

**2022-COA-170 (RP)**

**806-826 DR. MARTIN**

**LUTHER KING, JR. STREET**

# ST CLAIR APARTMENTS NEW CONSTRUCTION

12-07-2022



PROJECT LOCATION:  
806-826 DR MARTIN LUTHER KING JR STREET  
INDIANAPOLIS, IN 46202



1 VICINITY MAP  
NOT TO SCALE

JR STREET

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NOVEMBER 21, 2022

INDIANAPOLIS HISTORIC  
PRESERVATION COMMISSION

ST CLAIR APARTME  
NEW CONSTRUCTIO  
806 - 826 DR. MART  
INDIANAPOLIS, IN

NOT FOR CONSTRUCTION

REVISIONS:	#	DATE	DESC.

SET STATUS

PROJECT: #22110  
DATE: 12-07-2022  
DRAWN BY: Author

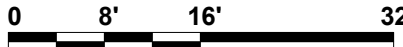
COVER

T001



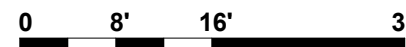
**1** MLK SITE ELEVATION

SCALE: 1/16" = 1'-0"



**2** ST CLAIR SITE ELEVATION

SCALE: 1/16" = 1'-0"



**RECEIVED**

**NOVEMBER 21, 2022**

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PRESERVATION COMMISSION

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NEW CONSTRUCTIO  
806 - 826 DR. MART  
INDIANAPOLIS, IN

NOT FOR CONSTRUCTION

REVISIONS:	
#	Date

SET STATUS	
PROJECT:	#22110
DATE:	08-23-2022
DRAWN BY:	Author

EXTERIOR  
ELEVATIONS

A201



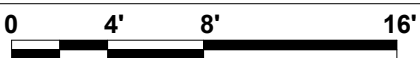
4 SIDE SETBACK ELEVATION  
SCALE: 1/8" = 1'-0"



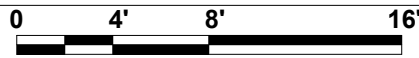
3 ST CLAIR ELEVATION  
SCALE: 1/8" = 1'-0"



2 BACK ALLEY ELEVATION  
SCALE: 1/8" = 1'-0"



1 MLK ELEVATION  
SCALE: 1/8" = 1'-0"





**1 EAST INTERIOR ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 QUAD SIDE ELEVATION 2**  
SCALE: 1/8" = 1'-0"



**2 QUAD SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**4 QUAD AND DUPLEX SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**2** INTERIOR WEST ELEVATION  
SCALE: 1/8" = 1'-0"



**1** NORTH INTERIOR ELEVATION  
SCALE: 1/8" = 1'-0"





**2** PERSPECTIVE 2  
NOT TO SCALE



**1** PERSPECTIVE 1  
NOT TO SCALE

**BEEBE DESIGN**

220 N. COLLEGE AVE  
INDIANAPOLIS, IN 46202

3 JR STREET

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**NOVEMBER 21, 2022**

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ST CLAIR APARTMENT  
NEW CONSTRUCTION  
806 - 826 DR. MARTIN  
INDIANAPOLIS, IN

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REVISIONS:	#	Date	Desc.

SET STATUS

PROJECT:	#22110
DATE:	08-23-2022
DRAWN BY:	Author

3D  
VISUALIZATION

A301



**1** PERSPECTIVE 3  
NOT TO SCALE

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ST CLAIR APARTME  
NEW CONSTRUCTIO  
806 - 826 DR. MART  
INDIANAPOLIS, IN

NOT FOR CONSTRUCTION

REVISIONS:		
#	Date	Desc.

SET STATUS

PROJECT: #22110
DATE: 08-23-2022
DRAWN BY: Author

3D  
VISUALIZATION

A302

PLOT DATE/TIME: 11/17/2022 1:58:51 PM



**1** PERSPECTIVE 4  
NOT TO SCALE

**BEEBE DESIGN**

220 N. COLLEGE AVE  
INDIANAPOLIS, IN 46202

JR STREET

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**NOVEMBER 21, 2022**

INDIANAPOLIS HISTORIC  
PRESERVATION COMMISSION

ST CLAIR APARTME  
NEW CONSTRUCTIO  
806 - 826 DR. MARTI  
INDIANAPOLIS, IN

NOT FOR CONSTRUCTION

#	Date	Desc.

SET STATUS

PROJECT: #22110
DATE: 08-23-2022
DRAWN BY: Author

3D  
VISUALIZATION

A303



**2** PERSPECTIVE 6  
NOT TO SCALE



**1** PERSPECTIVE 5  
NOT TO SCALE

**BEEBE DESIGN**

220 N. COLLEGE AVE  
INDIANAPOLIS, IN 46202

JR STREET

**RECEIVED**

**NOVEMBER 21, 2022**

INDIANAPOLIS HISTORIC  
PRESERVATION COMMISSION

ST CLAIR APARTME  
NEW CONSTRUCTIO  
806 - 826 DR. MART  
INDIANAPOLIS, IN

NOT FOR CONSTRUCTION

REVISIONS:			Dir.
#	Date		

SET STATUS

PROJECT:	#22110
DATE:	08-22-2022
DRAWN BY:	Author

3D  
VISUALIZATION

A304



2 MEMORIAL PERSPECTIVE 2  
NOT TO SCALE



1 MEMORIAL PERSPECTIVE 1  
NOT TO SCALE

BEEBE DESIGN

220 N. COLLEGE AVE  
INDIANAPOLIS, IN 46202

JR STREET

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NOVEMBER 21, 2022

INDIANAPOLIS HISTORIC  
PRESERVATION COMMISSION

ST CLAIR APARTME  
NEW CONSTRUCTIO  
806 - 826 DR. MART  
INDIANAPOLIS, IN

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REVISIONS:	#	Date	Desc.

SET STATUS

PROJECT: #22110  
DATE: 08-23-2022  
DRAWN BY: Author

MEMORIAL  
VIEWS

A305



2 MEMORIAL PERSPECTIVE 4  
NOT TO SCALE



1 MEMORIAL PERSPECTIVE 3  
NOT TO SCALE

BEEBE DESIGN

220 N. COLLEGE AVE  
INDIANAPOLIS, IN 46202

JR STREET

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PRESERVATION COMMISSION

ST CLAIR APARTME  
NEW CONSTRUCTIO  
806 - 826 DR. MARTI  
INDIANAPOLIS, IN

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REVISIONS:	#	Date	Desc.

SET STATUS

PROJECT:	#22110
DATE:	08-23-2022
DRAWN BY:	Author

MEMORIAL  
VIEWS

A306

Project

ST. CLAIR  
APARTMENTS

806-826 Dr. Martin  
Luther King Jr. St.  
Indianapolis, IN 46202

August 19, 2022

Team

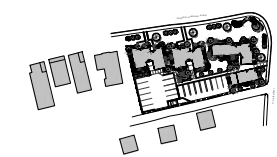
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301 E. Canal Dr.  
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reedeverett.com  
(317) 564-4781

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NOVEMBER 21, 2022

INDIANAPOLIS HISTORIC  
PRESERVATION COMMISSION

Key Plan



1:300

0 10 15

Graphic Scale 1" = 10'-0"  
Sheet Size 24"x36"

Drawn  
CB SILK

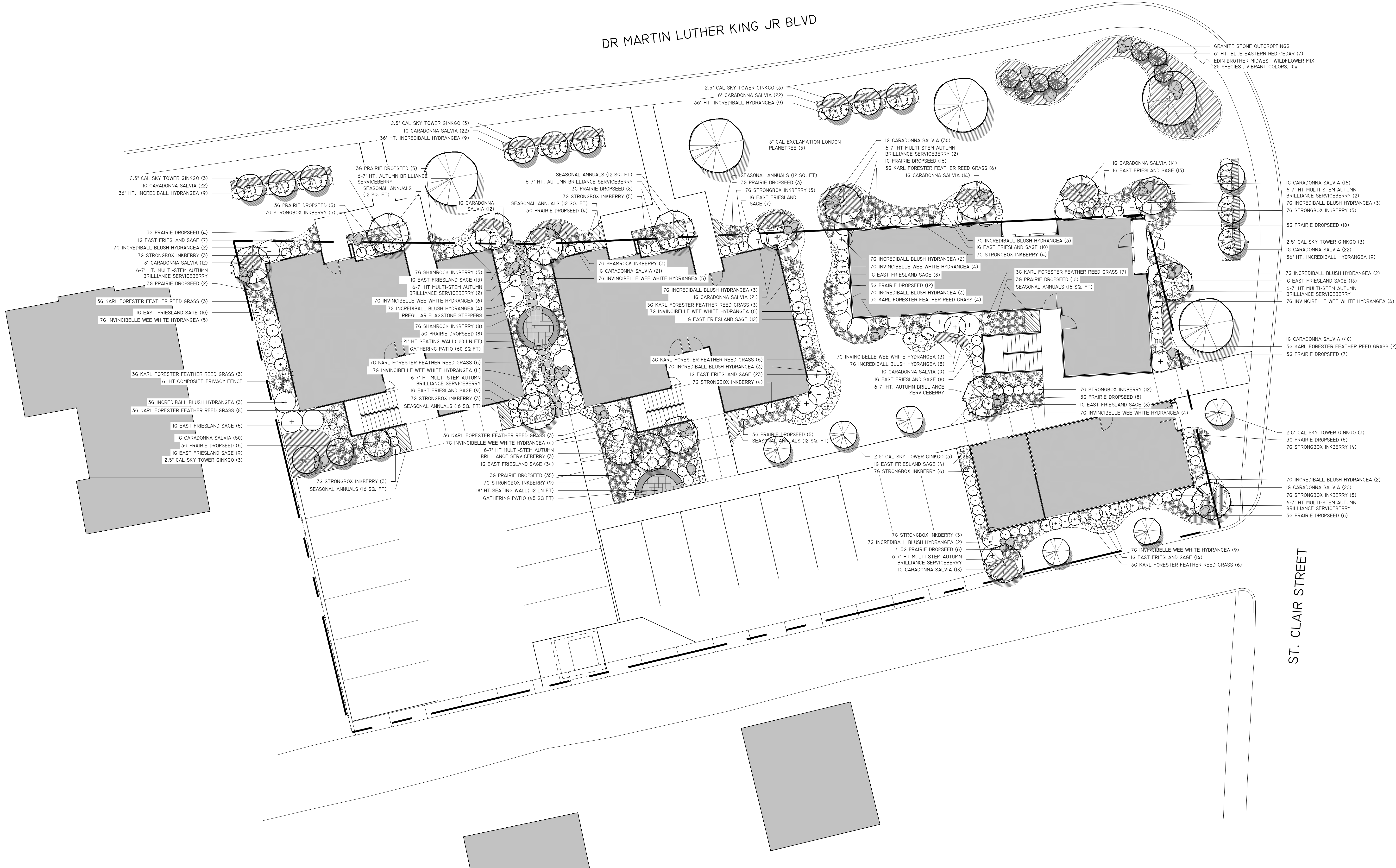
Revision


SCHEMATIC PLAN

SHEET 1 OF 1

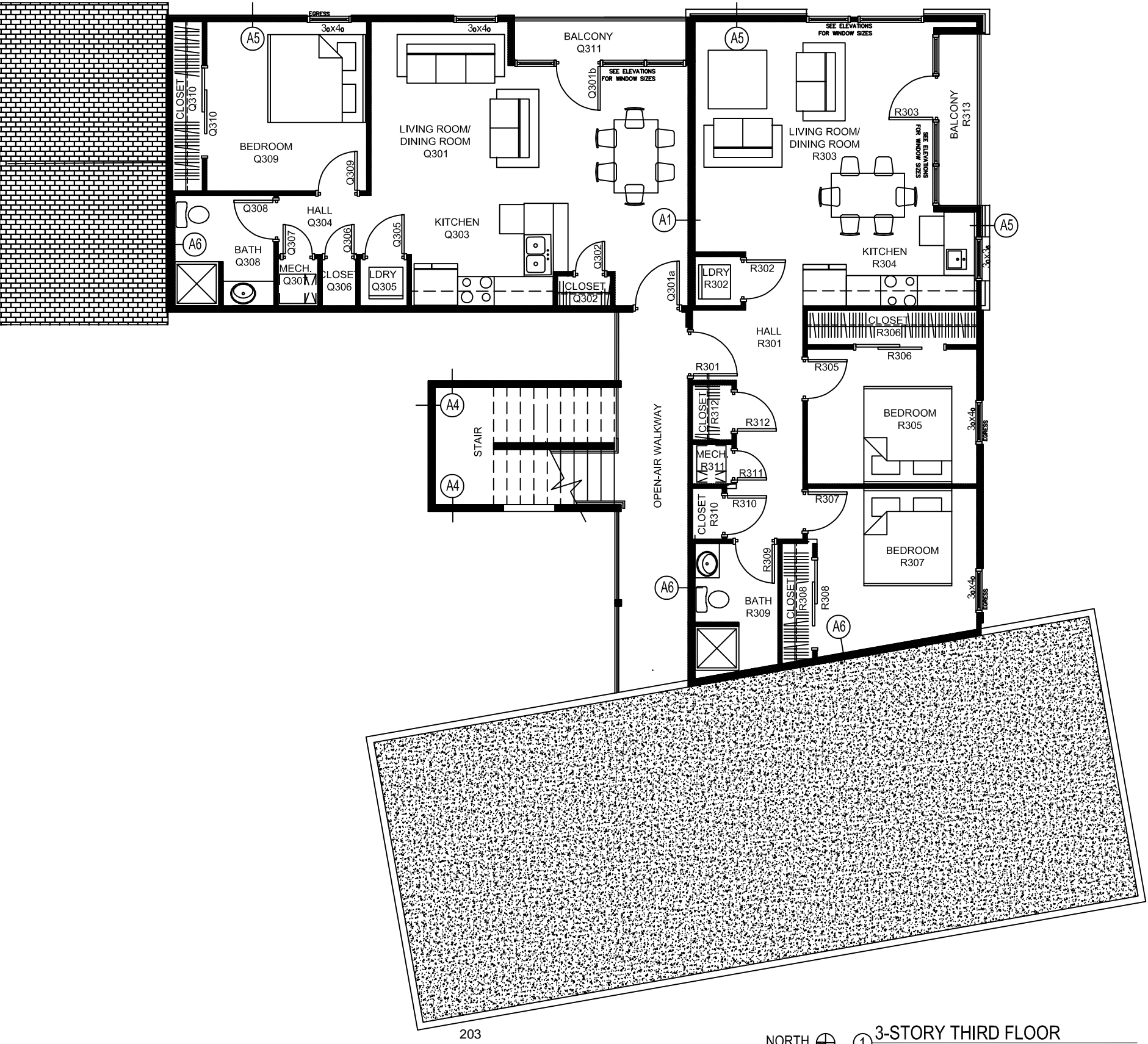
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NEW CONSTRUCTION  
806-826 DR MARTIN LUTHER KING JR STREET  
INDIANAPOLIS, IN

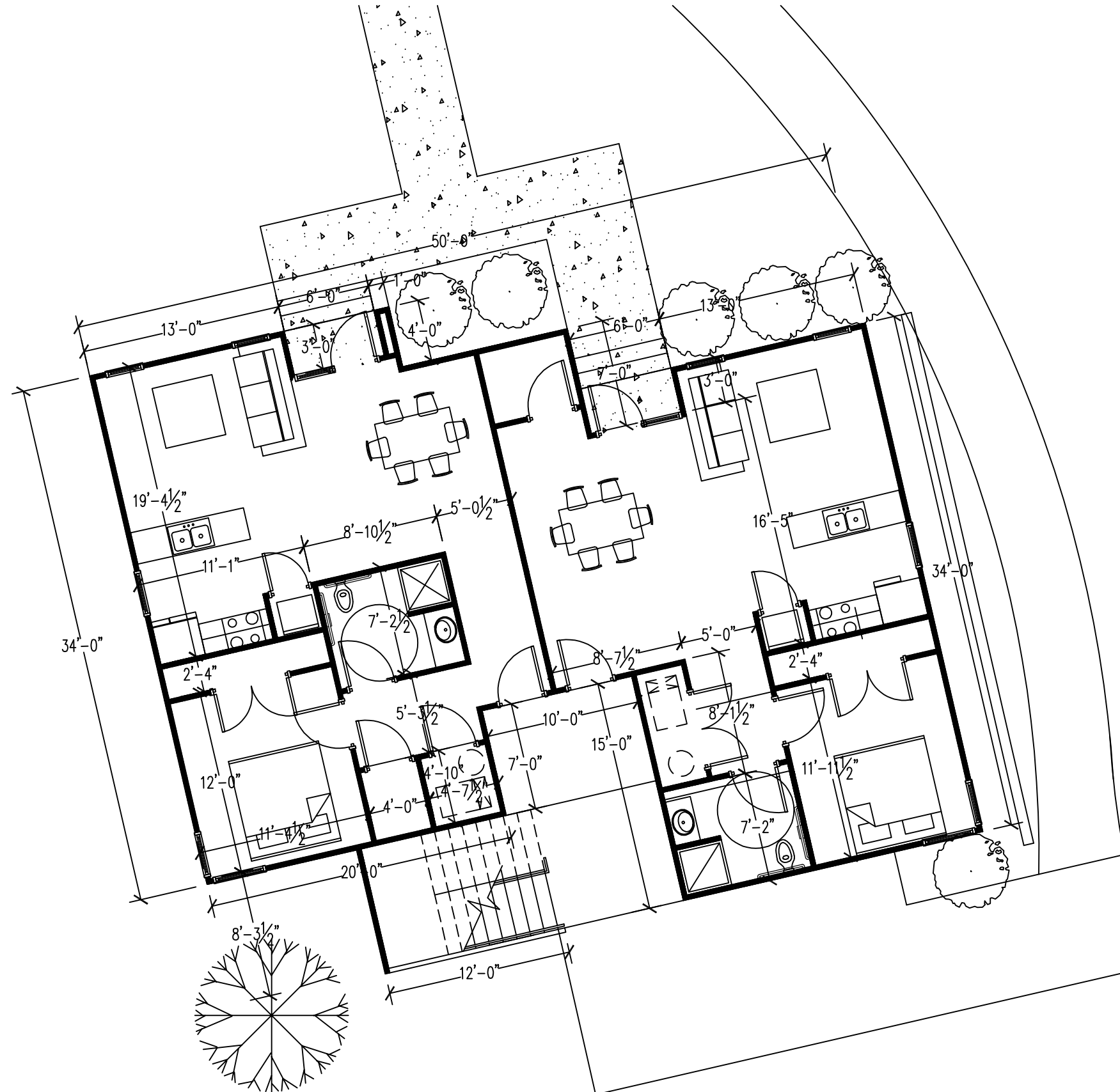
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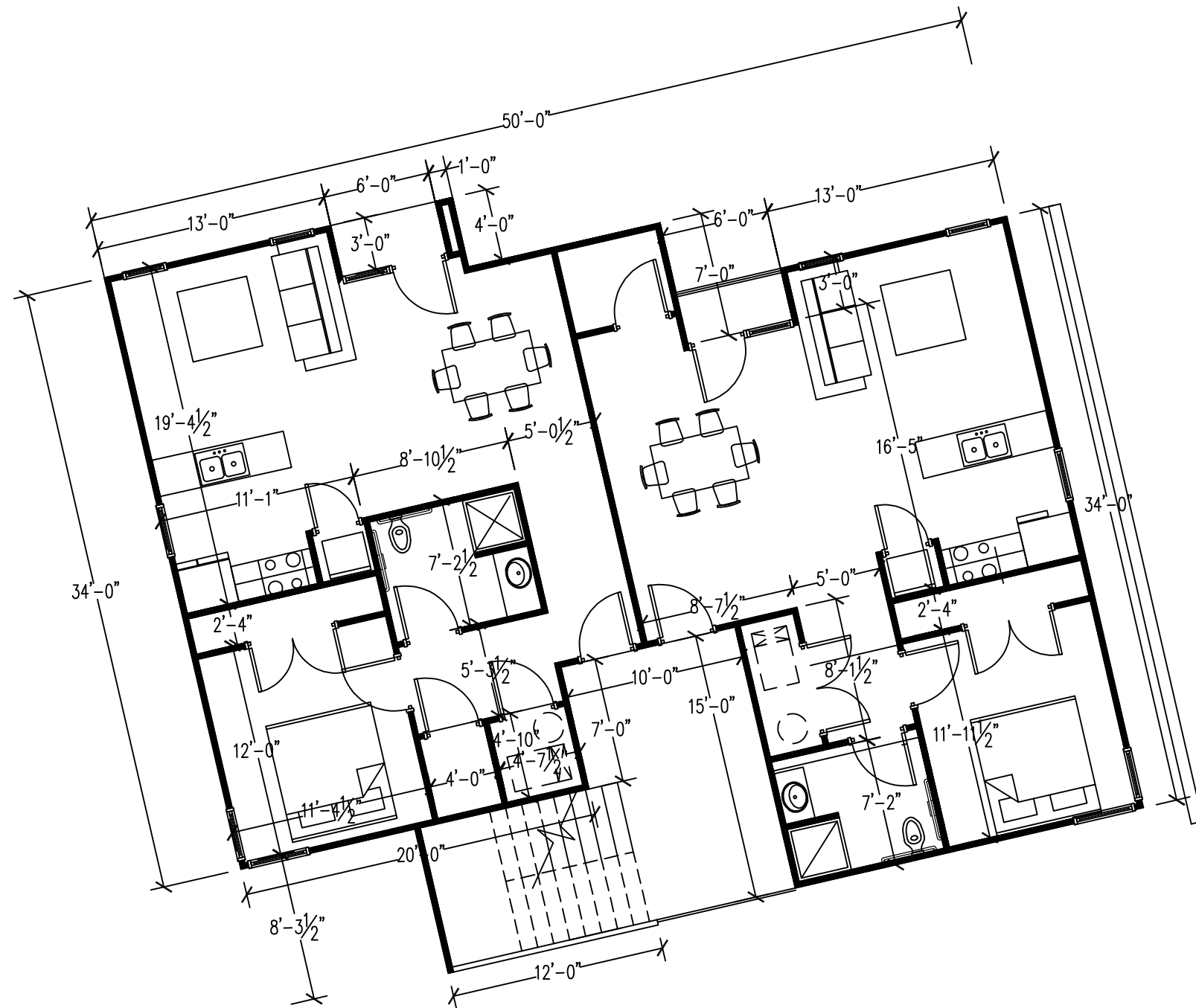
PROJECT:  
#22110  
11.10.22

3-STORY  
BUILDING  
THIRD  
FLOOR

A107

NORTH ① 3-STORY THIRD FLOOR  
SCALE= 1/8" = 1'-0"

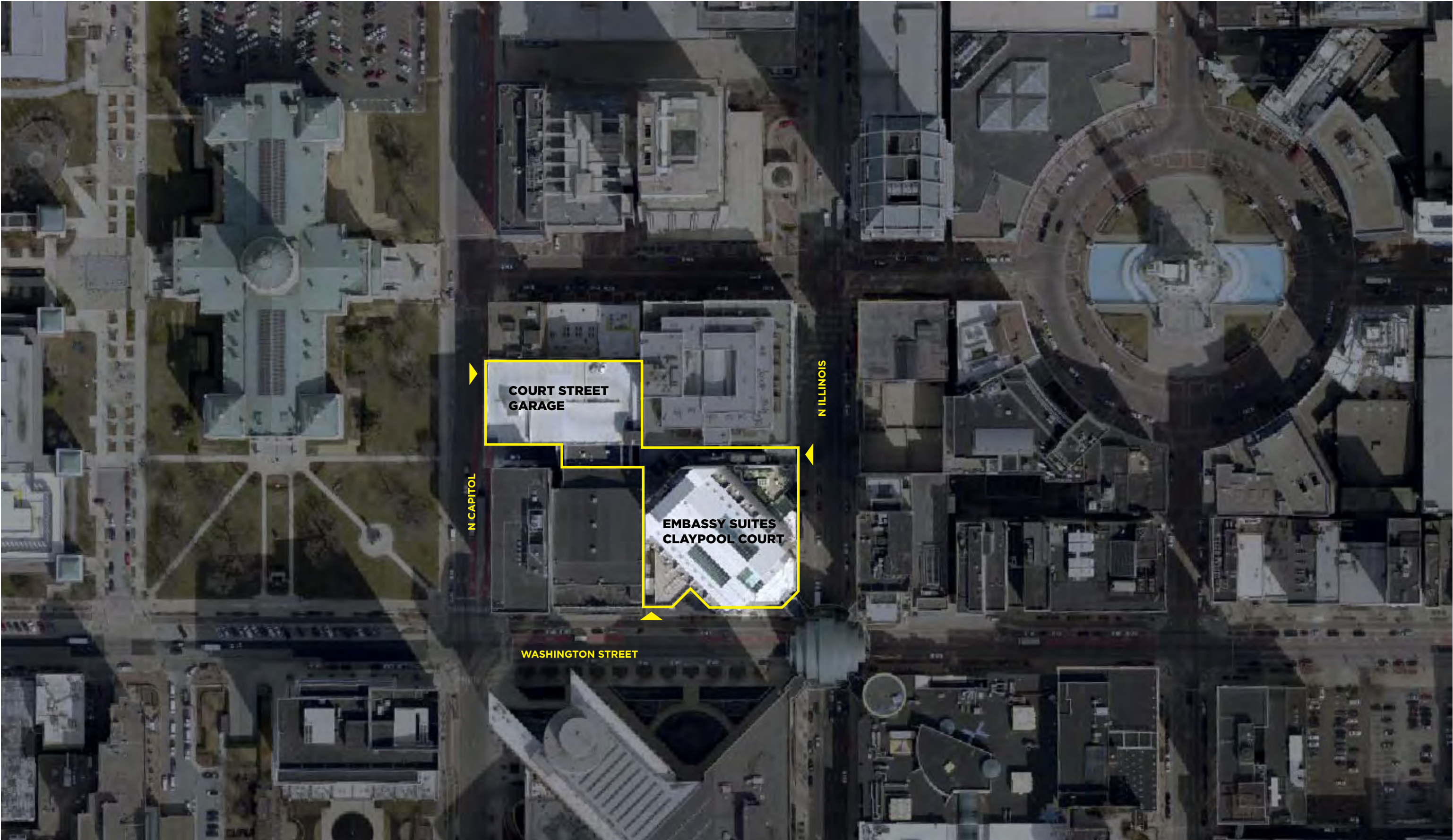




**2022-COA-435 (MCD)**  
**33 NORTH CAPITOL AVENUE**

# COURT STREET GARAGE EXTERIOR RENOVATION

**IHPC REVIEW PACKAGE**  
JULY 2022



**SITE AERIAL**

COURT STREET GARAGE EXTERIOR RENOVATION  
JULY 2022





**PARKING GARAGE EXISTING VIEW**

COURT STREET GARAGE EXTERIOR RENOVATION  
JULY 2022



**PARKING GARAGE EXTERIOR RENOVATION**

COURT STREET GARAGE EXTERIOR RENOVATION  
JULY 2022





**PARKING GARAGE EXTERIOR RENOVATION**

COURT STREET GARAGE EXTERIOR RENOVATION  
JULY 2022





**MOTORCOURT PEDESTRIAN ENTRANCE FROM GARAGE EXISTING**

COURT STREET GARAGE EXTERIOR RENOVATION  
JULY 2022





**MOTORCOURT PEDESTRIAN ENTRANCE FROM GARAGE NEW**

COURT STREET GARAGE EXTERIOR RENOVATION  
JULY 2022



**GARAGE ELEVATOR VESTIBULE EXISTING**

COURT STREET GARAGE EXTERIOR RENOVATION  
JULY 2022



**GARAGE ELEVATOR VESTIBULE RENOVATION**

COURT STREET GARAGE EXTERIOR RENOVATION  
JULY 2022





**GARAGE STREET ENTRANCE ELEVATOR LOBBY EXISTING**

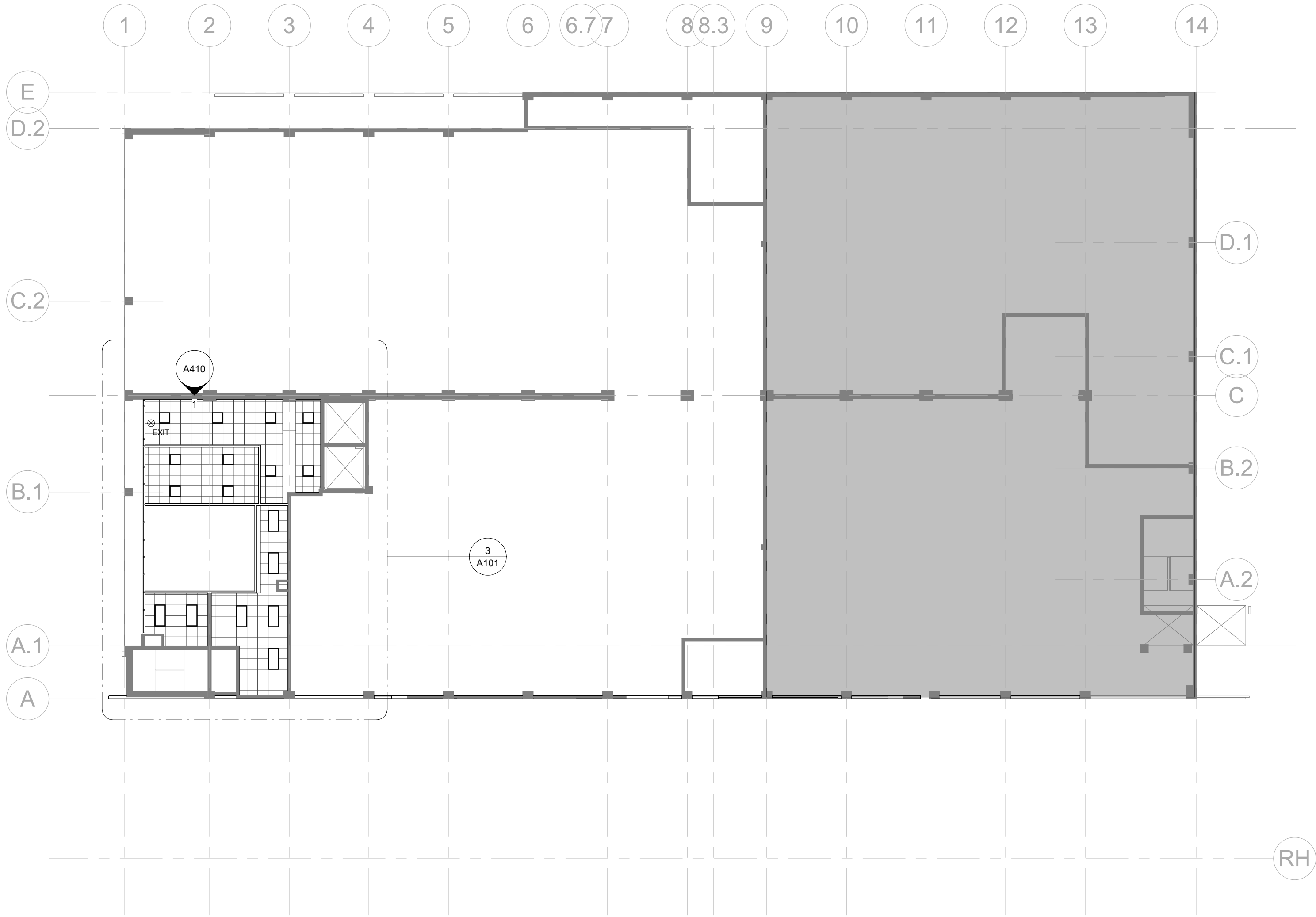
COURT STREET GARAGE EXTERIOR RENOVATION  
JULY 2022



**GARAGE STREET ENTRANCE ELEVATOR LOBBY RENOVATION**

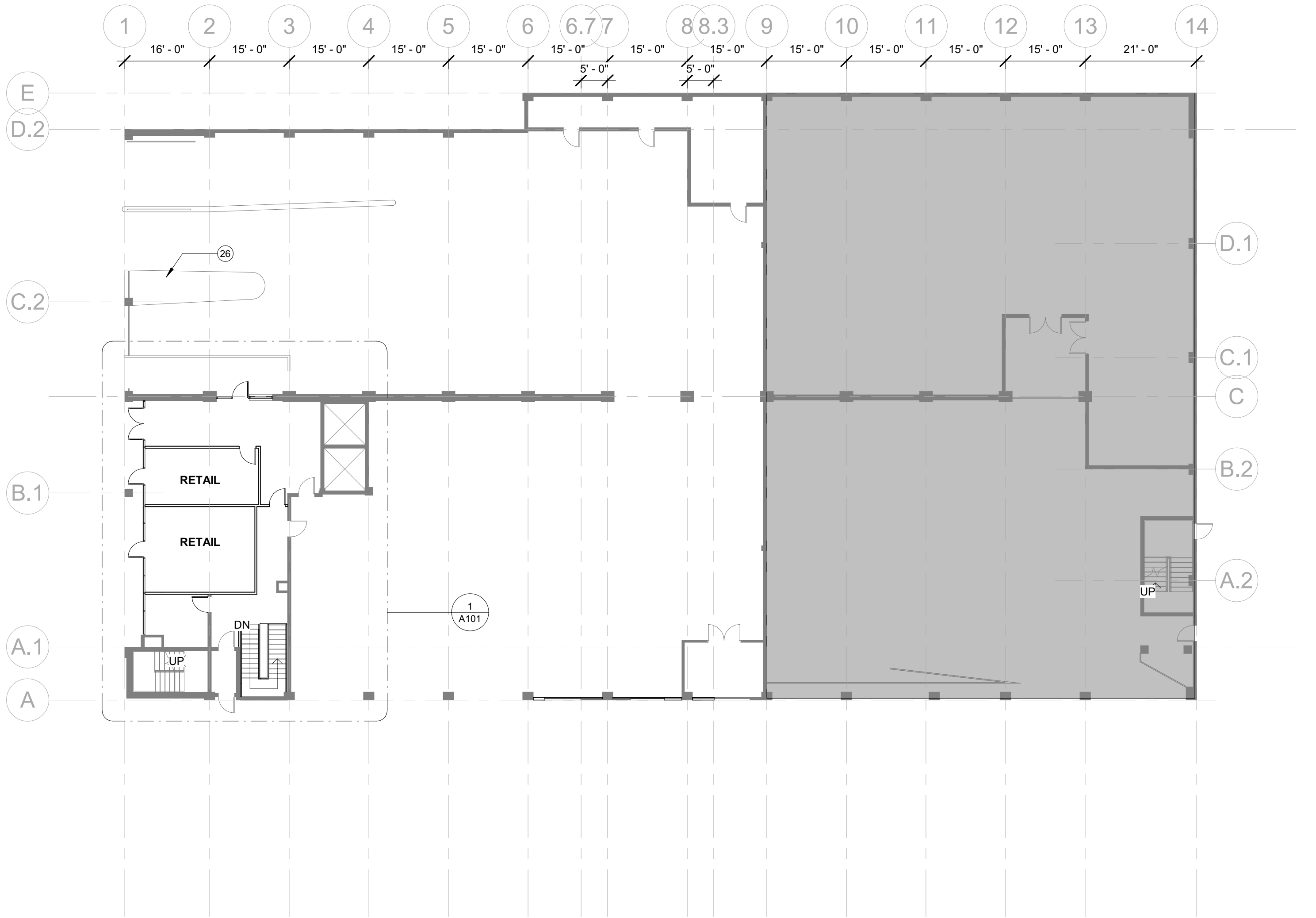
COURT STREET GARAGE EXTERIOR RENOVATION  
JULY 2022





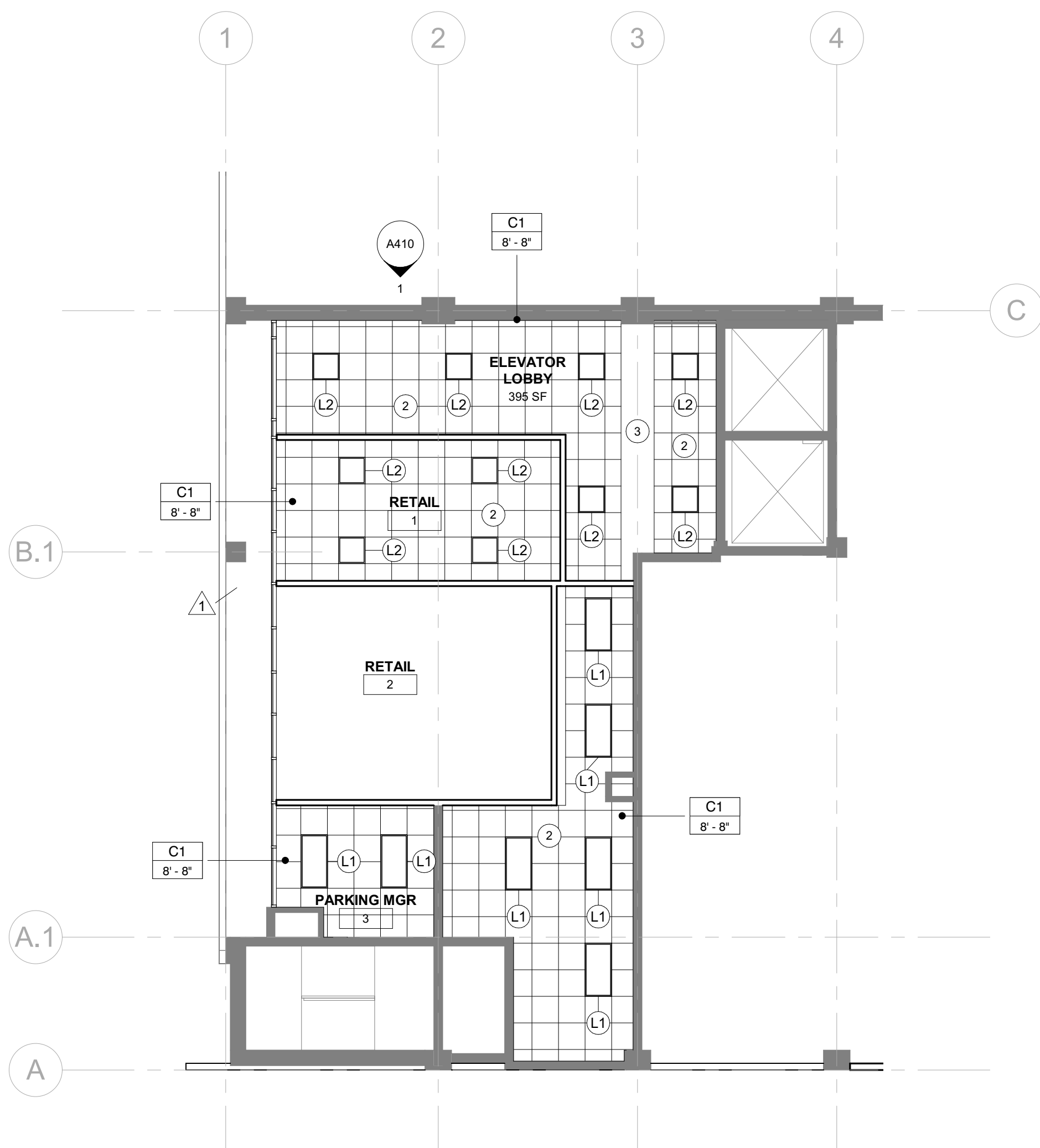
4 GROUND LEVEL CEILING PLAN

A101 1/16" = 1'-0"



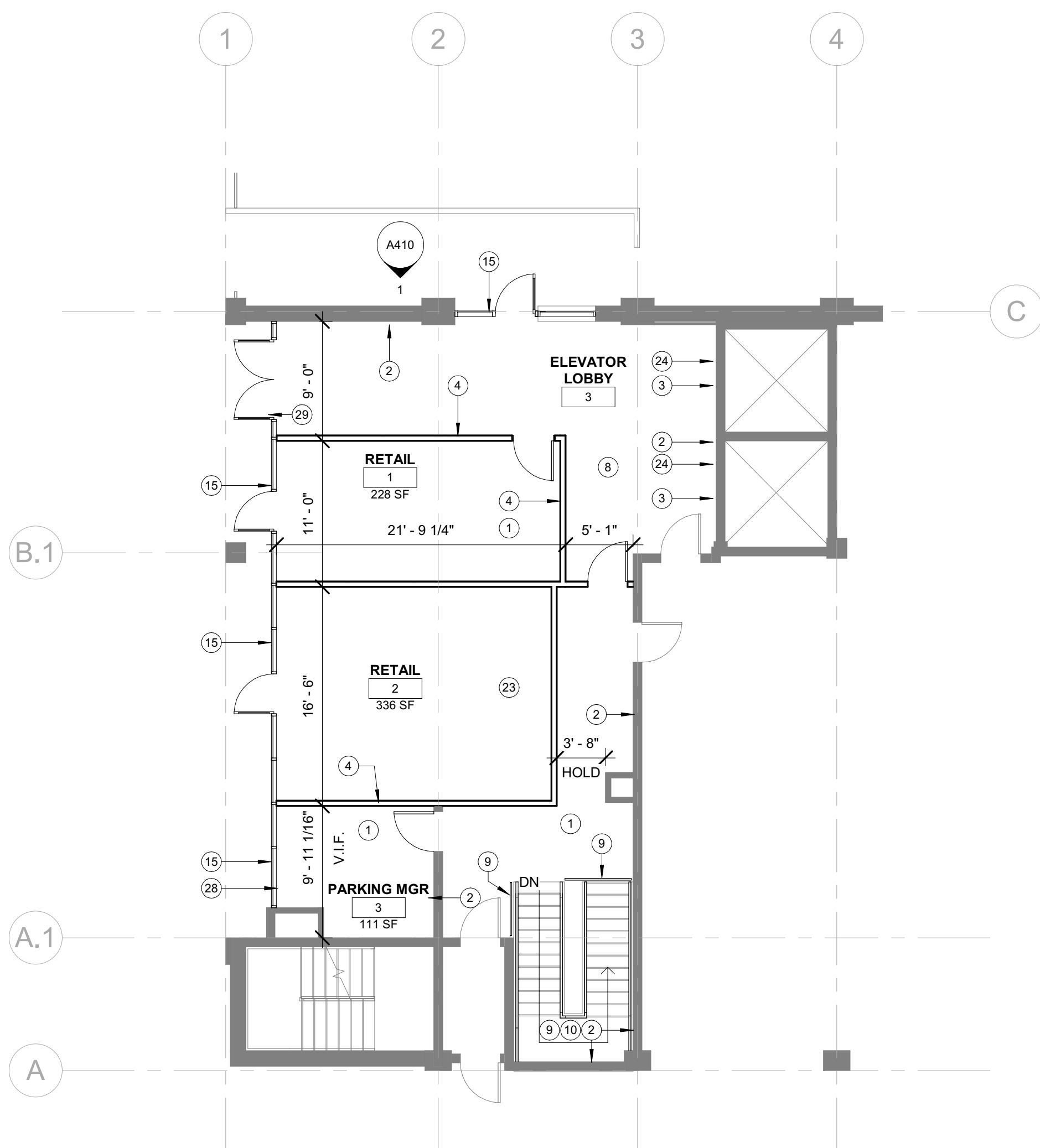
2 GROUND FLOOR PLAN

A101 1/16" = 1'-0"



3 ENLARGED CEILING PLAN

A101 1/8" = 1'-0"



1 ENLARGED FLOOR PLAN

A101 1/8" = 1'-0"

## GENERAL CEILING NOTES

- PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL WET LOCATIONS, INCLUDING BUT NOT LIMITED TO GARAGES AND BATHROOMS WITH SHOWERS.
- SEE INTERIOR ELEVATION AND OR SECTIONS FOR MOUNTING HEIGHTS OF ALL WALL MOUNTED FIXTURES
- REFER TO ELECTRICAL DRAWINGS FOR ALL LIGHT FIXTURE SPECIFICATIONS
- IN EXPOSED STRUCTURE CEILING AREAS, RUN ALL ELECTRICAL AND DATA CABLING IN HARD CONDUIT (NOT APPLICABLE IN DWELLING UNITS)
- PROVIDE OWNER WITH HVAC LAYOUT OF DIFFUSERS, BOXES, AND STAT LOCATIONS PRIOR TO INSTALLATION AS WELL AS A BALANCE REPORT AT CLOSE OF JOB.
- CENTER LIGHT FIXTURES IN ROOM UNLESS NOTED OTHERWISE.
- REFERENCE ELECTRICAL SHEETS FOR LIGHTING SPECIFICATIONS AND ADDITIONAL INFORMATION.

## FIXTURE SCHEDULE

- |    |        |  |
|----|--------|--|
| L1 | TYPE:  | 2 X 4 LOW PROFILE TROFFER LED FIXTURE            |
|    | MFR:   | LSI INDUSTRIES                                   |
|    | MODEL: | OPT24-LED-F52-48W-4000K                          |
| L2 | TYPE:  | 2 X 2 LOW PROFILE TROFFER LED FIXTURE            |
|    | MFR:   | METALUX  |
|    | MODEL: | CRUZE ST 22C22                                   |
| L3 | TYPE:  | 36" ROUND SURFACE-MOUNTED LED FIXTURE, WET-RATED |
|    | MFR:   | LUMENWERX  |
|    | MODEL: | SIMILAR TO POP CORE 36 ROUND LED                 |
| L4 | TYPE:  | 89" SURFACE-MOUNTED LED FIXTURE, WET-RATED       |
|    | MFR:   | OCL  |
|    | MODEL: | UNA, UA189MMWMP                                  |

\*NOTE: REFER TO ELECTRICAL PLANS FOR MORE INFORMATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES. ALL LAMPS TO BE 3000-3500K COLOR TEMPERATURE.

## CEILING PLAN LEGEND

- |       |                                       |
|-------|---------------------------------------|
| 11    | ELEVATION IDENTIFICATION              |
| 1'-0" |                                       |
| 2x4'  | SUSPENDED ACOUSTICAL CEILING          |
|       |                                       |
|       | GYPSUM BOARD CEILING                  |
|       | EXPOSED STRUCTURE (WITH FIREPROOFING) |

## CEILING PLAN NOTES

- INSTALL NEW 2X2 ACT CEILING SYSTEM WITH TEGULAR EDGE, C1, ARMSTRONG OPTIMA OR EQUAL, IN 15/16" GRID.
- PAINT EXPOSED CONCRETE BEAM.
- OCL GLOWSTICK, 24" DEPTH, HOUSING TO BE BLACK.
- 2X2 LED CEILING TROFFER, L2 FIXTURE TYPE.
- NEW CEMENTITIOUS GYPSUM BOARD CEILING SUSPENDED FROM THE DECK ABOVE.
- ALIGN TOP OF CEILING WITH TOP OF EXISTING EXTERIOR STOREFRONT MULLION.
- PROVIDE SQUARE EDGE TRIM TO ALLOW EXISTING ELECTRICAL AND COMMUNICATION CONDUITS TO REMAIN IN PLACE.
- EXISTING CONCRETE TO REMAIN.

## GENERAL PLAN NOTES

- ALL DIMENSIONS ARE TAKEN TO FACE OF METAL STUD, FACE OF CONCRETE, FACE OF MASONRY, FACE OF EXISTING FINISHES, OR FROM CENTER LINE OF EXISTING COLUMNS UNLESS NOTED AS CLEAR (CLR). CLEAR DIMENSIONS INDICATE FINISH SURFACE TO FINISH SURFACE SPANS BETWEEN WALLS OR FROM FINISH SURFACE OF WALL TO LATCH/HINGE OF ADJACENT DOOR.
- CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND PROMPTLY NOTIFY THE OWNER AND THE ARCHITECT OF ANY CONDITIONS THAT ARE IN CONFLICT WITH THE PROPOSED WORK OR ARE IN VARIANCE WITH THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL PROTECT EXISTING MATERIALS, COMPONENTS, AND FEATURES DESIGNATED TO REMAIN, BE SALVAGED, AND/OR REUSED. (SEE DEMOLITION DRAWINGS.)
- CONTRACTOR SHALL COORDINATE WITH THE OWNER AND GOVERNING AUTHORITIES TO ESTABLISH CONSTRUCTION TRAFFIC ACCESS TO THE SITE AND DESIGNATED CONSTRUCTION ACCESS THROUGHOUT THE BUILDING.
- THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, THE DIMENSIONS OF THE BUILDING, AND THE MAJOR ARCHITECTURAL ELEMENTS. AS GRAPHIC DOCUMENTS THE DRAWINGS DO NOT INDICATE OR DESCRIBE THE WORK REQUIRED FOR THE FULL PERFORMANCE AND COMPLETION OF THE CONTRACT DOCUMENTS. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED THE CONTRACTOR SHALL STUDY THE DRAWINGS AND THEIR GENERAL INFERENCE TO FURNISH THE ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- ALL DESIGN TEAM DRAWINGS SHALL BE USED TO LOCATE BUILDING ELEMENTS. CONTACT THE ARCHITECT WITH CONFLICTS, DISCREPANCIES, AND OMISSIONS PRIOR TO COMMENCEMENT OF WORK. WRITTEN DOCUMENTATION SHALL BE PROVIDED BY CONTRACTOR REGARDING SUCH ITEMS.
- ALL IN-WALL BLOCKING IS TO BE FIRE TREATED AS REQUIRED BY CODE.
- CONTRACTOR TO ENSURE ALL WALLS TO MEET FIRE SAFETY REQUIREMENTS WHERE NECESSARY.
- ALL EXISTING COLUMNS, INTERIOR AND EXTERIOR WALLS, AND WINDOW WALLS TO BE DRYWALLED, TAPED, PAINTED, AND READY FOR NEW FINISH.

## PLAN NOTES

- INSTALL NEW LVT1 TILE, ARMSTRONG TERRA ATRO RAVENNA ST892 ATRO WITH 4" RESILIENT BASE AROUND PERIMETER.
- REPAIR EXISTING WALL AS NEEDED TO RECEIVE NEW PAINT FINISH, GRAPHICS AND WAYFINDING INFORMATION. COLOR TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE OF COLORS.
- REPLACE EXISTING ELEVATOR DOOR FRAMES WITH NEW, FINISH TO MATCH EXISTING.
- NEW INTERIOR WALLS TO BE TYPE A3-S WITH SOUND ATTENUATING BATT INSULATION AND LEVEL 04 FINISH U.N.O. PAINT TBD.
- REPLACE EXISTING BOLLARD WITH NEW 3'-6" TALL CONCRETE BOLLARD WITH STAINLESS STEEL COVERS.
- CLEAN AND REFINISH CONCRETE, PAINT P4, TRAFFIC COATING.
- CUSTOM VINYL GRAPHIC APPLIED TO EXISTING PAINTED VINYL.
- INSTALL NEW CERAMIC TILE FLOORING, CT1, MILESTONE EPIC DOLOMITE 12"x24", MATTE, WITH 4" VINYL CONE BASE AROUND PERIMETER.
- NEW ANODIZED ALUMINUM GUARDRAIL AND HANDRAILS AT EXISTING STAIR.
- NEW LVT 1 STAIR TREADS AND LANDINGS.
- PAINT EXISTING HOLLOW METAL DOOR AND FRAME TO MATCH WALL COLOR.
- NEW ENTRYWAY CARPET TILE, SHAW CONTRACT JIVE STEP 12549 OR EQUAL, ASHLAR PATTERN.
- PAINT EXISTING METAL HANDRAIL AND SADDLE BRACKETS.
- REPLACE EXISTING STAINLESS STEEL ELEVATOR DOOR FRAMES. REPLACE EXISTING ELEVATOR CALL BUTTON AND CALL SIGNALS.
- NEW ANODIZED ALUMINUM STOREFRONT SYSTEM, SIMILAR TO EFCO 451T.
- APPLY VINYL, CUSTOM GRAPHIC TO STOREFRONT GLAZING.
- NEW ALUMINUM TWO RAIL SYSTEM, TOP TO BE AT 42" A.F.F.
- PAINT EXISTING ELEVATOR DOORS AND FRAMES TO BE PAINTED TO MATCH WALL COLOR.
- REMOVE EXISTING GLASS STRUCTURE AND REPLACE WITH NEW STOREFRONT STRUCTURE.
- NEW HOLLOW METAL DOOR AND FRAME TO MATCH WALL COLOR.
- PREPARE EXISTING CONCRETE FINISH TO RECEIVE NEW TENANT FINISHES.
- ALUMINUM TILE REDUCER STRIP, SIMILAR TO SCHLUTER RENO-RAMP, TO TRANSITION FROM NEW TILE HEIGHT TO EXISTING ELEVATOR SILL.
- STRIPED LANE WITH 'NO PARK' DIAGONAL LINES AND IMPACT RESISTANT FLEXIBLE DELINEATORS ON ENTRY LANE.
- NEW RAISED EQUIPMENT ISLAND WITH ACCESS CONTROL/TICKETING ARMS. COORDINATE POWER AND DATA REQUIREMENTS WITH PARKING GARAGE OPERATOR.
- REPLACE EXISTING DOOR WITH NEW ALUMINUM STOREFRONT FRAME AND DOOR, FULL LITE, TO MATCH NEW STOREFRONT SYSTEM.
- PRIVACY FILM ON INTERIOR GLASS LITE AT PARKING MGR 3 ONLY, SIMILAR TO 3M FASARA GLAZE.
- DOOR

DKGr

10 W MARKET ST  
SUITE 800  
INDIANAPOLIS, IN 46204  
P: 317.614.0053  
F: 317.632.5662  
DKGRAR.COM

OWNER  
COURT STREET ASSOCIATES LLC  
300 MASSACHUSETTS AVENUE  
SUITE 400  
INDIANAPOLIS, IN 46204

COURT STREET GARAGE

33 N CAPITOL AVE,  
INDIANAPOLIS, IN 46204

DATE:  
04 MAY 2022  
PROJECT #:  
2021-023

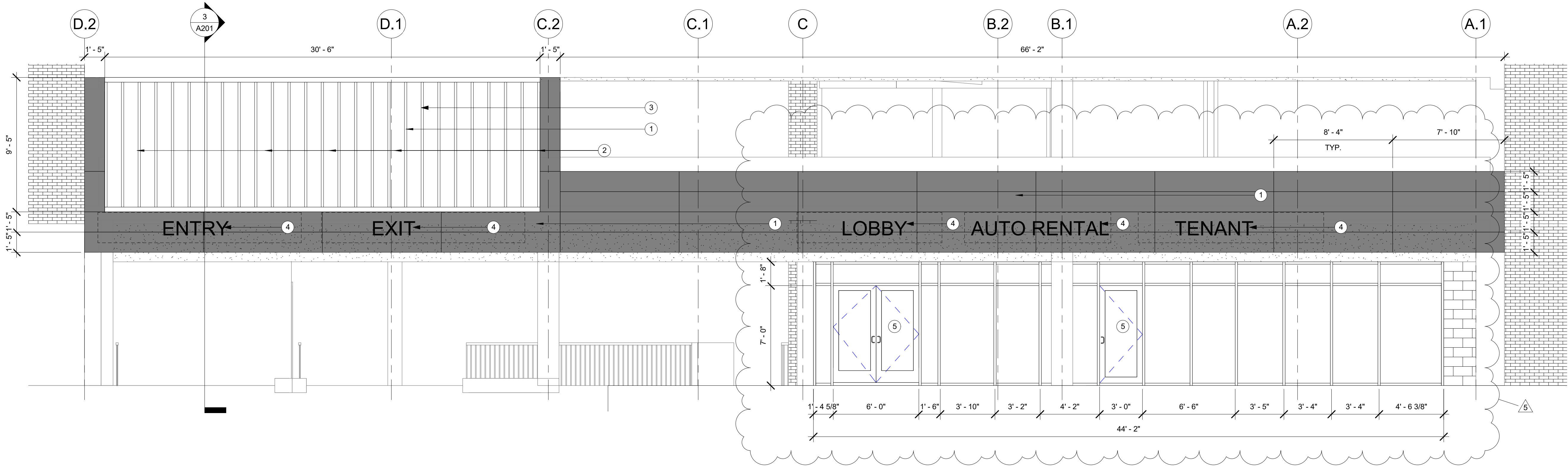


SHEET REVISIONS  
# DESCRIPTION DATE  
1 Addition 01 02-16-2022

FLOOR PLANS -  
LEVEL 01

SHEET NO

A101



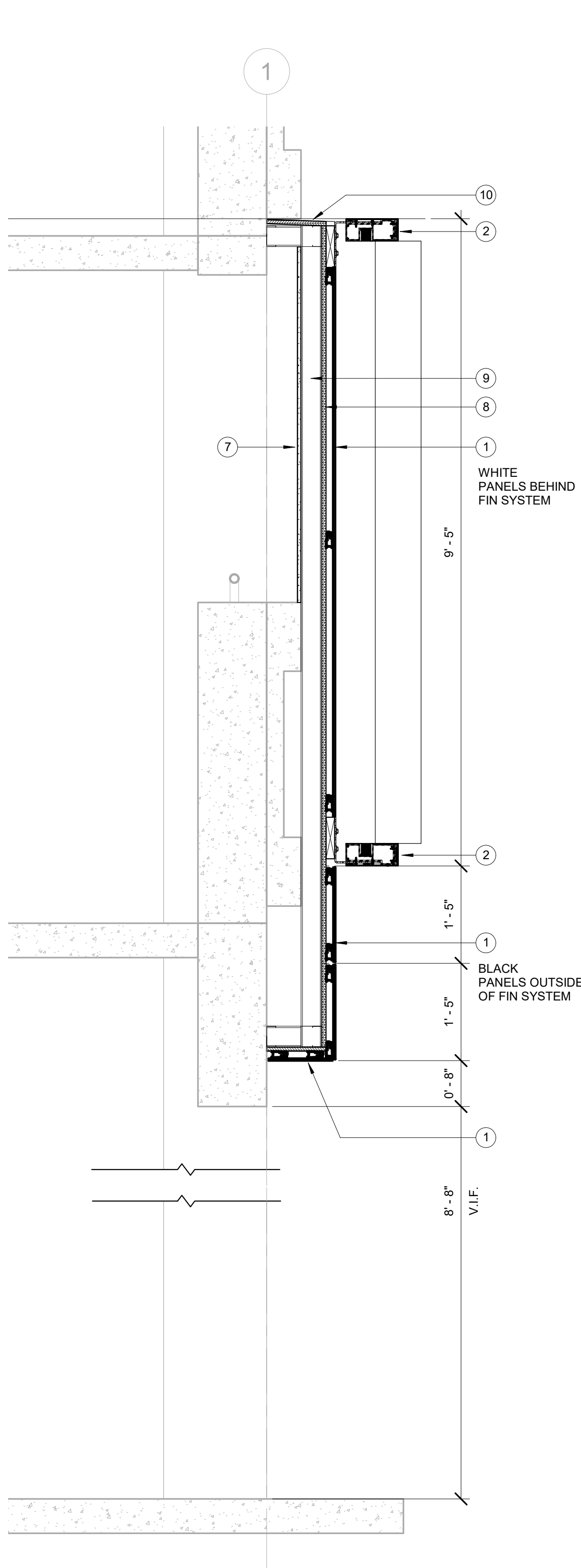
**1** ENLARGED EXTERIOR ELEVATION - WEST  
A201 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES	
1	NEW EXTERIOR SOLID PHENOLIC CLADDING PANEL WITH CONCEALED FIXING SYSTEM ON RAILS ATTACHED TO EXISTING CONCRETE AND MASONRY EXTERIOR MATERIAL. NEW PANELS ARE TO BE TRESPA METEON SPECULAR, EP2.
2	NEW EXTERIOR EXTRUDED ALUMINUM VERTICAL FINS WITH TOP AND BOTTOM EXTRUDED ALUMINUM RAILS. VERTICAL RAILS TO BE 2" WIDE AND 8" DEEP. HORIZONTAL FINS TO BE 4" TALL BY 8" DEEP. ALL ALUMINUM EXTRUSIONS TO BE POWDER COATED SIMILAR TO AMERICAN PRODUCTS INC. EXTERIOR FIN SYSTEM.
3	NEW INTEGRAL PROGRAMMABLE LED COVE LIGHTING SYSTEM WITHIN FIN SYSTEM. COORDINATE BLOCKING AND POWER AS REQUIRED.
4	NEW SIGNAGE PINNED TO NEW EXTERIOR CLADDING SYSTEM. PROVIDE POWER AND BACKING AS REQUIRED. COORDINATE REQUIREMENTS WITH SIGNAGE VENDOR.
5	NEW THERMALLY BROKEN CLEAR ANODIZED STOREFRONT SYSTEM WITH 1" THERMALLY INSULATED GLAZING AND MEDIUM STYLE DOORS.
6	EXISTING CONCRETE SPANDRELS TO REMAIN, TYP.
7	5/8" EXTERIOR GYPSUM BOARD, PAINTED BLACK, SHERWIN WILLIAMS SW6258 TRICORN BLACK.
8	3/4" EXTERIOR GRADE PLYWOOD SHEATHING WITH WEATHER BARRIER.
9	3 5/8" 18 GAUGE METAL STUD FRAMING AT 16" O.C. WITH HORIZONTAL BRACING EVERY 48" O.C.
10	PRE-FINISHED METAL COPING.

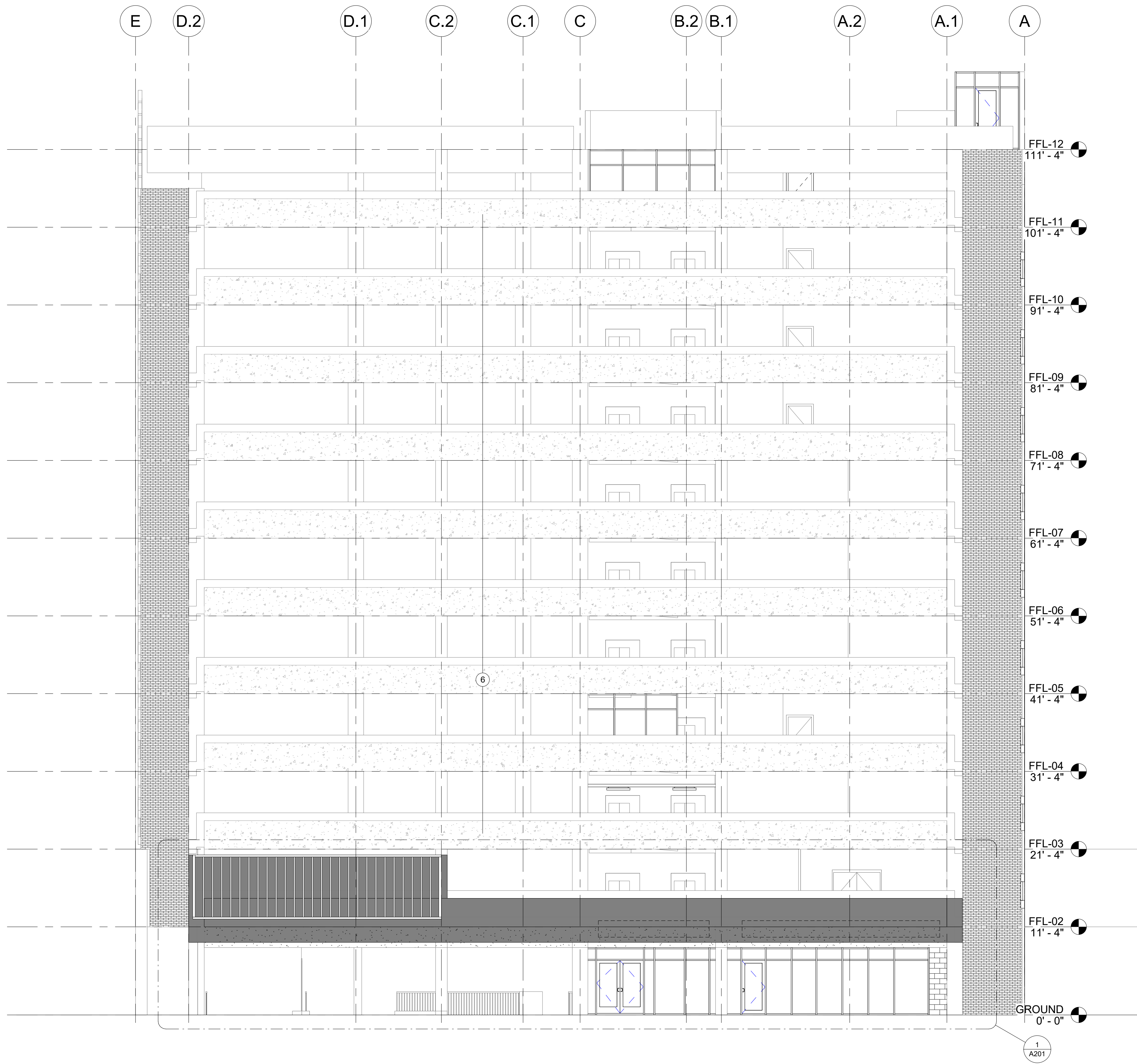
**DKGr**

10 W MARKET ST  
SUITE 800  
INDIANAPOLIS, IN 46204  
P: 317.614.0053  
F: 317.632.5662  
DKGRAR.COM

OWNER  
**COURT STREET ASSOCIATES LLC**  
330 MASSACHUSETTS AVENUE  
SUITE 400  
INDIANAPOLIS, IN 46204



**3** FIN SYSTEM SECTION  
A201 3/4" = 1'-0"



**2** EXTERIOR ELEVATION - WEST  
A201 1/8" = 1'-0"

**COURT STREET GARAGE**  
33 N CAPITOL AVE,  
INDIANAPOLIS, IN 46204

DATE:  
04 MAY 2022  
PROJECT #:  
2021-023



#	DESCRIPTION	DATE
1	ASSIGNMENT 01	02-16-2022
2	ADD 01	05-25-2022
3	REVISION 02	05-25-2022

**EXTERIOR ELEVATIONS**

SHEET NO

**A201**





The area surround the vertical fin system will be black metal panel, similar to adjacent Tony's restaurant exterior.

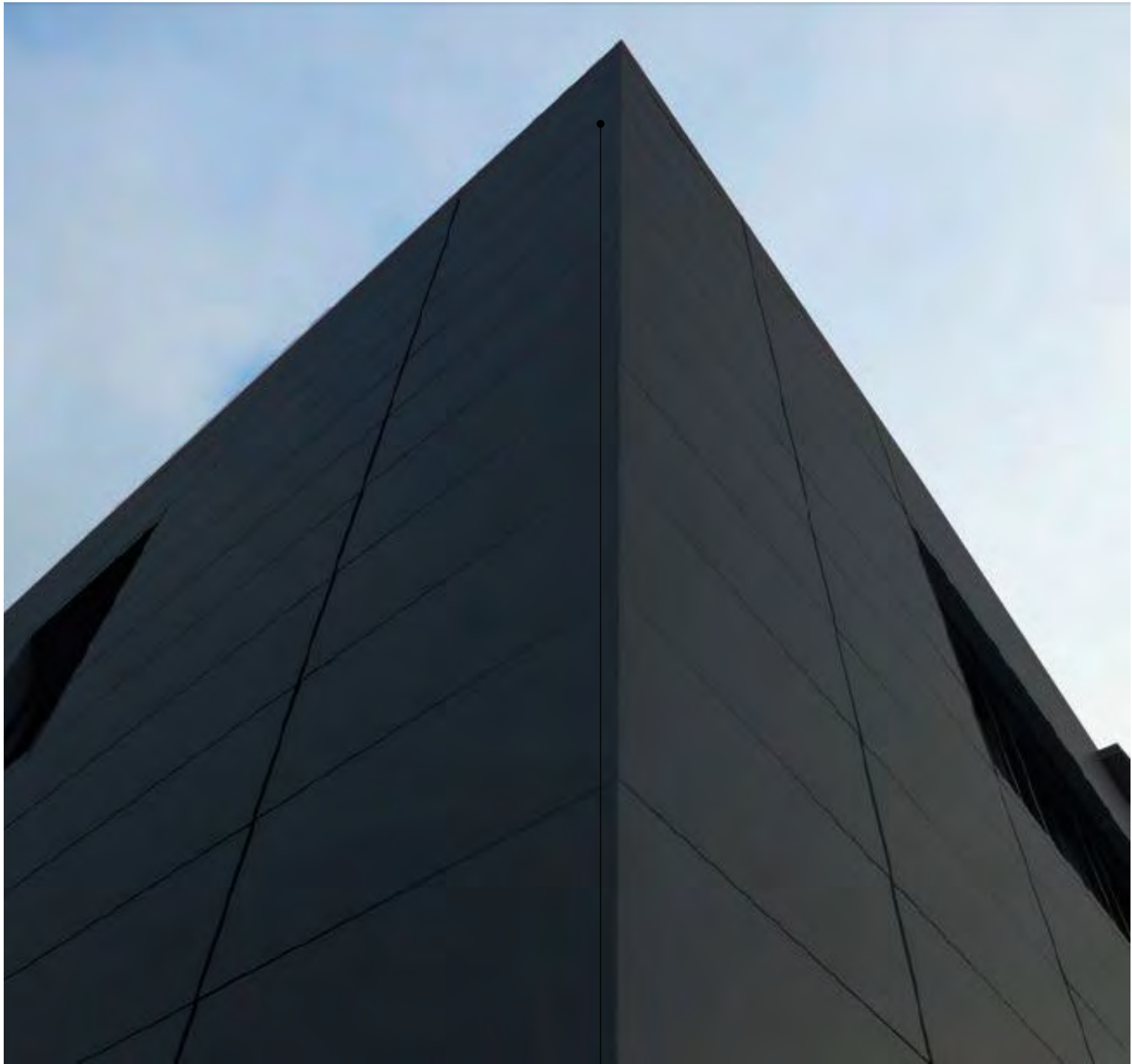
Vertical aluminum extrusion fins at Embassy Suites and Court Street garage exterior will be white, with white metal panel beyond.

Horizontal aluminum channels at the top and bottom of the vertical fins will host linear RGBW lighting strips, (similar to backlit panels at adjacent Tony's restaurant) that will slowly gradate between various colors. Maximum speed between alternating colors will be 5 seconds. There will no flashing or other lighting effects.

## FIN EXAMPLE

EMBASSY SUITES EXTERIOR RENOVATION  
AUG 2022

DKGR



The area surround the vertical fin system will be black metal panel, similar to adjacent Tony's restaurant exterior.



Facade behind the vertical aluminum white fins will be white metal panel, to be surface lit from above and below with continuous RGBW LED lighting.

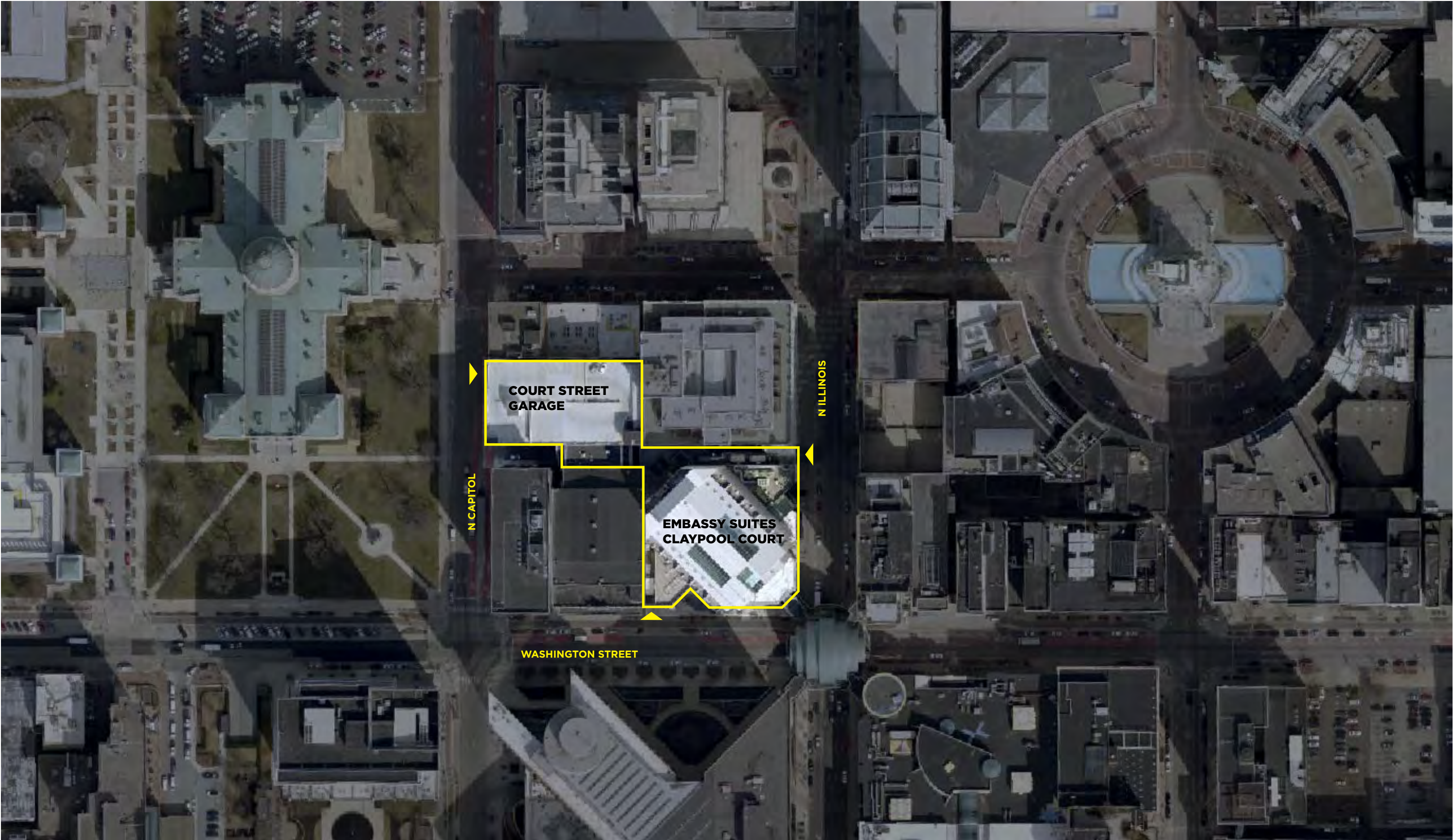
**METAL PANEL EXAMPLES**

EMBASSY SUITES EXTERIOR RENOVATION  
AUG 2022

**2022-COA-436 (MCD)**  
**110 WEST WASHINGTON STREET**

# EMBASSY SUITES EXTERIOR RENOVATION

**IHPC REVIEW PACKAGE**  
JULY 2022



**SITE AERIAL**

EMBASSY SUITES EXTERIOR RENOVATION  
JULY 2022



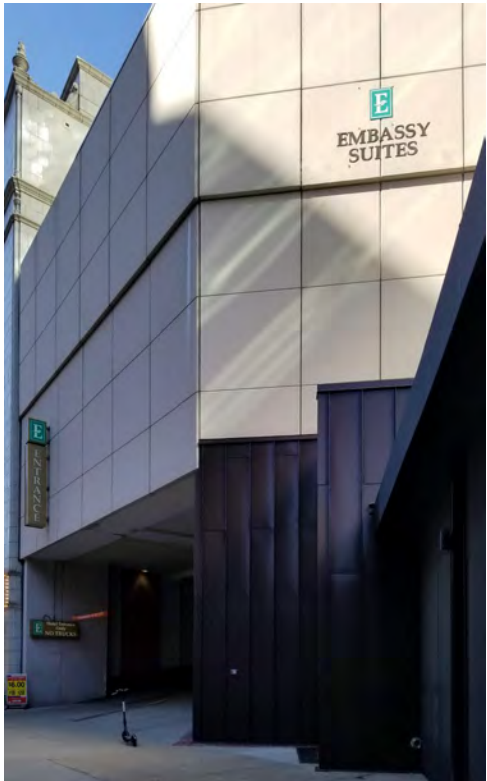


## EXISTING WASHINGTON STREET ENTRANCE

EMBASSY SUITES EXTERIOR RENOVATION  
JULY 2022

### NOTES

The current entrance is not well-marked, with limited branding. We have proposed a new metal panel overlay at the lower portion of exterior concrete panels that would align with the adjacent restaurant facade and create some visual continuity between the two.



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# **RENOVATED WASHINGTON STREET ENTRANCE**

EMBASSY SUITES EXTERIOR RENOVATION  
 JULY 2022



**EMBASSY SUITES PEDESTRIAN ENTRANCE EXISTING**

EMBASSY SUITES EXTERIOR RENOVATION  
JULY 2022



**EMBASSY SUITES PEDESTRIAN ENTRANCE RENOVATION**

EMBASSY SUITES EXTERIOR RENOVATION  
 JULY 2022





**EMBASSY SUITES PEDESTRIAN ENTRANCE RENOVATION**

EMBASSY SUITES EXTERIOR RENOVATION  
JULY 2022





**EXISTING PEDESTRIAN WALKWAY**

EMBASSY SUITES EXTERIOR RENOVATION  
JULY 2022



**RENOVATED PEDESTRIAN WALKWAY**

EMBASSY SUITES EXTERIOR RENOVATION  
JULY 2022

**DKGr**



**RENOVATED PEDESTRIAN WALKWAY**

EMBASSY SUITES EXTERIOR RENOVATION  
JULY 2022





**EXISTING MOTORCOURT**  
EMBASSY SUITES EXTERIOR RENOVATION  
JULY 2022



**RENOVATED MOTORCOURT**

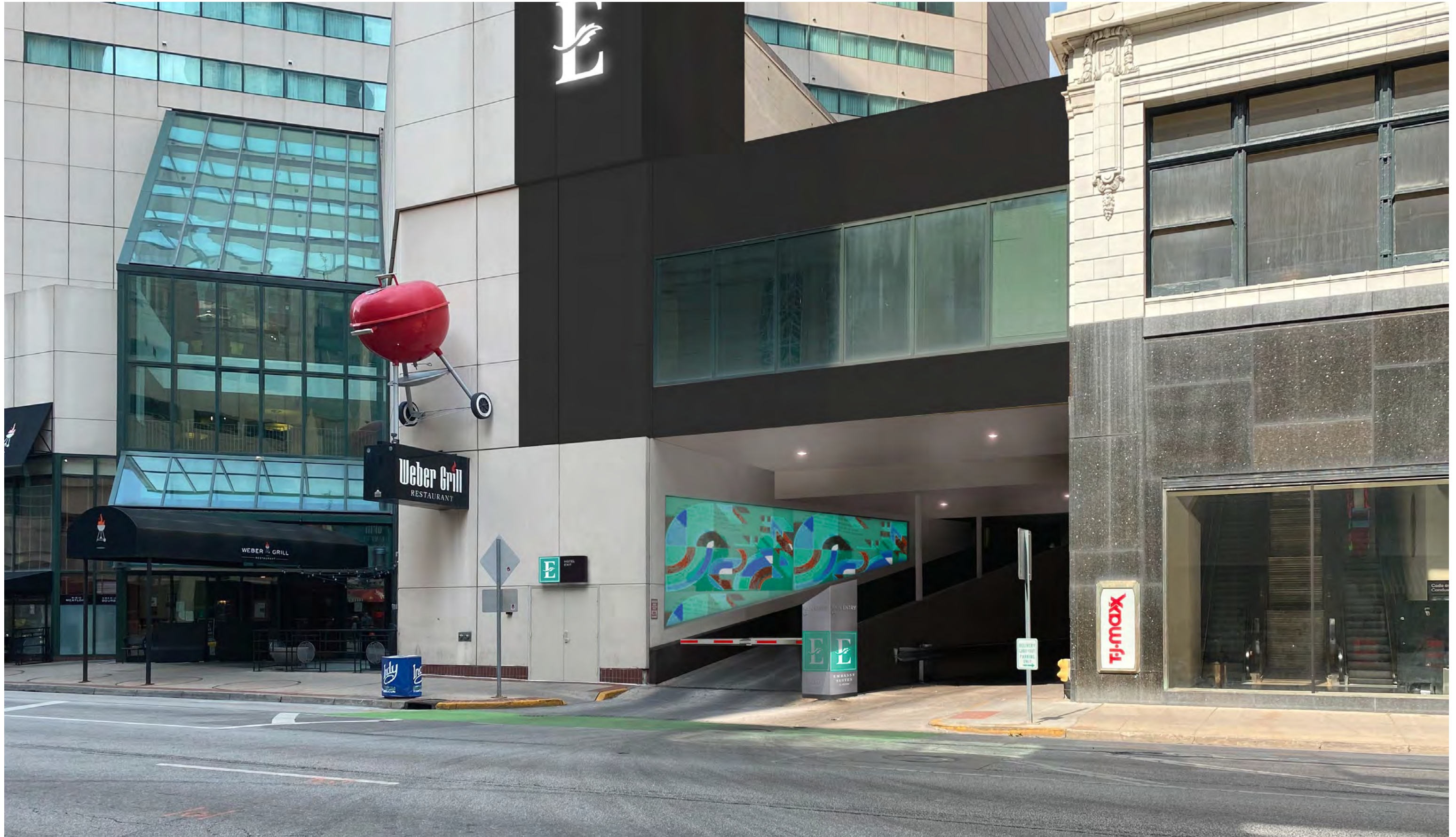
EMBASSY SUITES EXTERIOR RENOVATION  
JULY 2022





**EMBASSY SUITES EXIT RAMP EXISTING**

EMBASSY SUITES EXTERIOR RENOVATION  
JULY 2022



**EMBASSY SUITES EXIT RAMP RENOVATION**

EMBASSY SUITES EXTERIOR RENOVATION  
JULY 2022

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## GENERAL PLAN NOTES

- ALL DIMENSIONS ARE TAKEN TO FACE OF METAL STUD, FACE OF CONCRETE, FACE OF MASONRY, FACE OF EXISTING FINISHES, OR FROM CENTER LINE OF EXISTING COLUMNS UNLESS NOTED AS CLEAR (CLR). CLEAR DIMENSIONS INDICATE FINISH SURFACE TO FINISH SURFACE SPANS BETWEEN WALLS OR FROM FINISH SURFACE OF WALL TO LATCH/HINGE OF ADJACENT DOOR.
- CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND PROMPTLY NOTIFY THE OWNER AND THE ARCHITECT OF ANY CONDITIONS THAT ARE IN CONFLICT WITH THE PROPOSED WORK OR ARE IN VARIANCE WITH THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL PROTECT EXISTING MATERIALS, COMPONENTS, AND FEATURES DESIGNATED TO REMAIN, BE SALVAGED, AND/OR REUSED. (SEE DEMOLITION DRAWINGS.)
- CONTRACTOR SHALL COORDINATE WITH THE OWNER AND GOVERNING AUTHORITIES TO ESTABLISH CONSTRUCTION TRAFFIC ACCESS TO THE SITE AND DESIGNATED CONSTRUCTION ACCESS THROUGHOUT THE BUILDING.
- THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, THE DIMENSIONS OF THE BUILDING, AND THE MAJOR ARCHITECTURAL ELEMENTS. AS GRAPHIC DOCUMENTS THE DRAWINGS DO NOT INDICATE OR DESCRIBE THE WORK REQUIRED FOR THE FULL PERFORMANCE AND COMPLETION OF THE CONTRACT DOCUMENTS. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED THE CONTRACTOR SHALL STUDY THE DRAWINGS AND THEIR GENERAL INFERENCE TO FURNISH THE ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- ALL DESIGN TEAM DRAWINGS SHALL BE USED TO LOCATE BUILDING ELEMENTS. CONTACT THE ARCHITECT WITH CONFLICTS, DISCREPANCIES, AND OMISSIONS PRIOR TO COMMENCEMENT OF WORK. WRITTEN DOCUMENTATION SHALL BE PROVIDED BY CONTRACTOR REGARDING SUCH ITEMS.
- ALL IN-WALL BLOCKING IS TO BE FIRE TREATED AS REQUIRED BY CODE.
- CONTRACTOR TO ENSURE ALL WALLS TO MEET FIRE SAFETY REQUIREMENTS WHERE NECESSARY. REFER TO A001 FOR WALL TYPE DETAILS.
- ALL EXISTING COLUMNS, INTERIOR AND EXTERIOR WALLS, AND WINDOW WALLS TO BE DRYWALLED, TAPED, PAINTED, AND READY FOR NEW FINISH.
- BUILDING STANDARD FINISH CEILINGS FURNISHED AND INSTALLED IN ALL SPACES INCLUDING DRYWALL WINDOW POCKET. IF TENANT ELECTS TO HAVE NON-STANDARD FINISHES, IT SHALL RECEIVE A CREDIT FROM LANDLORD EQUAL TO AN AMOUNT THE BUILDING STANDARD FINISH WOULD COST.
- COMPLETE WINDOW INSTALLATION WITH DRYWALL, BUILDING STANDARD TRIM, SILLS, AND HARDWARE. PROVIDE BUILDING STANDARD WINDOW TREATMENT.
- ELECTRICAL SERVICES SHALL BE DISTRIBUTED TO THE JUNCTION BOX/MAIN BREAKER.

## FLOOR PLAN LEGEND

AREA NOT IN PROJECT SCOPE

## REFERENCE PLAN NOTES

- NEW ALUMINUM COMPOSITE PANEL COLUMN COVER BETWEEN EXISTING CONCRETE BASE AND CAPITAL. REPAIR CONCRETE BASE AND CAPITAL. P5. REFER TO FINISH SCHEDULE FOR FURTHER INFORMATION.
- REPAIR CONCRETE BASE AND CAPITAL AND COLUMN. P4. REFER TO FINISH SCHEDULE FOR FURTHER INFORMATION.
- NEW EXTERIOR TILE FINISH OVER EXISTING WALL FINISH. TILES TO BE SOLID 2' X 4' PHENOLIC PANELS ON 3/4" METAL HAT CHANNELS. COLOR TBD. ALL FASTENERS TO BE CONCEALED. REFERENCE INTERIOR ELEVATIONS.
- REPAIR EXISTING CONCRETE CURB. P6. REFER TO FINISH SCHEDULE FOR FURTHER INFORMATION.
- EXISTING SKYLIGHT SYSTEM ABOVE, WITH NEW PAINTED OVP. RD. AND METAL FRAMED BULKHEAD.
- EXISTING DRIVE SURFACE TO RECEIVE NEW FINISH. CF1. NOTE: CONTRACTOR TO PROVIDE MOCKUPS OF COLORS FOR OWNER REVIEW AND FINAL COLOR SELECTION. REFER TO FINISH SCHEDULE FOR FURTHER INFORMATION.
- NEW SUSPENDED LINEAR METAL CEILING WITH LED LIGHTING ABOVE. REFER TO REFLECTED CEILING PLAN.
- ANGLE PHENOLIC PANEL AT ALL OUTSIDE CORNERS FOR SOLID CORNER.
- NEW CONCRETE RAMP ADA ACCESSIBLE AND NEW GUARD AND HANDRAIL. HANDRAIL TO BE PAINTED P9.
- TURN PHENOLIC PANEL BACK TO EXISTING FINISH TO HIDE FURRING GAP.
- NEW PAINT FINISH P1. REFER TO FINISH SCHEDULE FOR FURTHER INFORMATION.
- EXISTING BRICK PAVERS TO RECEIVE INDUSTRIAL STRENGTH, CHEMICAL, CLEANING TREATMENT, TYP.
- EXISTING CONCRETE STRIPS TO RECEIVE NEW FINISH. CF2. REFER TO FINISH SCHEDULE FOR FURTHER INFORMATION.
- EXISTING CONCRETE STRIPS TO RECEIVE NEW FINISH. CF3. AND REFLECTIVE WHITE STRIPING. REFER TO FINISH SCHEDULE FOR FURTHER INFORMATION.
- NEW BRICK PAVER STEPS WITH INTEGRAL LINEAR LED STEP LIGHTING.
- NEW CUSTOM COLOR PAINT FINISH AT CONCRETE PIER. REFER TO FINISH SCHEDULE FOR FURTHER INFORMATION.
- NEW 12' X 55' VINYL GRAPHIC BANNER ON ALUMINUM FRAME SYSTEM ON EXISTING STEEL COLUMNS, V.I.F.
- NEW SIGNAGE, GRAPHICS AND WAYFINDING.
- NEW LIT STAINLESS STEEL BOLLARD.
- PATCH AND REPAIR EXISTING CONCRETE RAMP AND APPLY NEW PEDESTRIAN TRAFFIC COATING. CF3.

## FINISH SCHEDULE

NAME	MANUFACTURER	COLOR	COMMENTS
CONCRETE FINISH			
CF1	TREMCO VULKEM EWS	GRAY, SLATE GRAY, PLUM	DRIVE AND RAMP COATING
CF2	RES-TEK	CHARCOAL	CONCRETE PAVER COATING
CF3	RES-TEK		CONCRETE PAVER COATING
EXTERIOR HIGH-PRESSURE COMPACT LAMINATE			
EP1	TRESPA	DARK / BLACK (TBD)	
EP2	TRESPA	WHITE	
PAINT			
P1	SHERWIN-WILLIAMS	MEDIUM GRAY	ALL EXPOSED DECK, STRUCTURE, AND HVAC
P2	SHERWIN-WILLIAMS	WHITE	BULKHEAD GYPSUM BOARD CEILINGS
P3	SHERWIN-WILLIAMS	WHITE	EXISTING WALLS
P4	SHERWIN-WILLIAMS	TBD	EXISTING INTERIOR COLUMN
P5	SHERWIN-WILLIAMS	TBD	EXISTING EXTERIOR COLUMNS
P6	SHERWIN-WILLIAMS	YELLOW	EXISTING CONCRETE CURB AT WALKWAY STEPS & ADJACENT COLUMN
P7	SHERWIN-WILLIAMS	TBD	MOTOR COURT ENTRY GYPSUM BOARD CEILINGS
P8	SHERWIN-WILLIAMS	TBD	ENTRY RAMP ALCOVES
P9	SHERWIN-WILLIAMS	TBD	PEDESTRIAN WALKWAY RAILINGS
P10	SHERWIN-WILLIAMS	TBD	PEDESTRIAN WALKWAY CONCRETE CURB

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INDIANAPOLIS, IN 46204

GENERAL CONTRACTOR  
PEPPER CONSTRUCTION  
1850 W 15TH STREET  
INDIANAPOLIS, IN 46202

## SHEET REVISIONS

#	DESCRIPTION	DATE
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EMBASSY  
SUITES  
by HILTON™

## ENTRY RENOVATION

110 W WASHINGTON ST  
INDIANAPOLIS, IN 46204

DATE:

04 MAY 2022

PROJECT #:

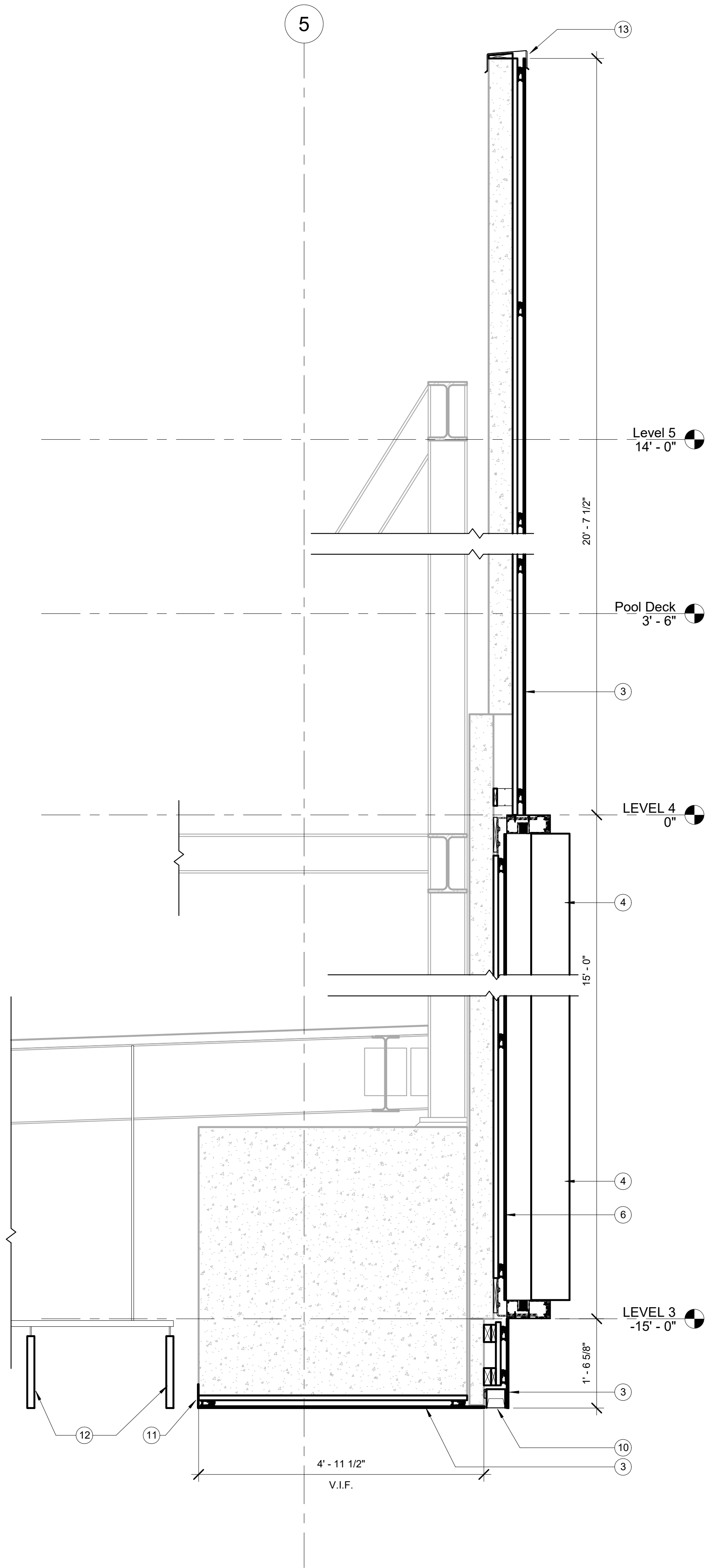
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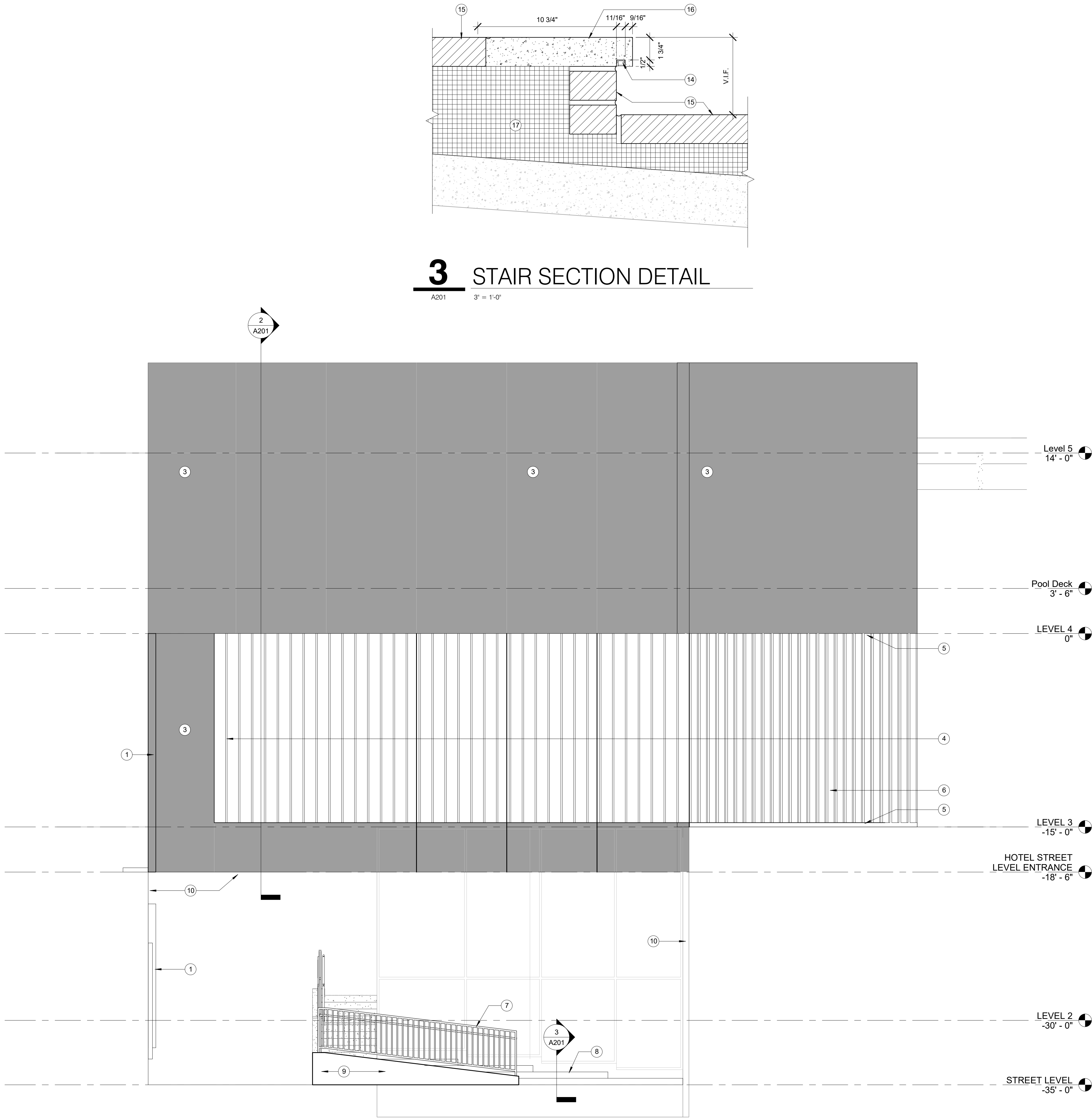
## THIRD FLOOR REFERENCE PLAN

SHEET NO

A101



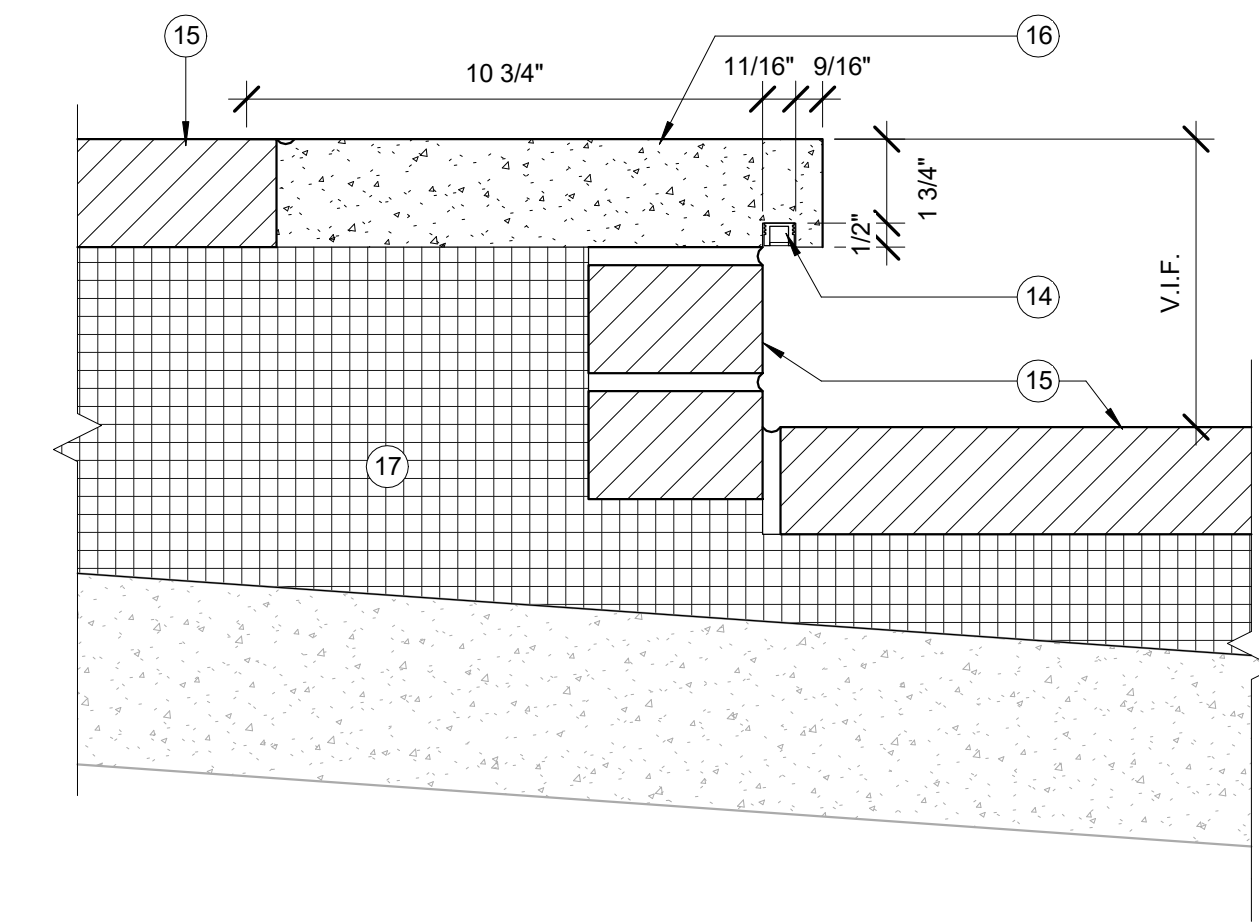
**2** WALL SECTION  
A201 3/4" = 1'-0"



**1** SOUTH ELEVATION  
A201 1/4" = 1'-0"

### ELEVATION NOTES

- 1 NEW BRAND/GARAGE ENTRANCE SIGNAGE TO REPLACE EXISTING SIGNAGE
- 2 NEW INTERNALLY ILLUMINATED EMBASSY SUITES SIGNAGE, PER BRAND APPROVAL
- 3 EXTERIOR CLADDING PANEL, WITH CONCEALED FIXING SYSTEM ON RAILS ON EXISTING STONE CLADDING PANELS, SIMILAR TO TRESPA METEON DIFFUSE, EP1
- 4 EXTERIOR EXTRUDED ALUMINUM FIN SYSTEM WITH TOP AND BOTTOM EXTRUDED RAILS, ALL EXTRUSIONS POWDER COATED, SIMILAR TO AMERICAN PRODUCTS INC. EXTERIOR FIN SYSTEM
- 5 INTEGRAL PROGRAMMABLE RGB LED COVE LIGHTING WITHIN FIN SYSTEM, PROVIDE BLOCKING AND POWER AS REQUIRED
- 6 EXTERIOR CLADDING PANEL, WITH CONCEALED FIXING SYSTEM ON RAILS ON EXISTING STONE CLADDING PANELS, SIMILAR TO TRESPA METEON SPECULAR, EP2
- 7 CONTINUOUS 1 1/2" DIA. ANODIZED ALUMINUM HANDRAIL WITH POST MOUNTED HANDRAIL SADDLE BRACKET, PROVIDE KLUS B8144ANODIA FOR EXTRUSION OR EQUAL AND LED LIGHT TAPE AND LENS CONTINUOUS IN HANDRAIL BETWEEN THE SADDLE BRACKET
- 8 NEW BRICK PAVES STEPS WITH INTEGRAL LINEAR LED STEP LIGHTING
- 9 NEW POURED IN PLACE CONCRETE CURB, TO MATCH PROFILE OF EXISTING ADJACENT CONCRETE CURB, PAINT P10
- 10 CONTINUOUS LENS LED LIGHT, L5
- 11 ALUMINUM TRIM END CAP, TO MATCH EP1
- 12 NEW EXTRUDED ALUMINUM BAFFLE SYSTEM 15" DEEP, POWDERCOATED, SIMILAR TO AMERICAN PRODUCTS INC. LINEAR CEILING BEAM SYSTEM, ON UNSTRUCT WITH HANGER BRACKETS AND THREADED ROD TO EXISTING STRUCTURE AS REQUIRED
- 13 NEW PREFINISHED METAL COPING OVER EXISTING PARAPET, NEW FRT NAILER AS NEEDED TO PROVIDE CONTINUOUS ATTACHMENT OF NEW COPING
- 14 ALUMINUM EXTRUSION, SIMILAR TO KLUS PDS 4-ALLU, WITH WET-LISTED LED TAPE AND REMOTE MOUNT DRIVER
- 15 BRICK PAVES, MATCH EXISTING
- 16 PRECAST CONCRETE STAIR TREADNOSING, WITH INTEGRAL SLOT TO RECEIVE ALUMINUM CHANNEL AND LED LIGHT
- 17 GEOFOAM LIGHTWEIGHT FILL
- 18 EXISTING ALUMINUM WINDOW SYSTEM TO REMAIN



**3** STAIR SECTION DETAIL  
A201 3" = 1'-0"

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**PEPPER CONSTRUCTION**  
1835 W 15TH STREET  
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#### SHEET REVISIONS

#	DESCRIPTION	DATE
1	JASB	2021-05-29



**EMBASSY  
SUITES**  
by HILTON™

### ENTRY RENOVATION

110 W WASHINGTON ST  
INDIANAPOLIS, IN 46204

DATE:  
04 MAY 2022

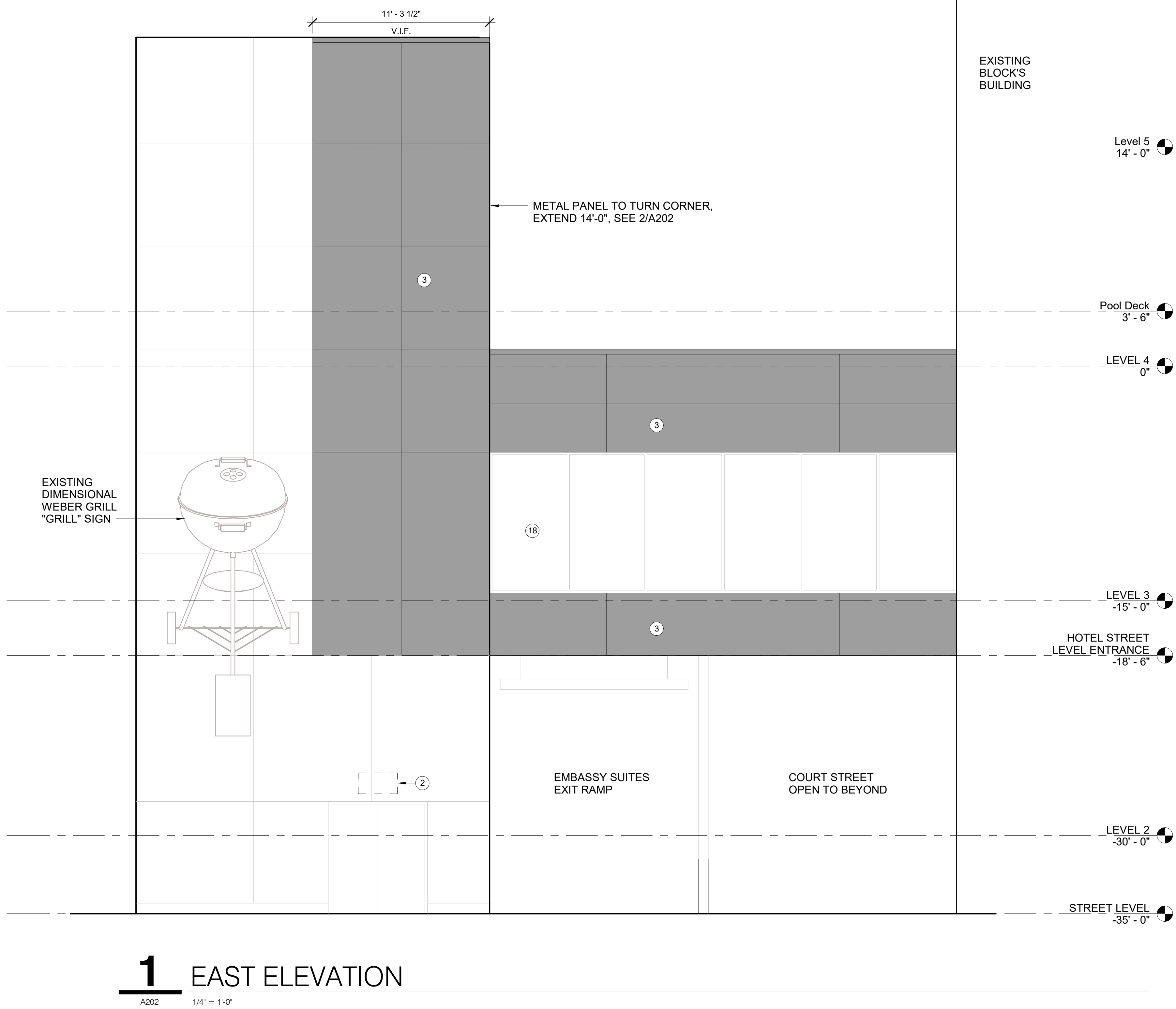
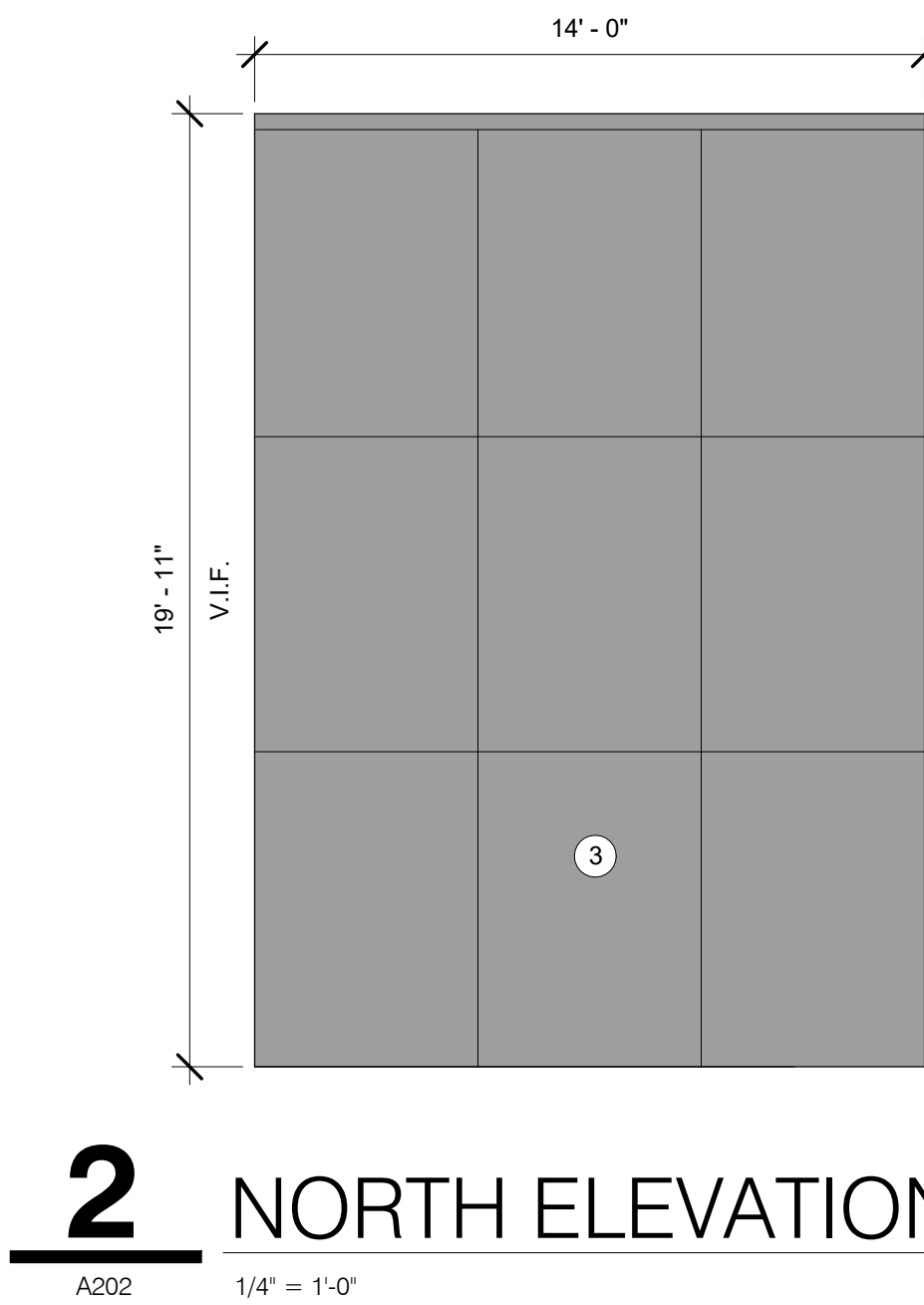
PROJECT #:  
2018\_018



### EXTERIOR ELEVATIONS

SHEET NO

**A201**



## ELEVATION NOTES

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6. EXTERIOR CLADDING PANEL, WITH CONCEALED FIXING SYSTEM ON RAILS ON EXISTING STONE CLADDING PANELS, SIMILAR TO TRESPA METEON SPECULAR, EP2.
7. CONTINUOUS 1 1/2" DIA. ANODIZED ALUMINUM HANDRAIL WITH POST MOUNTED HANDRAIL SADDLE BRACKET. PROVIDE KLUS BR44ANODIA FOR EXTRUSION OR EQUAL AND LED LIGHT TAPE AND LENS CONTINUOUS IN HANDRAIL BETWEEN THE SADDLE BRACKETS.
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9. NEW POURED IN PLACE CONCRETE CURB, TO MATCH PROFILE OF EXISTING ADJACENT CONCRETE CURB. PAINT P10.
10. CONTINUOUS LENS LED LIGHT, LL.
11. ALUMINUM TRIM END CAP, TO MATCH EP1.
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17. GEOFOAM LIGHTWEIGHT FILL.
18. EXISTING ALUMINUM WINDOW SYSTEM TO REMAIN.

**DKGR**

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**PEPPER CONSTRUCTION**  
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## SHEET REVISIONS

#	DESCRIPTION	DATE
5	JAS 03	2022-05-26



**EMBASSY  
SUITES**  
by HILTON™

## ENTRY RENOVATION

110 W WASHINGTON ST  
INDIANAPOLIS, IN 46204

DATE:  
04 MAY 2022

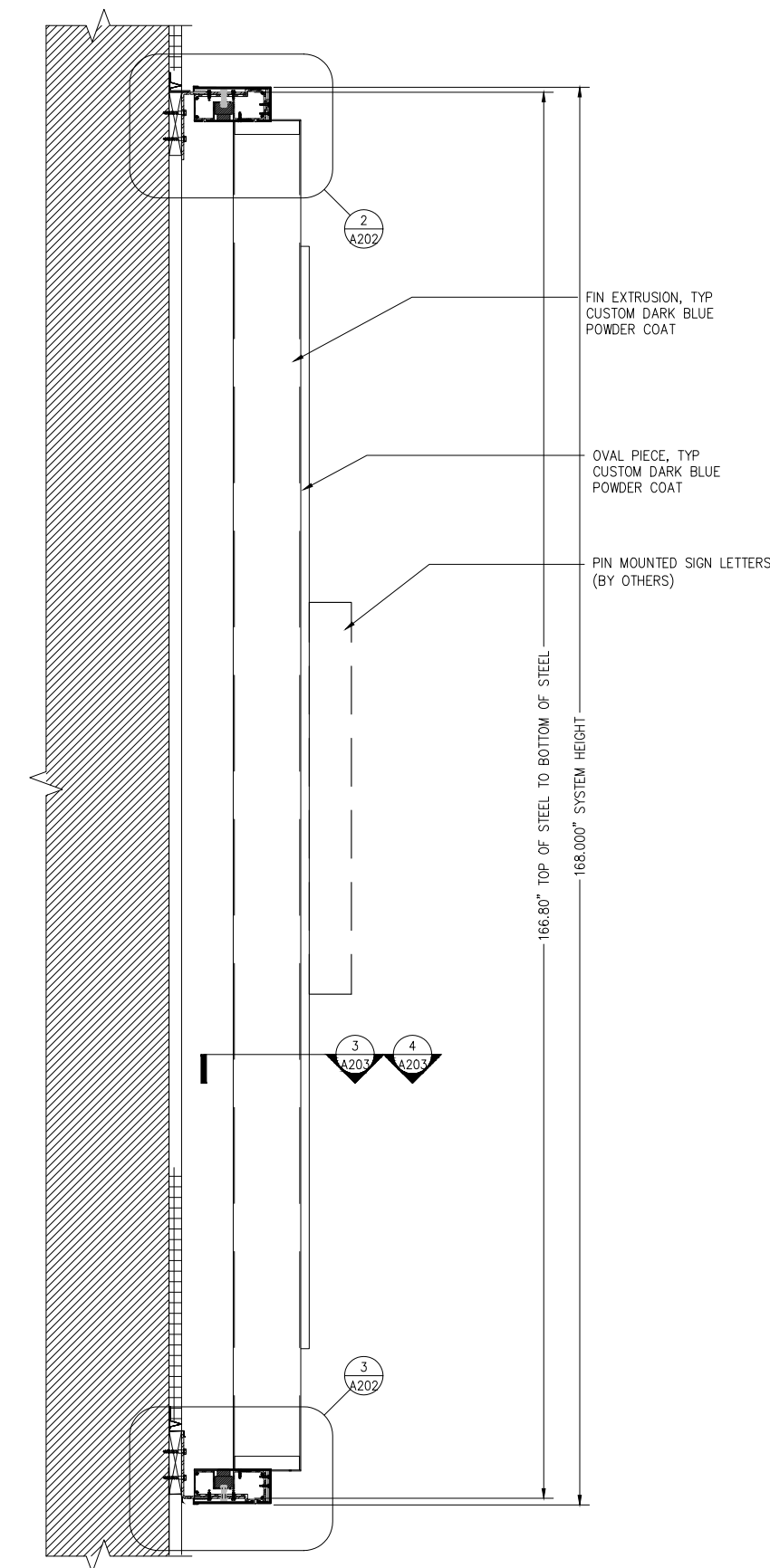
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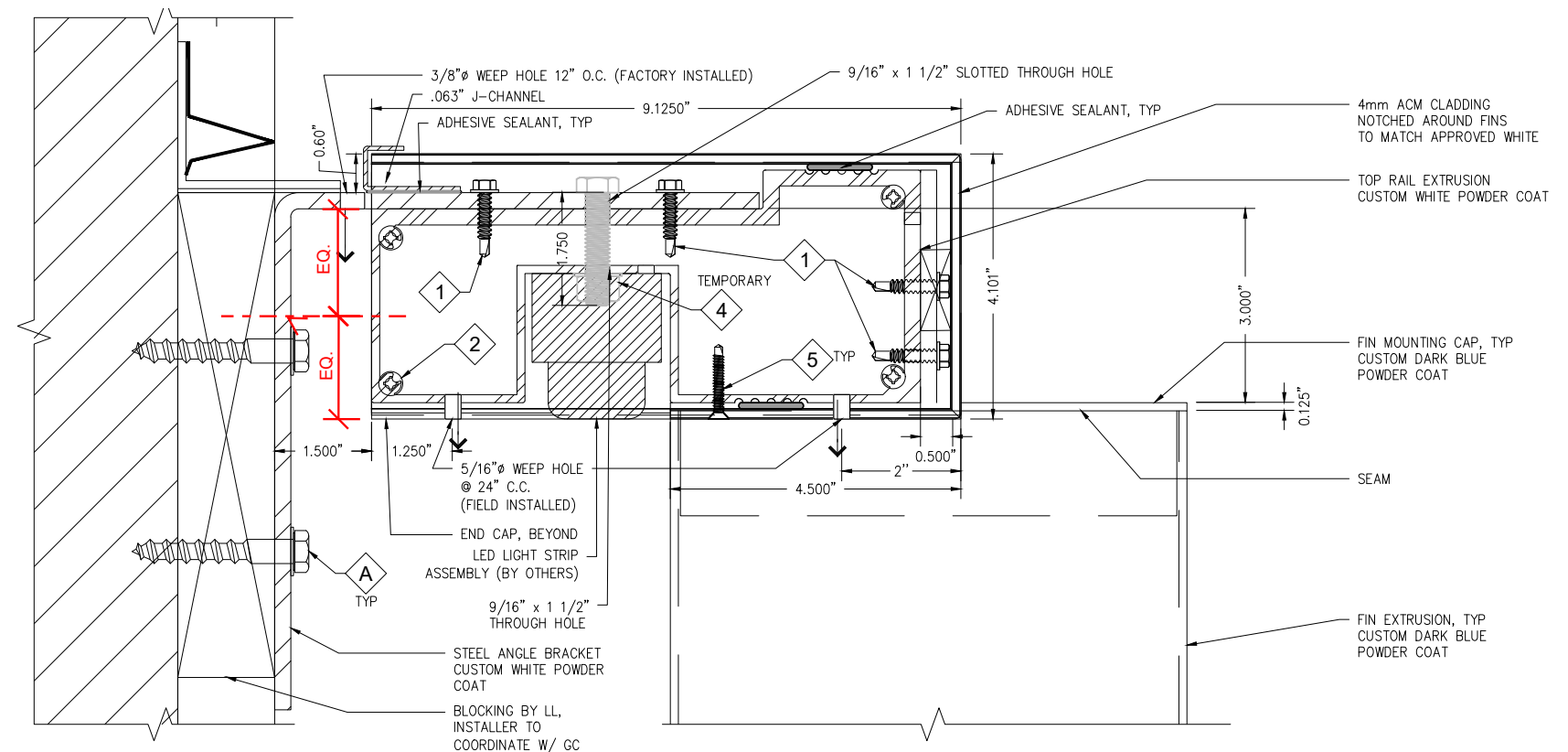
## EXTERIOR ELEVATIONS

SHEET NO

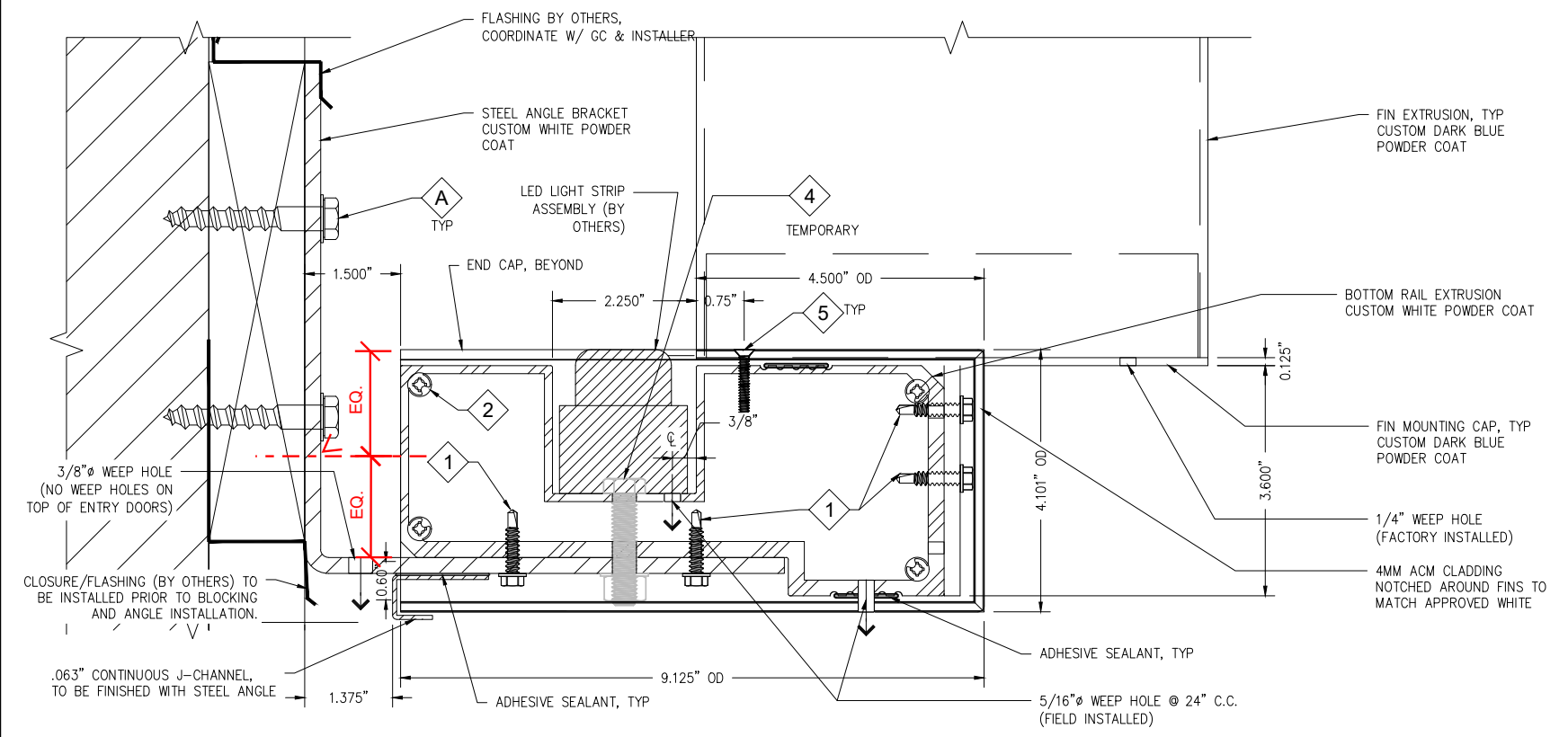
**A202**



1  
A202  
SECTION  
NTS



2  
A202  
SECTION DETAIL  
NTS



3  
A202  
SECTION DETAIL  
NTS

## SIMILAR FIN LIGHTING SECTION / DETAIL

EMBASSY SUITES EXTERIOR RENOVATION

JULY 2022

DKGR



The area surround the vertical fin system will be black metal panel, similar to adjacent Tony's restaurant exterior.

Vertical aluminum extrusion fins at Embassy Suites and Court Street garage exterior will be white, with white metal panel beyond.

Horizontal aluminum channels at the top and bottom of the vertical fins will host linear RGBW lighting strips, (similar to backlit panels at adjacent Tony's restaurant) that will slowly gradate between various colors. Maximum speed between alternating colors will be 5 seconds. There will no flashing or other lighting effects.

## FIN EXAMPLE

EMBASSY SUITES EXTERIOR RENOVATION

AUG 2022

**DKGR**



The area surround the vertical fin system will be black metal panel, similar to adjacent Tony's restaurant exterior.



Facade behind the vertical aluminum white fins will be white metal panel, to be surface lit from above and below with continuous RGBW LED lighting.

**METAL PANEL EXAMPLES**

EMBASSY SUITES EXTERIOR RENOVATION  
AUG 2022



**EMBASSY SUITES EXISTING EXTERIOR**

EMBASSY SUITES EXTERIOR RENOVATION  
JULY 2022





**EMBASSY SUITES PROPOSED EXTERIOR**

EMBASSY SUITES EXTERIOR RENOVATION  
JULY 2022