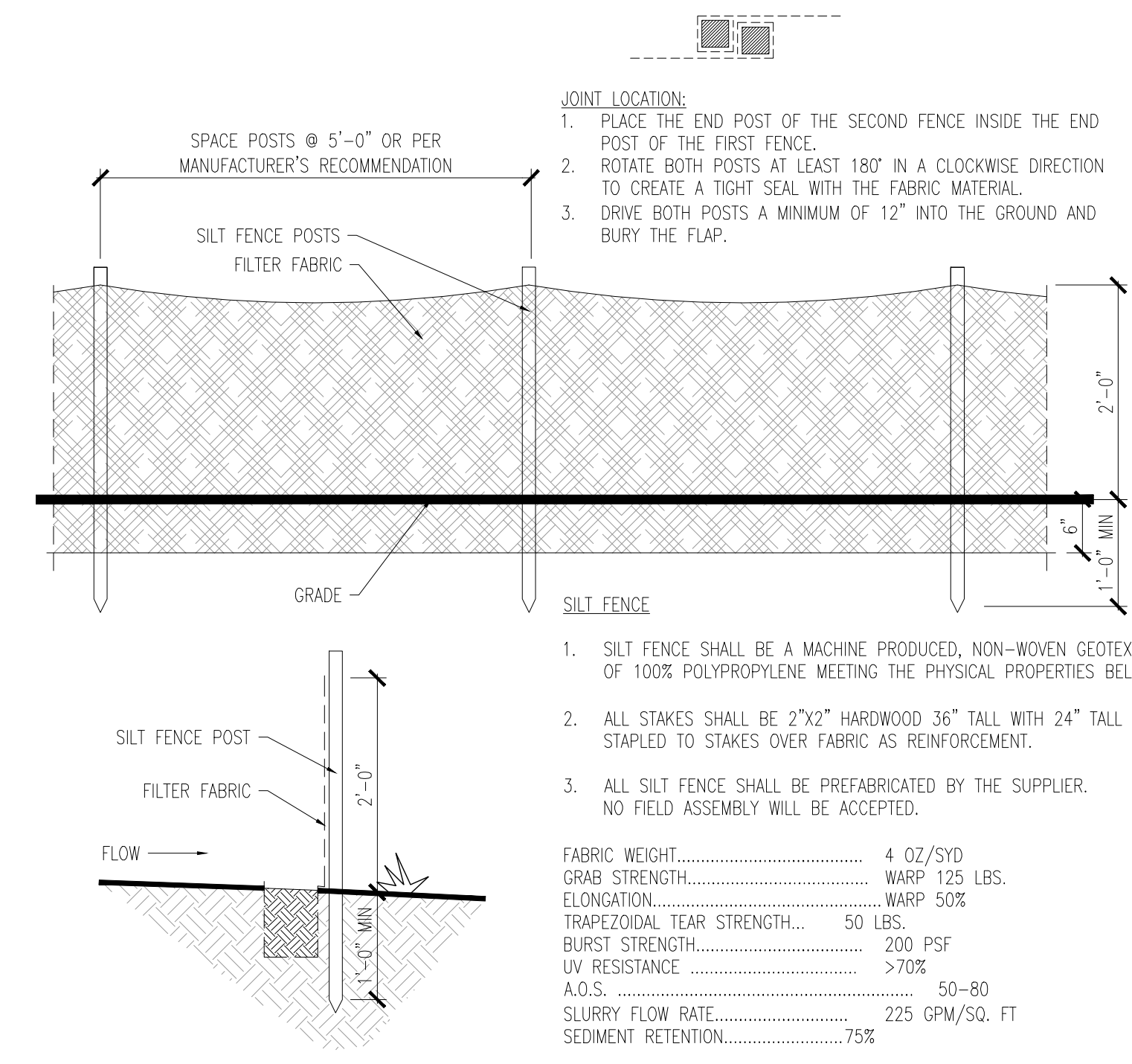
1. CONTRACTOR TO BERM SOIL AROUND FOUNDATION TO CREATE 6" FALL WITHIN 10'-0" OF BUILDING OR TO PROPERTY LINE.
2. SWALES TO BE CUT OR FORMED AS REQUIRED TO PREVENT WATER FROM BEING PUSHED ONTO NEIGHBORING PROPERTIES.
3. WHERE CONCRETE WALLS OR PAVED AREAS ARE PRESENT THEY ARE TO FOLLOW DRAINAGE CONTOURS.

## ABBREVIATIONS:

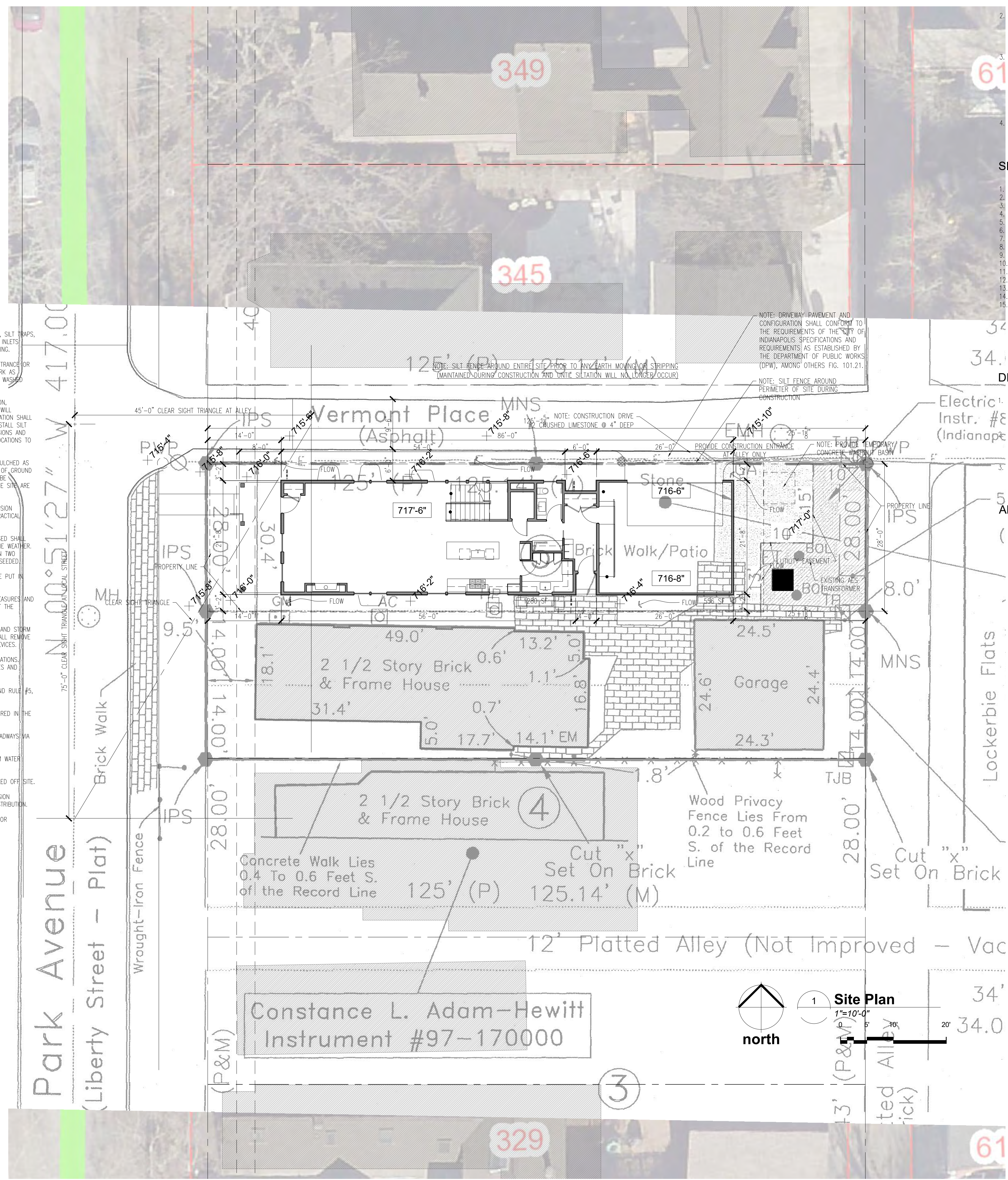
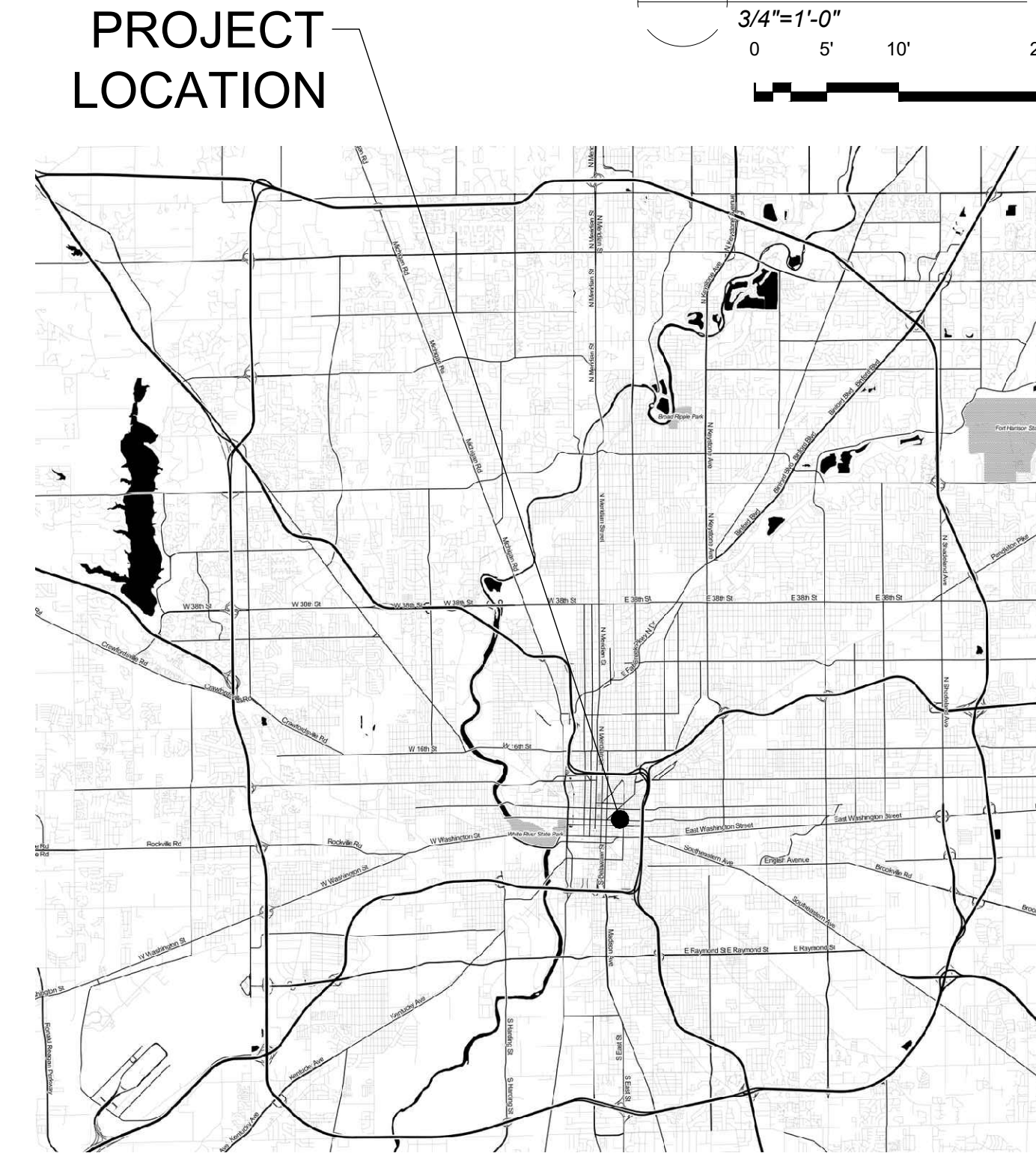
- # - PLUS OR MINUS
- Ø - DIAMETER
- ACT - ACUSTICAL CEILING TILE
- AFF - ABOVE FINISHED FLOOR
- BO - BY OWNER
- CLG - CEILING
- CT - CERAMIC TILE
- C - CENTERLINE
- DIA - DIAMETER
- EA - EACH
- EF - EXHAUST FAN
- EQ - EQUAL
- GC - GENERAL CONTRACTOR
- GYP - GYPSUM WALL BOARD
- HB - HOSE BIB
- LVL - LAMINATED VENEER LUMBER
- MAX - MAXIMUM
- MIN - MINIMUM
- MIR - MIRROR
- NB - NOT IN BID
- OC - ON CENTER
- OHD - OVERHEAD DOOR
- PLAM - PLASTIC LAMINATE
- PTD - PAINTED
- REINF - REINFORCED
- RO - ROUGH OPENING
- S4S - SURFACED FOUR SIDES
- SF - SQUARE FEET
- SIM - SIMILAR
- SS - STAINLESS STEEL
- T&B - TOP AND BOTTOM
- T&G - TONGUE AND GROOVE
- TO - TOP OF
- TYP - TYPICAL
- UNO - UNLESS NOTED OTHERWISE
- VF - VERIFY IN FIELD
- WD - WOOD

## EROSION CONTROL NOTES:

1. CONTRACTOR SHALL INSTALL ALL REQUIRED SILT FENCES, SILT TRAPS, TREE PROTECTION AND INLET PROTECTION FOR EXISTING INLETS PRIOR TO THE START OF ANY EARTH MOVING OR STRIPPING.
2. CONTRACTOR SHALL INSTALL A STONE CONSTRUCTION ENTRANCE OR SOME OTHER DEVICE PRIOR TO THE START OF EARTHWORK AS NECESSARY TO PREVENT SOIL FROM BEING TRACKED OR WASHED INTO EXISTING ROADWAYS.
3. LAND ALTERATIONS WHICH STRIP THE LAND OF VEGETATION, INCLUDING REGRADING, SHALL BE DONE IN A WAY THAT WILL MINIMIZE EROSION. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED. AS GRADING IS DONE, INSTALL SILT TRAPS, SILT FENCES, SLOPE DRAINS, TEMPORARY DIVERSIONS AND OTHER RUNOFF CONTROL MEASURES AT APPROPRIATE LOCATIONS TO KEEP SEDIMENT CONTAINED ON SITE.
4. ALL DISTURBED AREAS SHALL BE SEEDED AND STRAW MULCHED AS SHOWN ON THE PLANS IMMEDIATELY AFTER COMPLETION OF GROUND ACTIVITY. FOR LARGE PROJECTS, THIS SEEDING SHOULD BE COMPLETED IN PHASES AS THE DIFFERENT AREAS OF THE SITE ARE COMPLETED.
5. PERMANENT AND FINAL VEGETATION OR STRUCTURAL EROSION CONTROL DEVICES SHALL BE INSTALLED AS SOON AS PRACTICAL UNDER THE CIRCUMSTANCES.
6. THE DURATION OF TIME WHICH AN AREA REMAINS EXPOSED SHALL BE KEPT TO A PRACTICAL MINIMUM DEPENDING UPON THE WEATHER. IF CONSTRUCTION ACTIVITY IS TO CEASE FOR MORE THAN TWO WEEKS, THE DISTURBED AREAS SHALL BE TEMPORARILY SEEDED.
7. ALL STORM SEWER INLET PROTECTION DEVICES SHALL BE PUT IN PLACE AT THE TIME EACH INLET IS CONSTRUCTED.
8. THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES AND DEVICES DURING CONSTRUCTION AND UNTIL SILTATION OF THE STREETS AND STORM SEWERS WILL NO LONGER OCCUR.
9. ONCE ONSITE EROSION AND SILTATION OF THE STREETS AND STORM SEWERS WILL NO LONGER OCCUR, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE TEMPORARY EROSION CONTROL DEVICES.
10. THESE GENERAL PROCEDURES MAY NOT COVER ALL SITUATIONS. REFER TO EROSION CONTROL PLANS FOR SPECIFIC NOTES AND ADDITIONAL DETAILS.
11. EROSION CONTROL TO COMPLY WITH INDIANA 327 IAC AND RULE #5, AND THE INDIANA STORM WATER QUALITY MANUAL.
12. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED IN THE FIELD BY THE INSPECTOR.
13. DIRT AND DEBRIS SHALL NOT BE TRACKED INTO THE ROADWAYS VIA CONSTRUCTION EQUIPMENT AND PERSONNEL.
14. SILT SOCKS SHALL BE INSTALLED AT ALL NEARBY STORM WATER INLETS.
15. ALL DIRT, DEBRIS, AND RUBBISH GENERATED TO BE HAULED OFF SITE.
16. ANY STOCKPILED SOILS SHALL BE STABILIZED WITH EROSION CONTROL MEASURES TO MINIMIZE RUNOFF AND WIND DISTRIBUTION.
17. CONCRETE WASH OUT BASIN TO BE PROVIDED AT SITE FOR CONCRETE PAVING AND RELATED CONSTRUCTION.



2 Silt Fence Detail  
 3/4" = 1'-0"



1 Site Plan  
 1" = 10'-0"

**Johnson Hill Residence**  
 341 North Park Avenue, Indianapolis IN  
**DemerlyArchitects**  
 ARCHITECTURE / INTERIORS / PLANNING  
 6500 Westfield Blvd., Indianapolis, IN 46220  
 Tel: 317.895.2811  
 Fax: 317.895.2811  
 E-mail: info@demerlyarchitects.com

**NOT FOR CONSTRUCTION**  
 Date: 08.02.23  
 Revise:

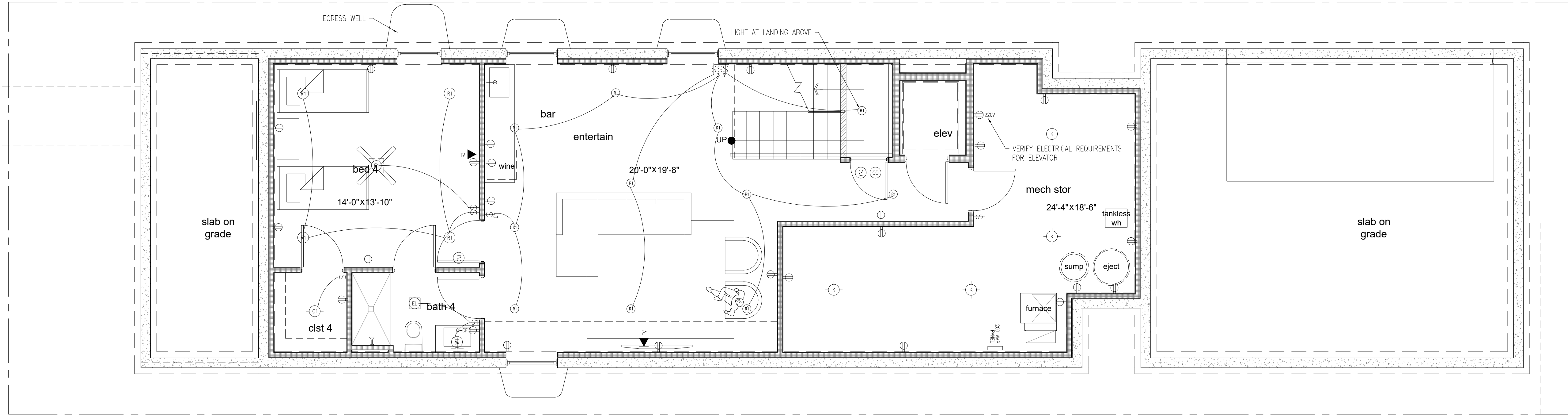
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 Cover Sheet

**A001**  
 Sheet: 1 of 15



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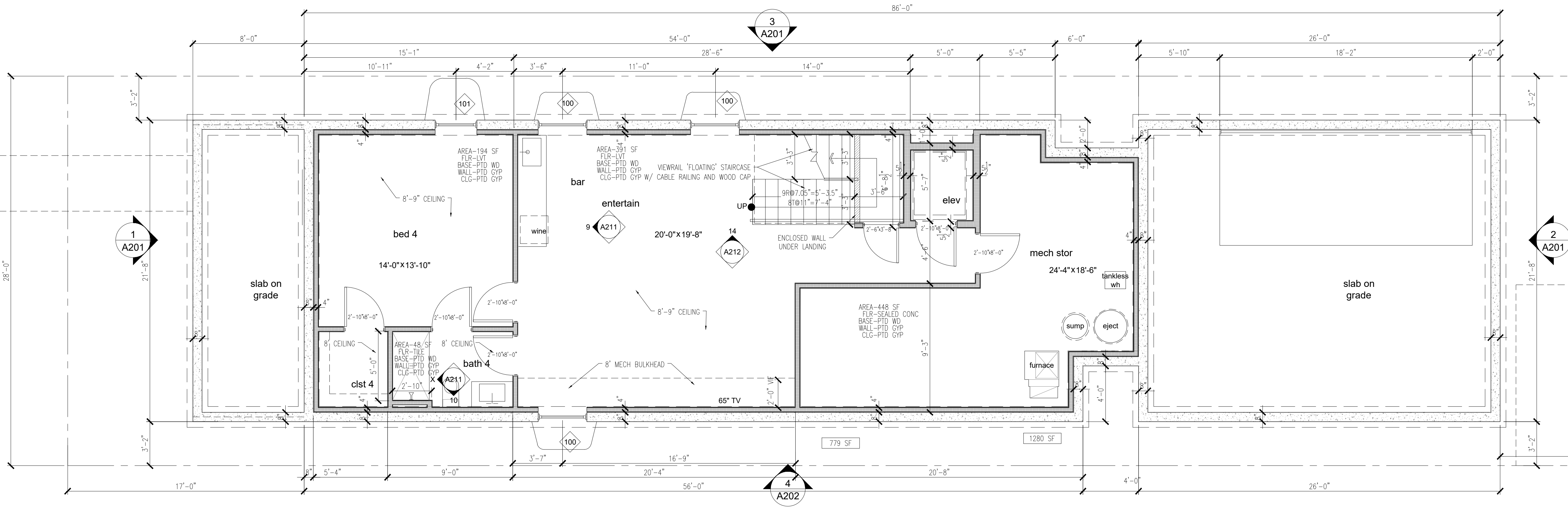


**ELECTRICAL LEGEND:**

ALL ELECTRICAL DEVICES TO BE WHITE DECORA STYLE. DIMMERS ARE TO BE DECORA STYLE SWITCH W/ SLIDING EDGE DIMMER.

- WALL SWITCH @ 42" AFF
- WALL SWITCH @ SPECIFIED HEIGHT
- WALL SWITCH W/ DIMMER
- 3-WAY WALL SWITCH
- DOOR HINGE SWITCH
- DUPLEX OUTLET
- OUTLET @ SPECIFIED HEIGHT
- WATERPROOF EXTERIOR OUTLET
- OUTLET @ 8" ABOVE COUNTERTOP
- GFI OUTLET
- FLOOR OUTLET
- QUAD OUTLET
- 220V OUTLET
- (1)CAT6 & (1)RG-6 COAX
- 4" LED RECESSED JUNO PODZ JPD24-DC-WHITE TRIM ROUND
- 4" LED RECESSED ADJUSTABLE JUNO WF4ADJ WHITE TRIM ROUND
- DECORATIVE CEILING LIGHT SELECTED BY OWNER TYPE 'C1'
- DECORATIVE PENDANT LIGHT SELECTED BY OWNER TYPE 'P1'
- KEYLESS LIGHT FIXTURE
- WALL SCONCE LIGHT SELECTED BY OWNER TYPE 'W1'
- LED STRIP LIGHTS
- UNDERCABINET STRIP LIGHTS
- STEP LIGHT W/AC WL-LED201 WHITE
- FLOOD LIGHT FIXTURE
- CEILING FAN SELECTED BY OWNER
- BATHROOM FAN/LIGHT - PANASONIC WHISPER RECESSED FV-08V9Z
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- ELECTRICAL METER
- 200 AMP ELECTRICAL PANEL
- DISCONNECT SWITCH

**Basement Electrical Plan**  
 1/4"=1'-0"  
 0 2' 4' 8'



WINDOW SCHEDULE			
MARK	QTY	NOMINAL SIZE	PRODUCT
		W H	
01	1	3'-0" 8'-0"	FIBERGLASS
02	1	3'-0" 8'-0"	FIBERGLASS
100	3	3'-0" 2'-6"	AWNING
101	1	2'-6" 5'-6"	CASEMENT
102	2	2'-6" 2'-6"	AWNING
103	2	3'-6" 2'-0"	AWNING
104	4	3'-0" 3'-0"	AWNING
105	19	3'-6" 3'-6"	AWNING
106	2	2'-6" 4'-6"	CASEMENT
107	2	2'-6" 5'-6"	CASEMENT
108	7	3'-0" 5'-6"	CASEMENT

ALL WINDOWS ARE JELDWEN CLAD UNITS WITH LOW-E INSULATED GLASS, EXTERIOR CLADDING, AND FOLDING HARDWARE FOR CASEMENTS. SEE EXTERIOR ELEVATIONS FOR OPERATION OF UNITS.

**Basement Floor Plan**  
 1/4"=1'-0"  
 0 2' 4' 8'

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 Fax: 317.895.2811  
 Email: mark@demerlyarchitects.com

**NOT FOR CONSTRUCTION**  
 Date: 08.02.23  
 Revise:  
 Scale: 1/4"=1'-0"  
 Basement Floor Plan

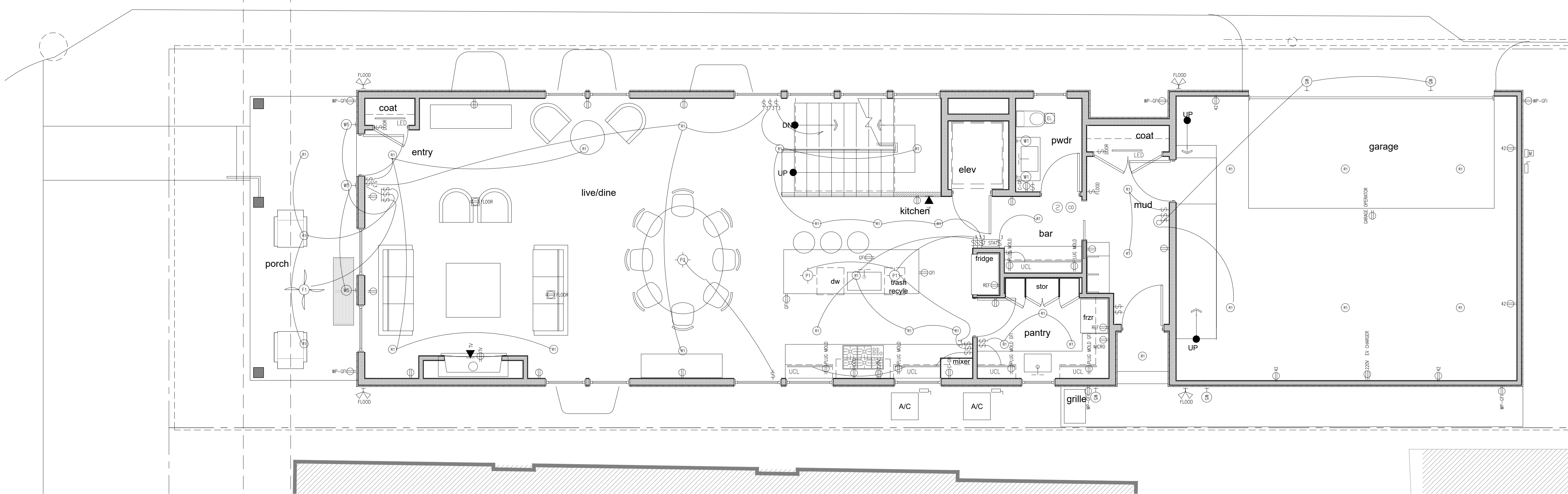


**GENERAL NOTES:**

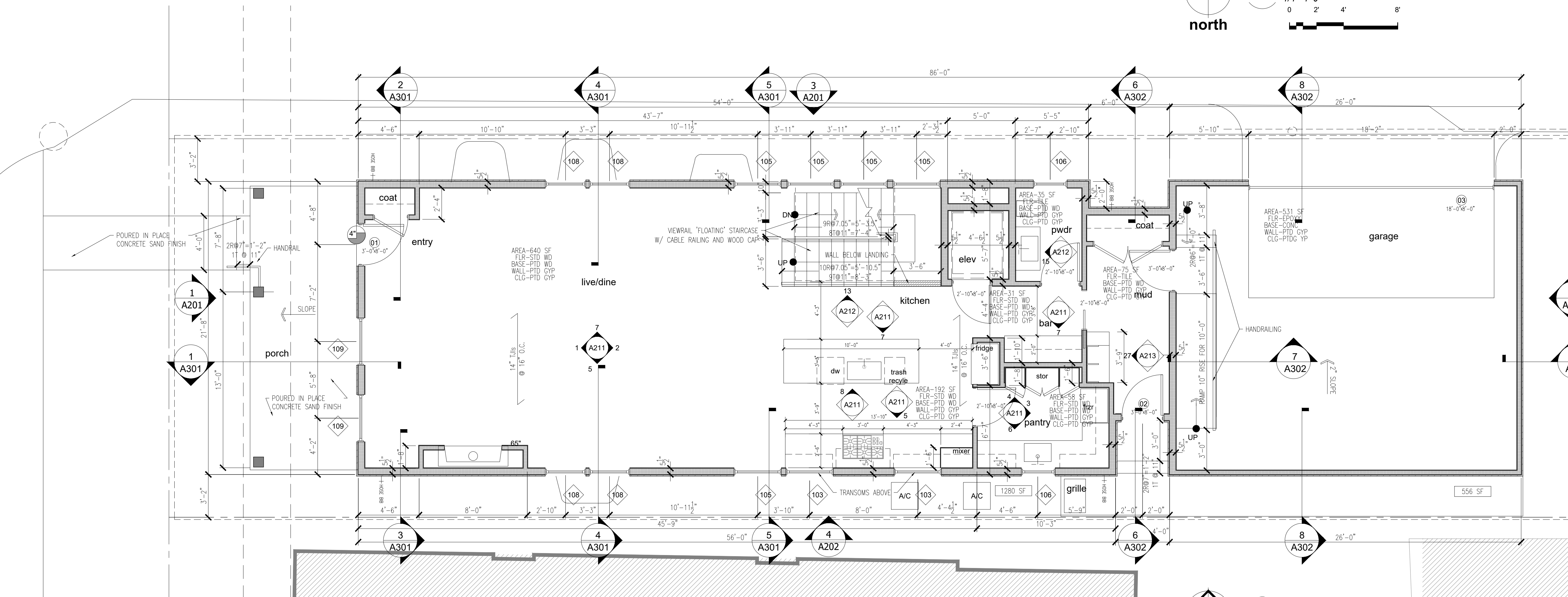
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  - UNDERCABINET STRIP LIGHTS
  - STEP LIGHT W/AC WL-LED201 WHITE
  - FLOOD LIGHT FIXTURE
  - CEILING FAN SELECTED BY OWNER
  - BATHROOM FAN/LIGHT - PANASONIC WHISPER RECESSED FV-08VREZ
  - SMOKE DETECTOR
  - CARBON MONOXIDE DETECTOR
  - ELECTRICAL METER
  - 200 AMP ELECTRICAL PANEL
  - DISCONNECT SWITCH



**1E First Floor Electrical Plan**  
1/4"=1'-0"  
0 2' 4' 8'



**1 First Floor Plan**  
1/4"=1'-0"  
0 2' 4' 8'

**WINDOW SCHEDULE**

MARK	QTY	NOMINAL SIZE	PRODUCT
		W H	
01	1	3'-0" 8'-0"	FIBERGLASS
02	1	3'-0" 8'-0"	FIBERGLASS
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104	4	3'-0" 3'-0"	AWNING
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107	2	2'-6" 5'-6"	CASEMENT
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ALL WINDOWS ARE JELDOWEN CLAD UNITS WITH LOW-E INSULATED GLASS, EXTERIOR CLADDING, AND FOLDING HARDWARE FOR CASEMENTS. (SEE EXTERIOR ELEVATIONS FOR OPERATION OF UNITS.)

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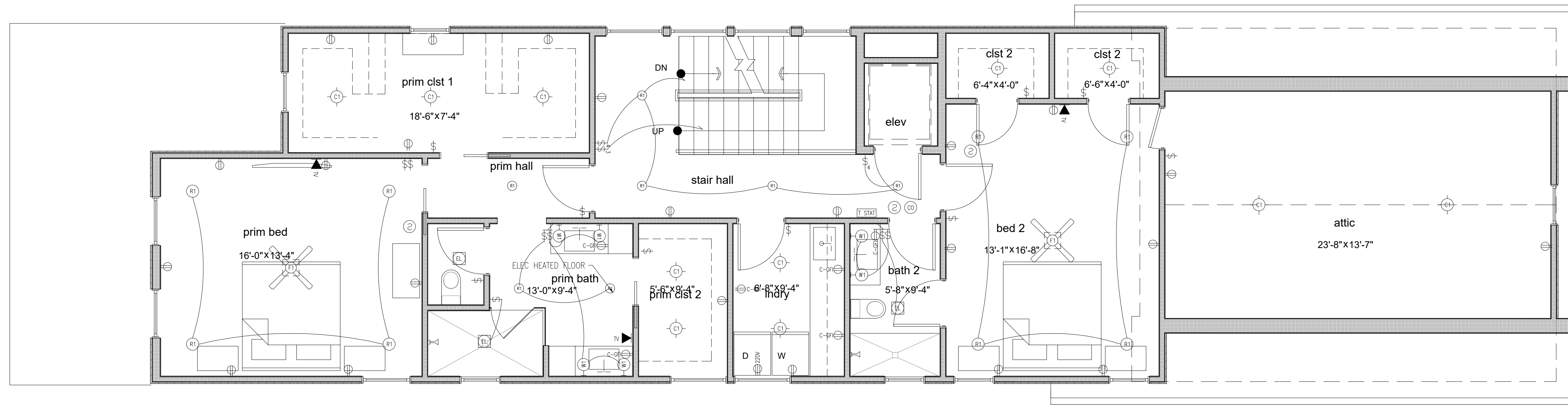
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Date: 08.02.23  
Revise:

Scale: 1/4"=1'-0"  
First Floor Plan



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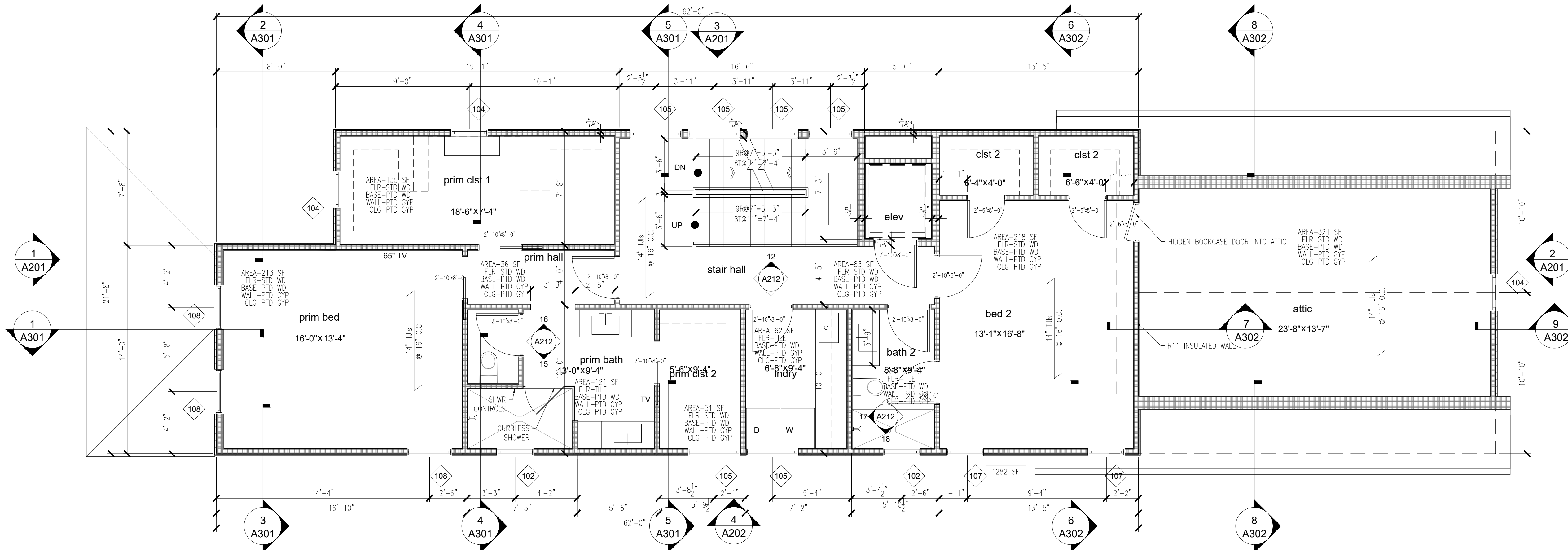


**2E Second Floor Electrical Plan**  
 1/4"=1'-0"  
 0 2' 4' 8'

**ELECTRICAL LEGEND:**

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- WALL SWITCH @ 42" AFF
- WALL SWITCH @ SPECIFIED HEIGHT
- WALL SWITCH W/ DIMMER
- 3-WAY WALL SWITCH
- DOOR HINGE SWITCH
- DUPLEX OUTLET
- OUTLET @ SPECIFIED HEIGHT
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WINDOW SCHEDULE					
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105	19	3'-6"	3'-6"		AWNING
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107	2	2'-6"	5'-6"		CASEMENT
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**2 Second Floor Plan**  
 1/4"=1'-0"  
 0 2' 4' 8'

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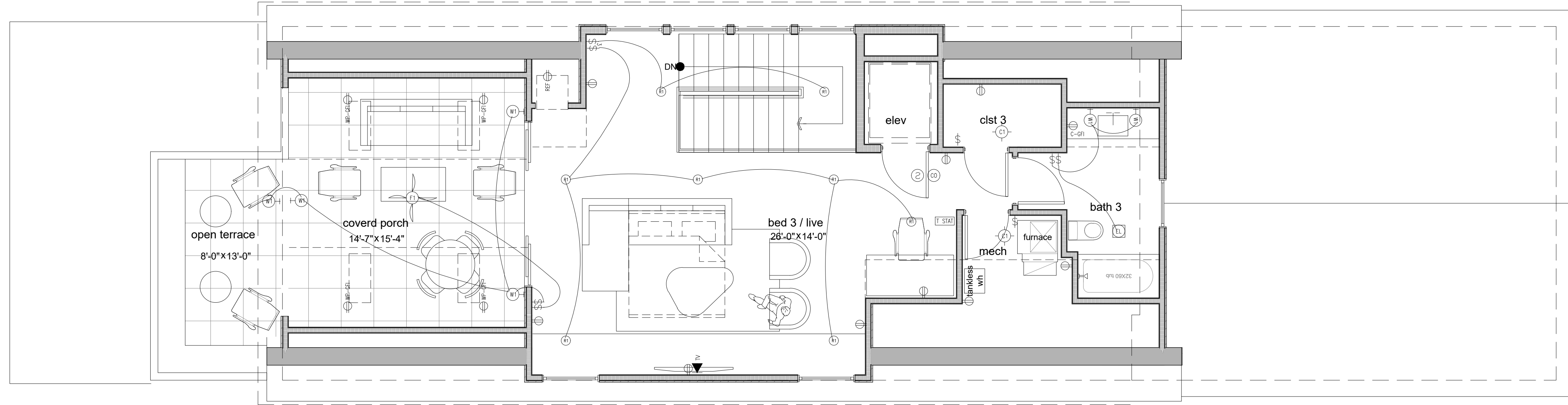
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 Revise:

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 Second Floor Plan



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**3E Third Floor Electrical Plan**  
 1/4"=1'-0"  
 0 2' 4' 8'

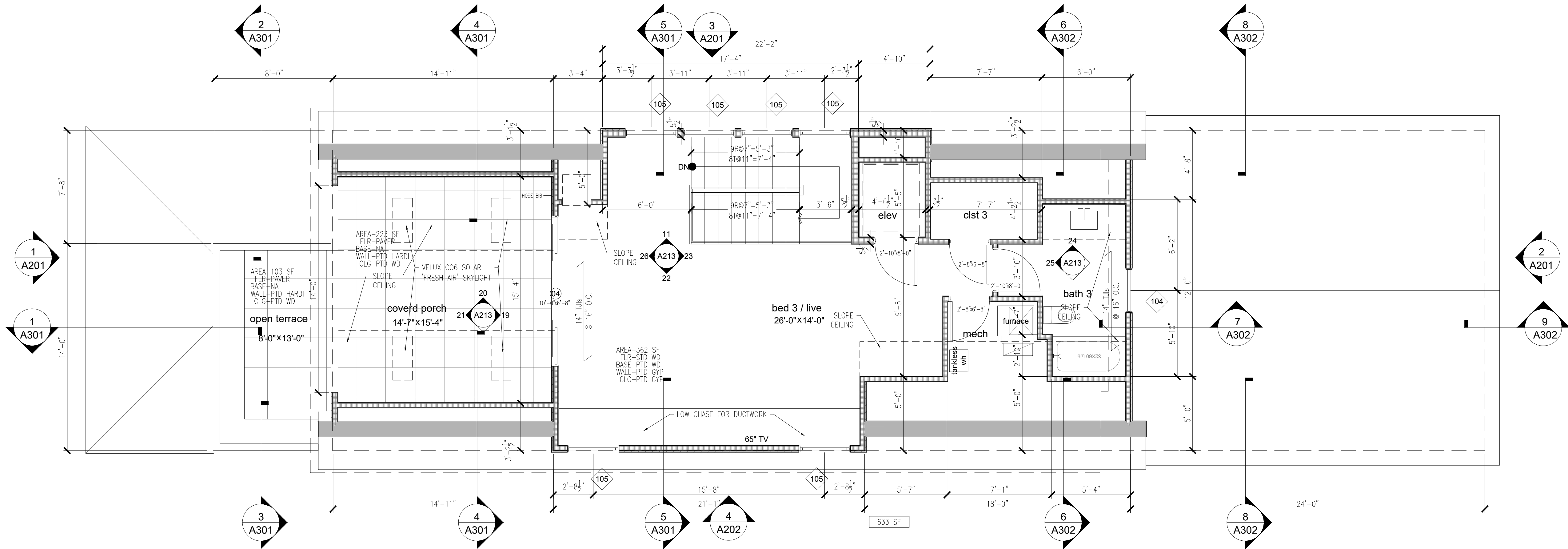
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- STEP LIGHT WAC WL-LED201 WHITE
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103	2	3'-6" x 2'-0"	AWNING
104	4	3'-0" x 3'-0"	AWNING
105	19	3'-6" x 3'-6"	AWNING
106	2	2'-6" x 4'-6"	CASEMENT
107	2	2'-6" x 5'-6"	CASEMENT
108	7	3'-0" x 5'-6"	CASEMENT

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**3 Third Floor Plan**  
 1/4"=1'-0"  
 0 2' 4' 8'

**Johnson Hill Residence**  
 341 North Park Avenue, Indianapolis IN  
**DemerlyArchitects**  
 ARCHITECTURE / INTERIORS / PLANNING  
 6500 Westfield Blvd., Indianapolis, IN 46220  
 Tel: 317.885.2811  
 Fax: 317.885.2811  
 Email: mark@demerlyarchitects.com

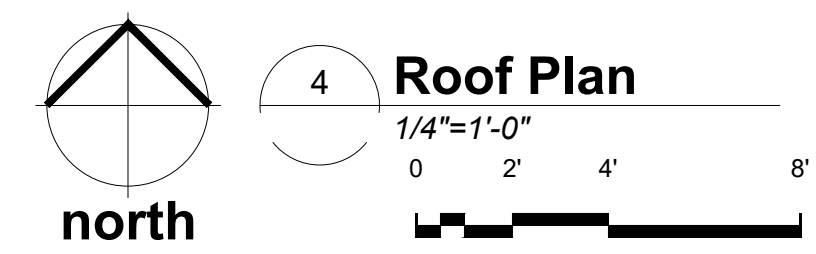
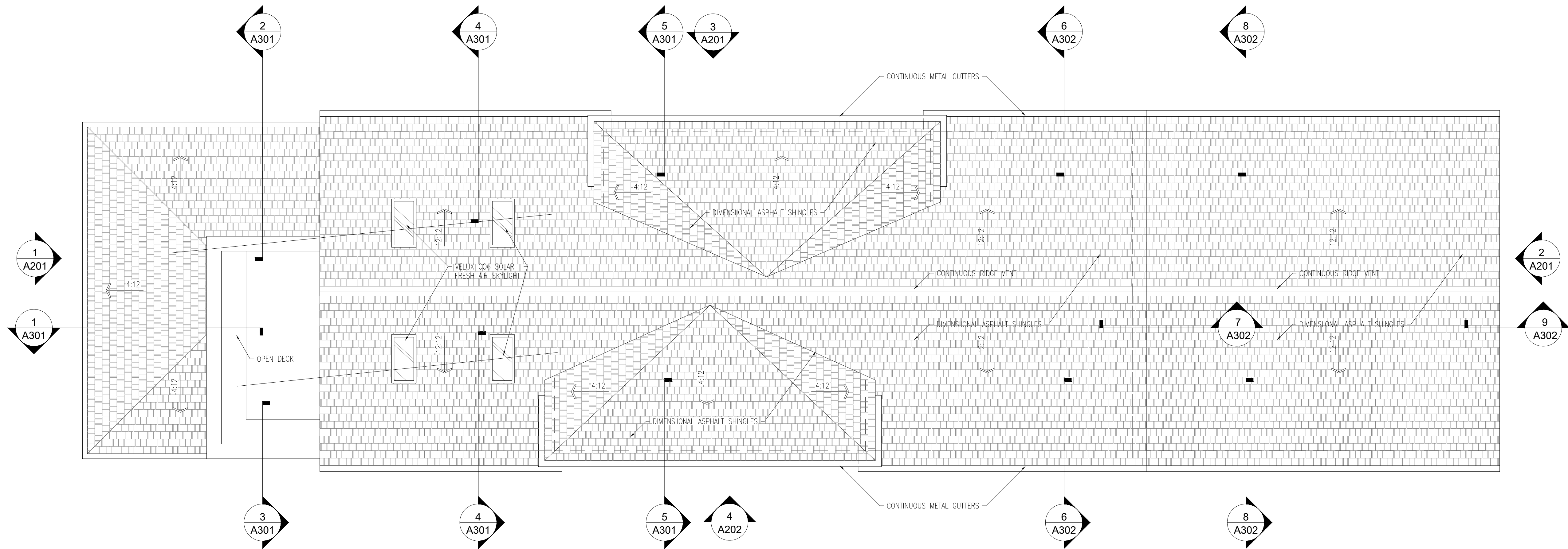
**NOT FOR CONSTRUCTION**  
 Date: 08.02.23  
 Revise:

Scale: 1/4"=1'-0"  
 Third Floor Plan



**GENERAL NOTES:**

1. THE OWNER WILL NOT BE OCCUPYING THE RESIDENCE DURING CONSTRUCTION.
2. ALL WORK SHALL BE DONE IN ACCORDANCE TO WITH THE 2020 INDIANA RESIDENTIAL CODE AND ALL OTHER APPLICABLE CODES AND REGULATIONS.
3. ONLY WRITTEN DIMENSIONS SHALL BE USED. DO NOT SCALE THE DRAWINGS. DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE BY THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.
4. DIMENSIONS ARE TO FACE OF EXISTING CONSTRUCTION, NEW FRAMING OR MASONRY CONSTRUCTION, UNLESS OTHERWISE NOTED.



**4 Roof Plan**  
1/4"=1'-0"

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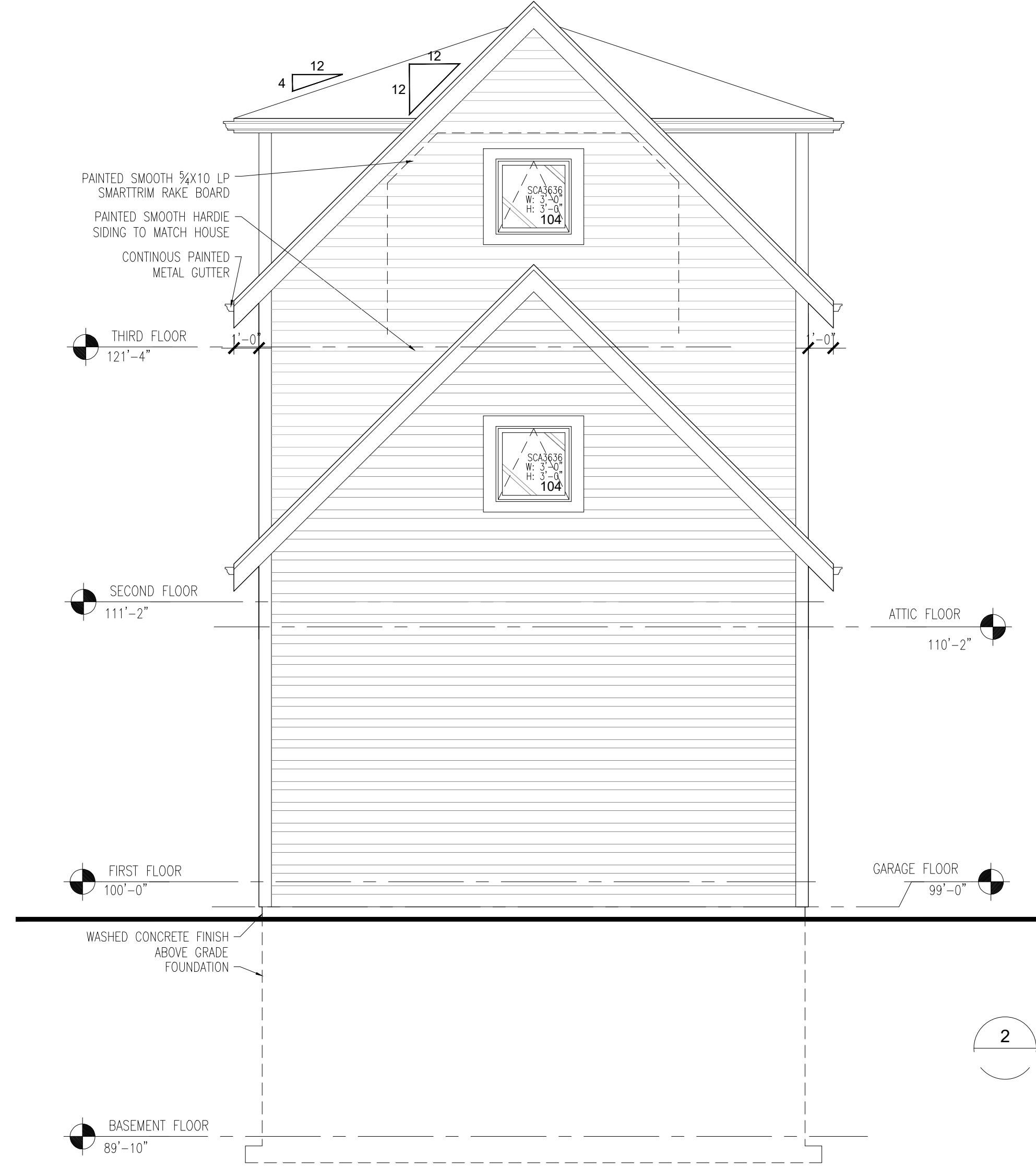
**NOT FOR CONSTRUCTION**  
Date: 08.02.23  
Revise:

Scale: 1/4"=1'-0"

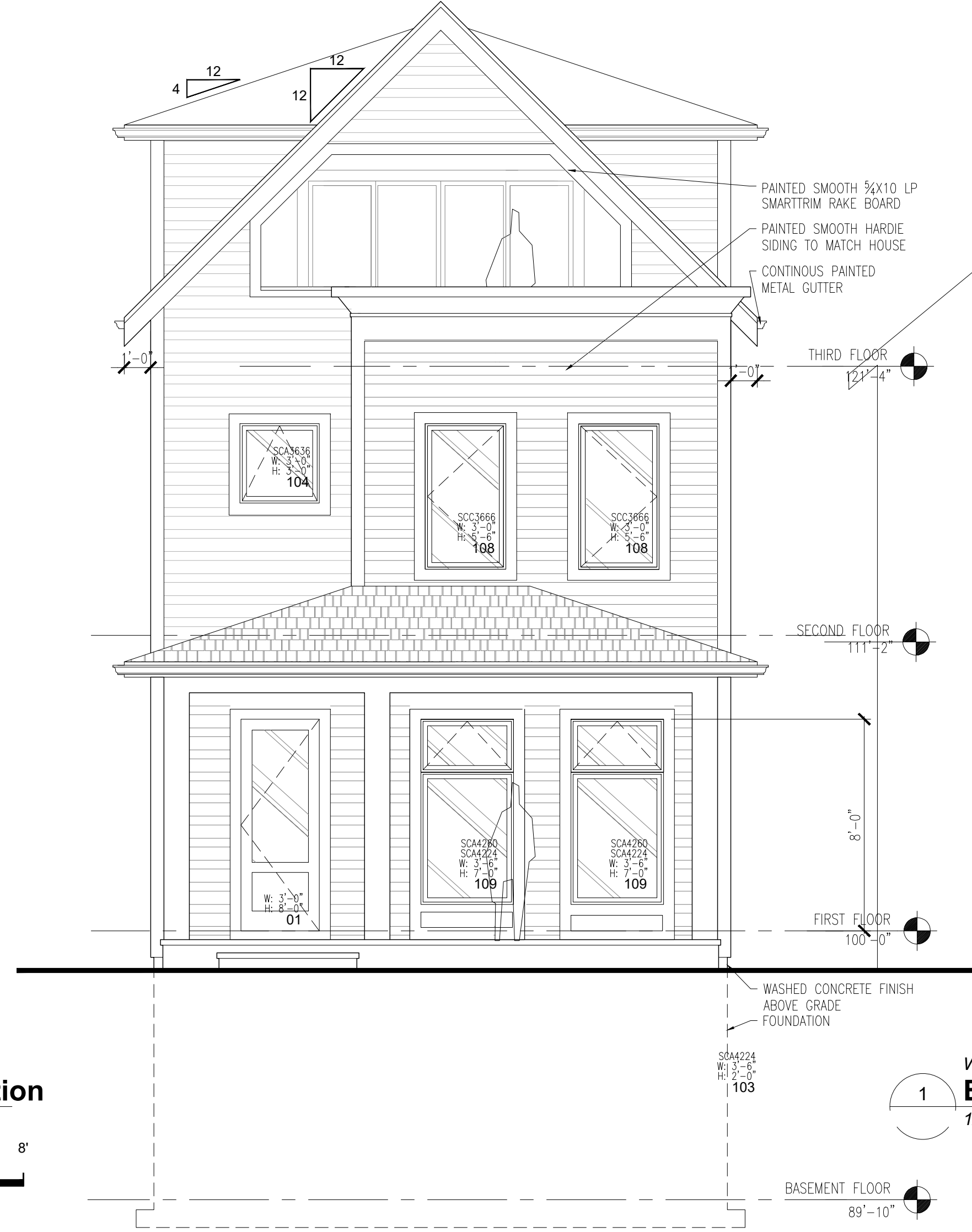
Roof Plan

**A104**  
Sheet: 5 of 15





East  
2  
Exterior Elevation  
1/4"=1'-0"  
0 2' 4' 8'



West  
1  
Exterior Elevation  
1/4"=1'-0"  
0 2' 4' 8'

**GENERAL NOTES:**

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4. DIMENSIONS ARE TO FACE OF EXISTING CONSTRUCTION, NEW FRAMING OR MASONRY CONSTRUCTION, UNLESS OTHERWISE NOTED.

WINDOW SCHEDULE				
MARK	QTY	NOMINAL SIZE		PRODUCT
		W	H	
01	1	3'-0"	8'-0"	FIBERGLASS
02	1	3'-0"	8'-0"	FIBERGLASS
100	3	3'-0"	2'-6"	AWNING
101	1	2'-6"	5'-6"	CASEMENT
102	2	2'-6"	2'-6"	AWNING
103	2	3'-6"	2'-0"	AWNING
104	4	3'-0"	3'-0"	AWNING
105	19	3'-6"	3'-6"	AWNING
106	2	2'-6"	4'-6"	CASEMENT
107	2	2'-6"	5'-6"	CASEMENT
108	7	3'-0"	5'-6"	CASEMENT

ALL WINDOWS ARE JELDOWEN CLAD UNITS WITH LOW-E INSULATED GLASS, EXTERIOR CLADDING, AND FOLDING HARDWARE FOR CASEMENTS. SEE EXTERIOR ELEVATIONS FOR OPERATION OF UNITS.



North  
3  
Exterior Elevation  
1/4"=1'-0"  
0 2' 4' 8'

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**NOT FOR CONSTRUCTION**  
Date: 08.02.23  
Revise:

Scale: 1/4"=1'-0"  
Exterior Elevations

**A201**  
Sheet: 7 of 15



**GENERAL NOTES:**

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4. DIMENSIONS ARE TO FACE OF EXISTING CONSTRUCTION, NEW FRAMING OR MASONRY CONSTRUCTION, UNLESS OTHERWISE NOTED.

WINDOW SCHEDULE				
MARK	QTY	NOMINAL SIZE		PRODUCT
		W	H	
01	1	3'-0"	8'-0"	FIBERGLASS
02	1	3'-0"	8'-0"	FIBERGLASS
100	3	3'-0"	2'-6"	AWNING
101	1	2'-6"	5'-6"	CASEMENT
102	2	2'-6"	2'-6"	AWNING
103	2	3'-6"	2'-0"	AWNING
104	4	3'-0"	3'-0"	AWNING
105	19	3'-6"	3'-6"	AWNING
106	2	2'-6"	4'-6"	CASEMENT
107	2	2'-6"	5'-6"	CASEMENT
108	7	3'-0"	5'-6"	CASEMENT

ALL WINDOWS ARE JELDOWEN CLAD UNITS WITH LOW-E INSULATED GLASS, EXTERIOR CLADDING, AND FOLDING HARDWARE FOR CASEMENTS. SEE EXTERIOR ELEVATIONS FOR OPERATION OF UNITS.



South  
4  
Exterior Elevation  
1/4"=1'-0"  
0 2' 4' 8'

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**NOT FOR CONSTRUCTION**  
Date: 08.02.23  
Revise:  
Scale: 1/4"=1'-0"  
Exterior Elevations

**A202**  
Sheet: 8 of 15



















